

GREENVILLE TOWN COMMON SYCAMORE HILL GATEWAY PLAZA

GREENVILLE
TOWN COMMON
**SYCAMORE HILL
GATEWAY PLAZA**
90% DESIGN SUBMISSION

ADDRESS:
201 W 1ST ST, GREENVILLE, NC 27858
Tel. 252.329.4567

OWNER:



DESIGN TEAM:



RHODESIDE & HARWELL

510 King Street
Suite 300
Alexandria, VA 22314
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PERKINS+WILL

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THE EAST GROUP
GALLAGHER & ASSOCIATES
BREE & ASSOCIATES
LIGHT DEFINES FORMS INC
ENGINEERING SOURCE

**NOT FOR
CONSTRUCTION
OR BIDDING**

REVISION:

SCALE: _____ N.T.S.

SHEET NAME: **COVER SHEET, KEY
MAP & SHEET INDEX**

SHEET NUMBER: **G-001**

DATE: SEPTEMBER 26 2018

ILLUSTRATION



LOCATION MAP



KEY MAP



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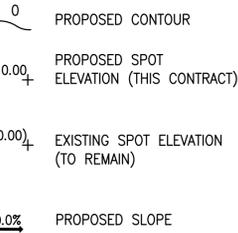
- S-001 GENERAL NOTES
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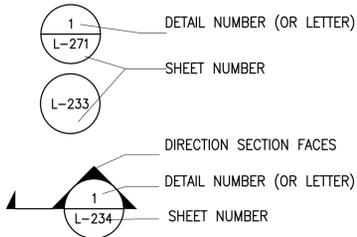
LIST OF LANDSCAPE ARCHITECTURAL ABBREVIATIONS & SYMBOLS:

ARCH ASSOC	ARCHITECT/ARCHITECTURAL ASSOCIATED	NTS	NOT TO SCALE
B&B BLDG	BALLED AND BURLAPPED BUILDING	OC	ON CENTER
BB	BOTTOM OF BENCH	P.A.	PLANTING AREA
BOW	BOTTOM OF WALL	POB	POINT OF BEGINNING
		POC	POINT OF CURVE
		PROP	PROPOSED
CEHA	COASTAL EROSION HAZARD AREA	R	RADIUS
CIVIL	CIVIL ENGINEER	RD	ROAD
CAL	CALIPER	ROW	RIGHT-OF-WAY
CL	CENTERLINE		
CJ	CONTROL JOINT		
DEMO	DEMOLISH	SAN	SANITARY/SANITARY SEWER
DIA	DIAMETER	SD	STORM DRAIN
DIM	DIMENSION	SF	SQUARE FEET
DWG	DRAWING	SIM	SIMILAR
		SPEC	SPECIFICATIONS/SPECIFIED
EJ	EXPANSION JOINT	SQ	SQUARE
EQ	EQUAL	SS	STAINLESS STEEL
		ST	STORM
FC	FACE OF CURB	TAC	THOMPSON ATHLETIC CENTER
FF	FINISHED FLOOR	TOC	TOP OF CURB
FG	FINISHED GRADE (PAVED AREA)	TEMP	TEMPORARY
FH	FIRE HYDRANT	TB	TOP OF BENCH
FOB	FACE OF BUILDING	TOW	TOP OF WALL
FOW	FACE OF WALL	TYP	TYPICAL
FT	FOOT/FEET	UTIL	UTILITY
IJD	ISOLATION JOINT	VAR	VARIES/VARIABLE
LA	LANDSCAPE ARCHITECT	W/	WITH
LOW	LIMIT OF WORK	W/O	WITHOUT
MAX	MAXIMUM		
MECH	MECHANICAL ENGINEER		
MFR	MANUFACTURER		
MIN	MINIMUM		

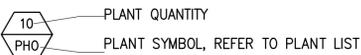
REFERENCE SYMBOLS



ALIGN



1 NUMBERED NOTE. REFER TO NOTES ON THIS SHEET. LEGENDS MAY BE GIVEN ON INDIVIDUAL SHEETS FOR EASE OF REFERENCE.



MISCELLANEOUS:

