


NOTES

TO: Honorable Mayor and City Council Members

FROM: Barbara Lipscomb, City Manager 

DATE: July 1, 2015

SUBJECT: Materials for Your Information

Please find attached the following materials for your information:

1. A memo from Niki Jones, Housing Administrator, regarding the Neighborhood Revitalization Strategy Area (NRSA) designation
2. A memo from Kevin Mulligan, Public Works Director, regarding installation of railing on the fourth floor of the 4th Street Parking Garage
3. Please note Tim Corley, Civil Engineer, will be resigning from the City, effective July 24, 2015. Tim has accepted the position of County Engineer for Pitt County.

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Attachments

cc: Dave Holec, City Attorney
Carol Barwick, City Clerk



Memo

To: Barbara Lipscomb, City Manager
From: Niki Jones, Housing Administrator
Cc: Merrill Flood, Community Development Director
Date: 6/30/2015
Re: Neighborhood Revitalization Strategy Area (NRSA) Designation

Staff is proud to announce that the City of Greenville has received final approval from the U.S. Department of Housing and Urban Development (HUD) for the Neighborhood Revitalization Strategy Area (NRSA) designation. This designation will provide greater opportunities for the community moving forward. The City of Greenville is one of only a handful of municipalities in the state of North Carolina who have received this designation.

In September 2014, staff began the process of creating an NRSA for the purposes of continued redevelopment within the West Greenville Area. The West Greenville Area is one of the City's strongest assets. This area encompasses multiple historic neighborhoods, several community facilities, and older commercial corridors – which are ideal for redevelopment. Moreover, West Greenville lies within a critical geographic area of the City's urban core which is between the Medical District and Uptown.

To qualify the area under the NRSA program, information from the U.S. Census was used to determine if the area met the program requirements. The newly designated area includes and focuses on the existing revitalization area. Census tracts 7.01, 7.02 and 1.00 were used as a foundation for the establishment of the NRSA. Because the census tracts are larger than the revitalization area, some portions were included in the NRSA that were not within the already established West Greenville Redevelopment Area. However, this does not extend the aforementioned redevelopment area.

At the March 19, 2015 City Council Meeting, staff received approval to submit application to HUD for the NRSA designation. At the meeting, staff explained that there are several benefits to implementing the NRSA program in the West Greenville Area. First and foremost, the NRSA will serve as an additional tool in the redevelopment toolbox. Furthermore, there are four (4) primary Community Development Block Grant (CDBG) benefits. They are as follows:

1. Job creation/Retention as Low/Moderate Income Area Benefit
2. Aggregation of Housing Units
3. Aggregate Public Benefit Standard Exemption
4. Public Service Cap Exemption

The NRSA has the ability to produce a wide range of outcomes. Staff's research has shown that municipalities who have this designation have generally experienced an increase in private investment. In addition, several municipalities have witnessed an increase in non-profit activity within their NRSA boundaries. Finally, several programs have witnessed a higher rehabilitation rate for historic properties.



DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT

Greensboro Office
Office of Community Planning & Development
1500 Pinecroft Road, 401, Asheville Building
Greensboro, NC 27407-3838
(336) 851-2802
www.hud.gov ♦ espanol.hud.gov

June 16, 2015

Ms. Barbara Lipscomb
City Manager
P O Box 7207
Greenville, NC 27835

Dear Ms. Lipscomb:

HUD is pleased to transmit to the city of Greenville its approval of the city's request to designate West Greenville as a Neighborhood Revitalization Strategy Area (NRSA). The Department believes that NRSA's can obtain substantial improvements and help to create meaningful levels of economic opportunities for residents in the delineated area during the time period of the Consolidated Plan. Therefore, in order for HUD to be able to gauge the effectiveness of the revitalization strategies, the city must ensure that at the end of each program year it reports within the Consolidated Annual Performance & Evaluation Report (CAPER) on actual performance against the established benchmarks outlined in the city's NRSA proposal.

We look forward to working with the city during the year to accomplish the goals it has set forth. If there are questions, please contact Tasleem Albaari at (336) 851-8138.

Sincerely,

A handwritten signature in blue ink, which appears to read "Gary Dimmick", is positioned above the printed name and title.

Gary A. Dimmick
Director
Office of Community Planning & Development

cc:
Merrill Flood

Memorandum

To: Barbara Lipscomb, City Manager
From: Kevin Mulligan, PE, Director of Public Works
Date: July 1, 2015
Subject: 4th Street Parking Garage, 4th Floor Railing

Since the completion of the 4th Street Parking Garage, we have seen through video surveillance of the 4th floor of the parking garage that people have been visiting the deck to view other parts of the City from the highest level. While the concrete parapets provide adequate code compliant protection to the public, we were concerned that the availability of this wide area for standing or sitting on could create a falling hazard.