@	AT
'	FEET
"	INCHES
#	NUMBER
m	METER
mm	MILLIMETER

LANDSCAPE SITE FEATURES:

- 1 CONCRETE UNIT PAVERS PATTERN TYPE 'A' SUPER BLACK 70% COVERAGE LIMESTONE GRAY 30% COVERAGE FINISH: TUDOR
- 2 CONCRETE UNIT PAVERS PATTERN TYPE 'B' SUPER BLACK 30% COVERAGE LIMESTONE GRAY 70% COVERAGE FINISH: TUDOR
- 3 RESIN BOUND DECOMPOSED GRANITE
- 4 POUR-IN-PLACE CONCRETE PAVING
- 5 ENGRAVED INGROUND INTERPRETIVE GRANITE PAVERS
- 6 DECOMPOSED GRANITE IN METAL FRAME
- 7 WOOD BENCH TYPE 1
- 8 PRECAST CONCRETE BENCH
- 9 WOOD BENCH TYPE 2
- 10 INTERPRETIVE WALLS AND TOWER, SEE ARCH DWGS
- 11 EDGE RESTRAINT TYPE 1
- 12 EDGE RESTRAINT TYPE 2
- 13 CURB RAMP
- 14 DRINKING FOUNTAIN
- 15 POUR-IN-PLACE CONCRETE STAIR
- 21 LIGHTING FIXTURE TYP.

OTHER FEATURES:

- 31 PRESERVE EXISTING TREES, SEE CIVIL PLANS
- 32 EXISTING ON-STREET PARKING TO REMAIN
- 33 EXISTING SIDEWALK (TO REMAIN)
- 34 EXISTING CROSSWALK (TO REMAIN)
- 35 RELOCATED EXISTING CHURCH MEMORIAL
- 36 RELOCATE EXISTING CROSSWALK COUNTDOWN TIMER
- 37 EXISTING CURB TO REMAIN
- 38 INGROUND LIGHTING FIXTURE, SEE LIGHTING MOUNTING
- 39 SURFACE DRAINAGE & UNDERDRAIN PIPES, SEE CIVIL DWGS
- 40 PROPOSE ELECTRICAL CONDUIT & TRANSFORMER

--- LIMIT OF DISTURBANCE

GENERAL NOTES:

- THE DRAWINGS AND SPECIFICATIONS, TAKEN TOGETHER, DESCRIBE THE DESIGN FOR THIS PROJECT. THE DRAWINGS AND SPECIFICATIONS ARE MEANT TO BE COMPLIMENTARY TO EACH OTHER.
- THAT WHICH IS SHOWN ON THE DRAWINGS BUT NOT IN THE SPECIFICATIONS, OR SHOWN IN THE SPECIFICATIONS BUT NOT ON THE DRAWINGS, SHALL BE PROVIDED AS IF SHOWN IN BOTH PLACES AND TO THE SAME STANDARD OF QUALITY FOR SIMILAR ITEMS.
- DRAWINGS SHOW EXTENT, LOCATION, DIMENSIONS, RELATIONSHIPS AMONG VARIOUS PART, AND QUANTITY OF ITEMS. IN CASE OF CONFLICT WITH THE SPECIFICATIONS IN THESE MATTERS, THE DRAWINGS SHALL GOVERN.
- SPECIFICATIONS SHOW QUALITY, TRADE NAME, GENERIC NAMES, AND WORKMANSHIP. IN CASE OF CONFLICT WITH THE DRAWINGS IN THESE MATTERS, THE SPECIFICATIONS SHALL GOVERN.
- THE LARGER THE SCALE OF THE DRAWINGS, THE MORE PRECEDENCE: I.E. A 1 INCH PER FOOT SCALE DRAWING GOVERNS OVER A 10 FEET PER INCH DRAWING.
- CONTRACTOR SHALL PROTECT FROM ALL DAMAGE EXISTING TREES TO REMAIN AND THEIR ROOT STRUCTURES.
- CONTRACT INCLUDES ALL DEMOLITION REQUIRED TO COMPLETE JOB AND TO REMOVE AND TO DISPOSE OF ITEMS FROM SITE COMPLETELY IN ACCORDANCE WITH LOCAL LAWS. DO NOT BURN OR BURY ANY DEMOLITION ITEMS ON SITE. CONTRACTOR IS RESPONSIBLE FOR MAKING SITE VISIT TO DETERMINE AND VERIFY ALL DEMOLITION REQUIREMENTS PRIOR TO BIDDING.
- PERMITS AND FEES REQUIRED FOR ANY DEMOLITION DISPOSAL WORK MUST BE OBTAINED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING ADJACENT FACILITIES AND STRUCTURES THAT ARE TO REMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION (UNLESS OTHERWISE INDICATED) TO THE SATISFACTION OF THE CONTRACTING REPRESENTATIVE AND OWNER. ADJACENT STREETS AND SIDEWALKS SHALL BE MAINTAINED IN A CLEAN CONDITION, MUD AND DUST FREE. ADEQUATE MEANS AND FACILITIES SHALL BE PROVIDED BY THE CONTRACTOR TO CLEAN TRUCKS AND OTHER EQUIPMENT LEAVING THE SITE.
- THE EXISTING SURROUNDING FACILITIES ARE TO REMAIN IN OPERATION WHILE CONSTRUCTION WORK IS BEING DONE. ALL UTILITY WORK SHALL BE COORDINATED WITH THE OWNER AND LOCAL UTILITY COMPANIES AND SHALL BE PERFORMED IN AN EXPEDITIOUS MANNER.
- UTILITIES SHOWN ON DRAWINGS ARE BASED ON PUBLISHED DATA AND ARE FOR CONTRACTOR'S CONVENIENCE ONLY. THE CONTRACTOR MUST LOCATE AND VERIFY ALL SUCH INFORMATION, INCLUDING INFORMATION NOT SHOWN ON PLANS, BY CONTACTING THE INDIVIDUAL UTILITY COMPANY AND INVESTIGATING THE SITE TO DETERMINE THE EXACT LOCATION OF RESPECTIVE UTILITY LINES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS OWN EXPENSE, AND TO THE SATISFACTION OF THE PROJECT OWNER & THE UTILITY OWNER, DAMAGE TO ANY UTILITY CAUSED BY HIS WORK. HE SHALL IMMEDIATELY NOTIFY THE OWNER AND THE UTILITY OWNER OF ANY DAMAGE TO ANY UTILITY BY REASON OF HIS OPERATION.
- DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO VERTICAL AND HORIZONTAL START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, NOTIFY THE PROJECT REPRESENTATIVE IMMEDIATELY FOR CLARIFICATION.
- FOR ALL PAVEMENT REMOVAL AREAS, NEATLY SAWCUT ALL EDGES. TIES TO EXISTING PAVEMENT AREAS SHALL BE SMOOTH CONSISTENT TRANSITIONS. NO ABRUPT CHANGE IN LINE AND/OR GRADE WILL BE PERMITTED.
- IN AREAS OF FORMER PAVED SURFACES (ROADBEDS, WALKWAYS, ETC.), REMOVE ALL EXISTING PAVING MATERIAL, INCLUDING BASE MATERIALS. EXCAVATE EXISTING SUBGRADE TO A TOTAL DEPTH OF 18" BELOW FINISHED GRADE. SCARIFY BOTTOM OF EXCAVATION TO A DEPTH OF 4". IF FINISHED GRADE IS GREATER THAN 14" ABOVE EXISTING SUBGRADE, SCARIFY EXISTING SUBGRADE TO MINIMUM DEPTH OF 4". FILL AREA WITH APPROVED EARTH FILL TO A TOTAL DEPTH OF 4" BELOW FINISHED GRADE. PLACE SOIL IN MAXIMUM 8" LIFTS, AND COMPACT EACH LIFT TO MINIMUM 50%, MAXIMUM 75% DENSITY. SPREAD TOPSOIL OVER ENTIRE DISTURBED AREA TO DEPTH OF 4". LIGHTLY COMPACT TOPSOIL. BLEND EDGES OF TOPSOIL TO MATCH GRADES OF ADJACENT [EXISTING OR PROPOSED] CONDITIONS.
- POSITIVE DRAINAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PONDING OR STANDING WATER WILL NOT BE PERMITTED.
- CONTRACTOR SHALL NOTIFY THE PROJECT REPRESENTATIVE OF ANY DEVIATION FROM THIS PLAN PRIOR TO ANY CHANGE BEING MADE. ANY DEVIATION FROM THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE PROJECT REPRESENTATIVE WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND CORRECTIONS SHALL BE MADE BY THE CONTRACTOR AT NO COST TO THE OWNER.
- PROVIDE SAMPLES AND/OR SAMPLE PANELS / MOCK-UPS AS SPECIFIED FOR ALL CAST STONE, STONE, PRECAST CONCRETE, MASONRY, STONE, WOOD AND/OR METAL FABRICATIONS WORK AS SHOWN ON THESE DRAWINGS. OBTAIN APPROVAL OF SAMPLES PRIOR TO ORDERING MATERIALS. OBTAIN APPROVAL OF SAMPLE PANELS / MOCK-UPS PRIOR TO INSTALLATION.
- PROVIDE SUBMITTALS AND SHOP DRAWINGS AS SPECIFIED FOR ALL PRECAST CONCRETE, STONE, WOOD, AND/OR METAL FABRICATIONS WORK AS SHOWN ON THESE DRAWINGS. OBTAIN APPROVAL OF SUBMITTALS AND SHOP DRAWINGS PRIOR TO START OF FABRICATION.
- FIELD VERIFY AS-BUILT DIMENSIONS PRIOR TO FABRICATION OF PRECAST CONCRETE, STONE, WOOD AND/OR METAL FABRICATIONS WORK AS SHOWN ON THESE DRAWINGS.
- FOR ALL METAL FABRICATIONS, WELD ALL CONNECTIONS, UNLESS SPECIFICALLY NOTED OTHERWISE. GRIND ALL WELDS TO SMOOTH BARE METAL WITHOUT MARRING ADJOINING MEMBERS. GRIND SMOOTH AND TRUE ALL SHARP CORNERS.