Attached are some photographs of the coping at the 4th floor level as well as the street level view. Staff looked at several methods that would serve to keep individuals from climbing up and sitting on the coping ranging from a chain link fence to a railing system. The intent was to find a fix that would provide a protective barrier without taking away from the look of the architectural features of the coping and clock tower.

Our Contractor, Barnhill Contracting Company, came up with a solution that would provide that protection while blending in with the white coping. Attached is a drawing of the railing that is to be installed. As described, it totals approximately 128 feet long and will be attached to the north and east parapet walls where the coping is located. The railing will be powder coated a gloss white to match the coping as closely as possible.

The cost for to the City for railing and installation is \$9,482.38 and will be paid from remaining project funds. Fabrication and powder coating is under way and the railing is due to be installed about July 7, 2015.

Attachments

cc: Scott P. M. Godefroy, PE, City Engineer

View of 4th Floor Parking Garage Clock Tower and Coping



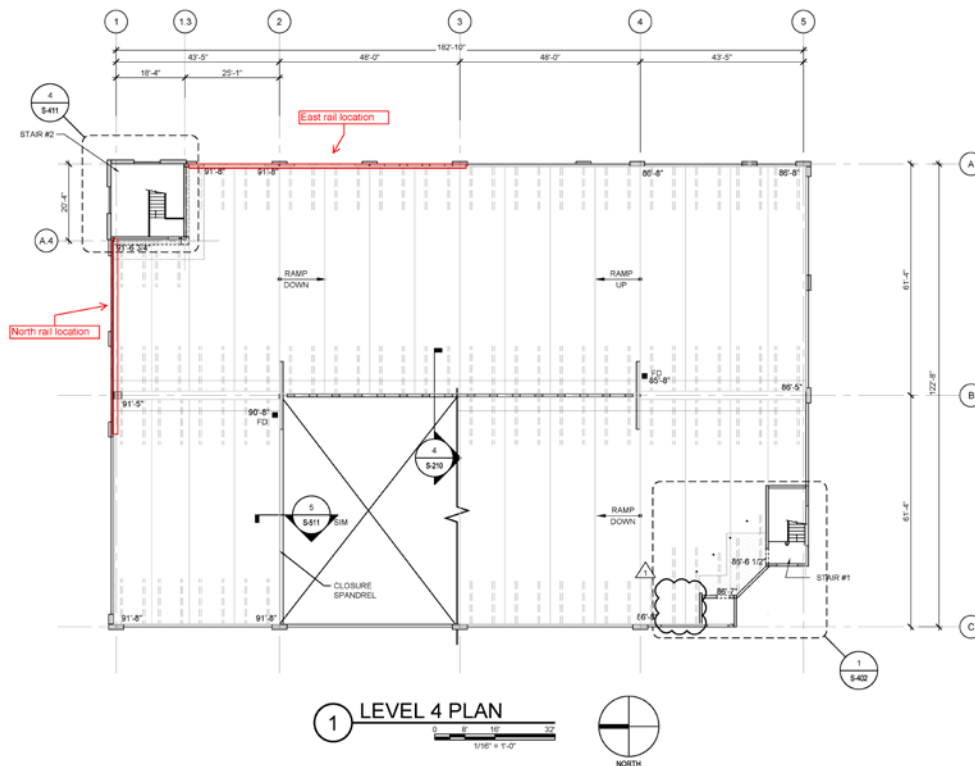
View of 4th Floor Parking Garage Coping and Signage



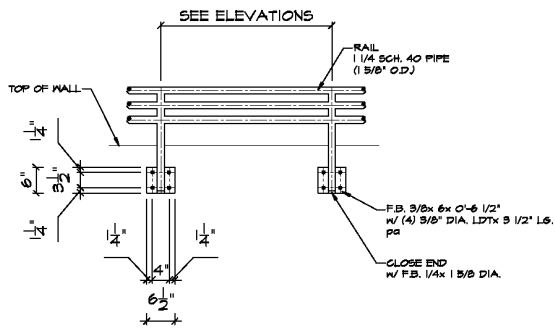
Street Level View of 4th Floor Parking Garage Coping



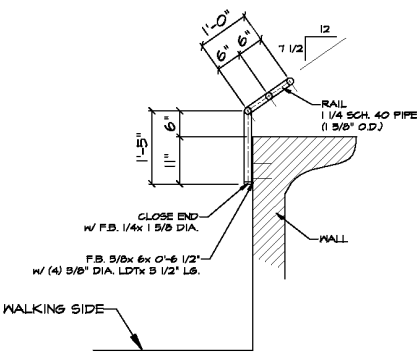
Level 4 Railing Plan



Elevation & Profile View of Protective Railing



TYP. ELEVATION



SECTION ~ X