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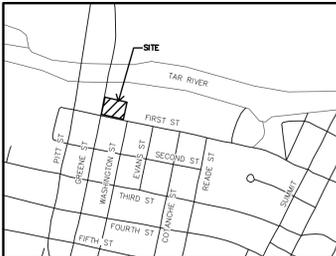
REVISION:

SCALE: _____ N.T.S.

SHEET NAME: _____
SYMBOLS, KEY NOTES & GENERAL NOTES

SHEET NUMBER: **G-002**

DATE: _____ SEPTEMBER 26 2018



VICINITY MAP
NOT TO SCALE

OWNER / DEVELOPER
CITY OF GREENVILLE
PO BOX 7207
GREENVILLE, NC 27835
CONTACT: LAMARCO MORRISON, PARKS PLANNER
(252) 329-4242

CITY OF GREENVILLE SITE PLAN APPROVAL

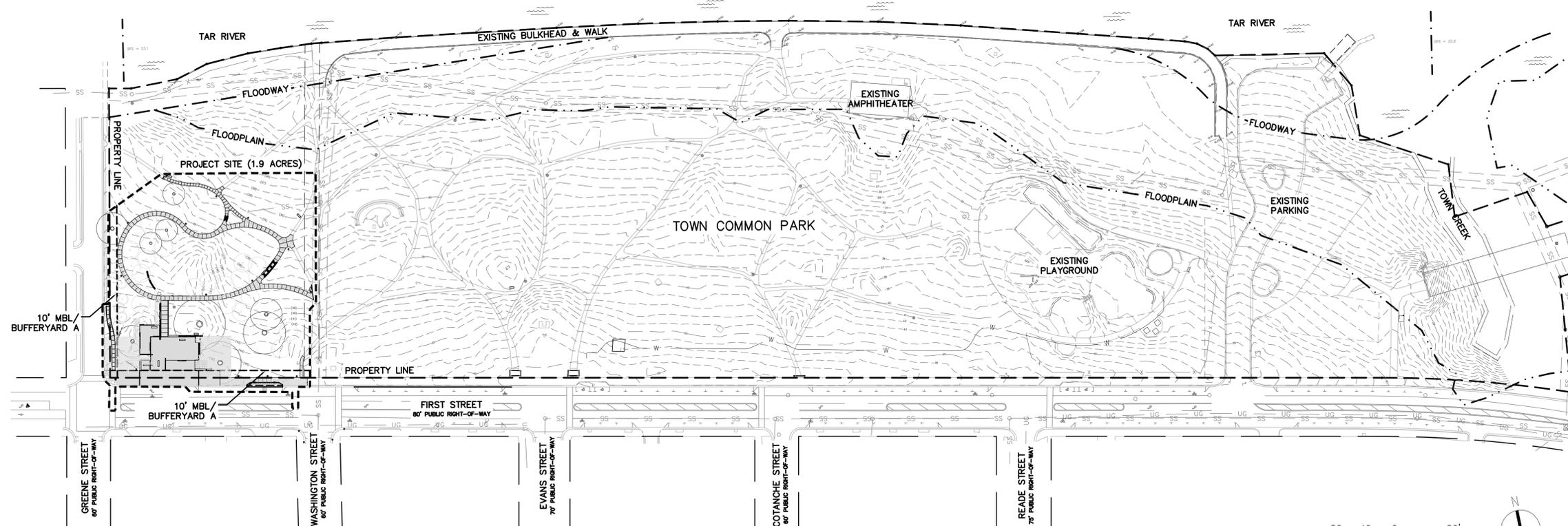
DATE _____

<input type="checkbox"/> Approved	<input type="checkbox"/> Approved as Noted _____
Zoning	Engineering
Surveyor/Floodplain	Inspections
Fire/Rescue	GUC Electric
GUC Water/Sewer	GUC Gas
NCDOT	Vegetation
Traffic Services	Notes

* Site plan approval ONLY. Engineer/Architect/Landscape Architect/Surveyor shall be responsible for adequacy of design, errors, omissions in the plans. All plans shall meet all specifications, standards and applicable regulations.

CIVIL ENGINEERING SHEET INDEX

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C-201	GRADING, DRAINAGE, EROSION & SEDIMENTATION CONTROL PLAN, NOTES & DETAILS
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SURVEYING SHEET INDEX	
SU1	LOCATION SURVEY
SU2	LOCATION SURVEY
SU3	TOPOGRAPHIC SURVEY
SU4	TOPOGRAPHIC SURVEY



SITE CONTEXT



GENERAL NOTES:

- SITE SHALL MEET ALL RELATED ACCESSIBILITY REQUIREMENTS.
- ACCESSIBLE ROUTE IS PROPOSED FROM TWO (2) PROPOSED ACCESSIBLE PARKING SPACES ON THE NORTH SIDE OF 1ST STREET TO THE PROJECT SITE.
- NO WATERBODIES SUBJECT TO TAR PAMLICO BUFFER RULES EXIST WITHIN THE DISTURBED LIMITS OF THE PROJECT AREA.
- THIS PROJECT IS NOT LOCATED WITHIN THE FLOODWAY.
- THIS PROJECT DOES NOT DISTURB WETLANDS.
- THIS PROJECT DISTURBS MORE THAN 1-ACRE AND REQUIRES A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT.
- THIS PROJECT DISTURBS MORE THAN 1/2-ACRE AND REQUIRES A STORMWATER MANAGEMENT PLAN.
- CITY OR NCDOT DRIVEWAY PERMIT IS NOT REQUIRED FOR THIS PROJECT. ANY ENCROACHMENT AGREEMENTS SHALL BE APPROVED BEFORE INSTALLATION.
- AN UNUSED DRIVEWAY MUST BE CLOSED IN ACCORDANCE WITH THE CITY OF GREENVILLE'S DRIVEWAY ORDINANCE.
- CONTRACTOR MUST NOTIFY ONE - CALL CENTER, INC. (NC ONE-CALL) (811) AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION OR TRENCHING TO HAVE ALL UNDERGROUND UTILITIES LOCATED.
- ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO THE CITY OF GREENVILLE MANUAL OF STANDARD DESIGNS AND DETAILS (MSDD).
- CONTRACTOR SHALL NOTIFY PUBLIC WORKS, STREET MAINTENANCE DIVISION 48 HOURS PRIOR TO MAKING CONNECTIONS TO EXISTING STORM DRAINS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS OR RIGHT-OF-WAY.
- THIS PROPERTY IS LOCATED IN ZONE "X" AND "AE" AND IS PARTIALLY LOCATED IN A SPECIAL FLOOD HAZARD AREA AS TAKEN FROM N.C.I.P. RATE MAP DATED JULY 7, 2014 COMMUNITY PANEL 3720468800K; BASE FLOOD ELEVATION (BFE) NOTED HEREON.
- LANE CLOSURES ON THOROUGHFARE ROADS ARE ONLY PERMITTED BETWEEN THE HOURS OF 9:00AM AND 4:00PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE PERMITTED BY THE TRAFFIC ENGINEER. IN ADDITION, THERE WILL BE NO LANE CLOSURES ON HOLIDAYS INCLUDING THE DAY BEFORE OR AFTER SAID HOLIDAY. A TRAFFIC CONTROL PLAN PREPARED IN ACCORDANCE WITH THE NCDOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES IS REQUIRED FOR ALL LANE CLOSURES AND MUST BE APPROVED BY THE TRAFFIC ENGINEER.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION PHASING AND LOGISTICS PLAN FOR REVIEW AND APPROVAL BY OWNER PRIOR TO CONSTRUCTION.
- REFUSE COLLECTION METHOD: PUBLIC SERVICE.

SITE DATA

(a)	TOTAL AREA IN SITE	18.46 ACRES
(b)	TOTAL AREA DISTURBED	1.9 ACRES
(c)	CURRENT ZONING	OR
	LAND USE CLASSIFICATION	PUBLIC PARK
(d)	SUBDIVISION NAME, BLOCK & LOT	N/A
	TAX MAP AND PARCEL NUMBER	27654
	STREET ADDRESS	105 E FIRST ST.
(e)	ACREAGE IN COMMON AREA	N/A
(f)	ACREAGE IN RECREATION AREA	N/A
(g)	TOTAL NUMBER OF UNITS/BEDROOMS	N/A
(h)	GROSS FLOOR AREA	N/A
(i)	BUILDING LOT COVERAGE (EXISTING)	N/A
	BUILDING LOT COVERAGE (PROPOSED)	N/A
(j)	BUILDING HEIGHT (FEET & STORIES)	44'-0" GATEWAY TOWER
(k)	TOTAL NUMBER OF PARKING SPACES (EXISTING)*	57
	TOTAL NUMBER OF PARKING SPACES (REQUIRED)	0
	TOTAL NUMBER OF PARKING SPACES (PROVIDED)	56
(l)	TOTAL NUMBER OF ACCESSIBLE PARKING SPACES (EXISTING)*	4
	TOTAL NUMBER OF ACCESSIBLE PARKING SPACES (REQUIRED)	3
	TOTAL NUMBER OF ACCESSIBLE PARKING SPACES (PROVIDED)	6
(m)	TOTAL SQUARE FEET OF IMPERVIOUS AREA (EXISTING)**	9,148 SF (0.21 ACRES)
	TOTAL SQUARE FEET OF IMPERVIOUS AREA (PROPOSED)**	16,118 SF (0.37 ACRES)
	* ADJACENT TO PARK PROPERTY LINE ON NORTH SIDE OF 1ST ST	
	** WITHIN LIMITS OF DISTURBANCE	

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REVISION:

A 09-06-18 STORMWATER PLAN,
EROS & SED CONT PLAN,
& COG SITE PLAN

SCALE: 1" = 80' - 0"

SHEET NAME: COMPOSITE PLAN

SHEET NUMBER:

C-001

DATE: SEPTEMBER 26 2018

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REVISION:

A 09-06-18 STORMWATER PLAN,
EROS & SED CONT PLAN,
& COG SITE PLAN

SCALE: 1" = 20' - 0"

SHEET NAME: CURRENT CONDITIONS
& DEMOLITION PLAN

SHEET NUMBER:

C-002

DATE: SEPTEMBER 26 2018

DEMOLITION NOTES:

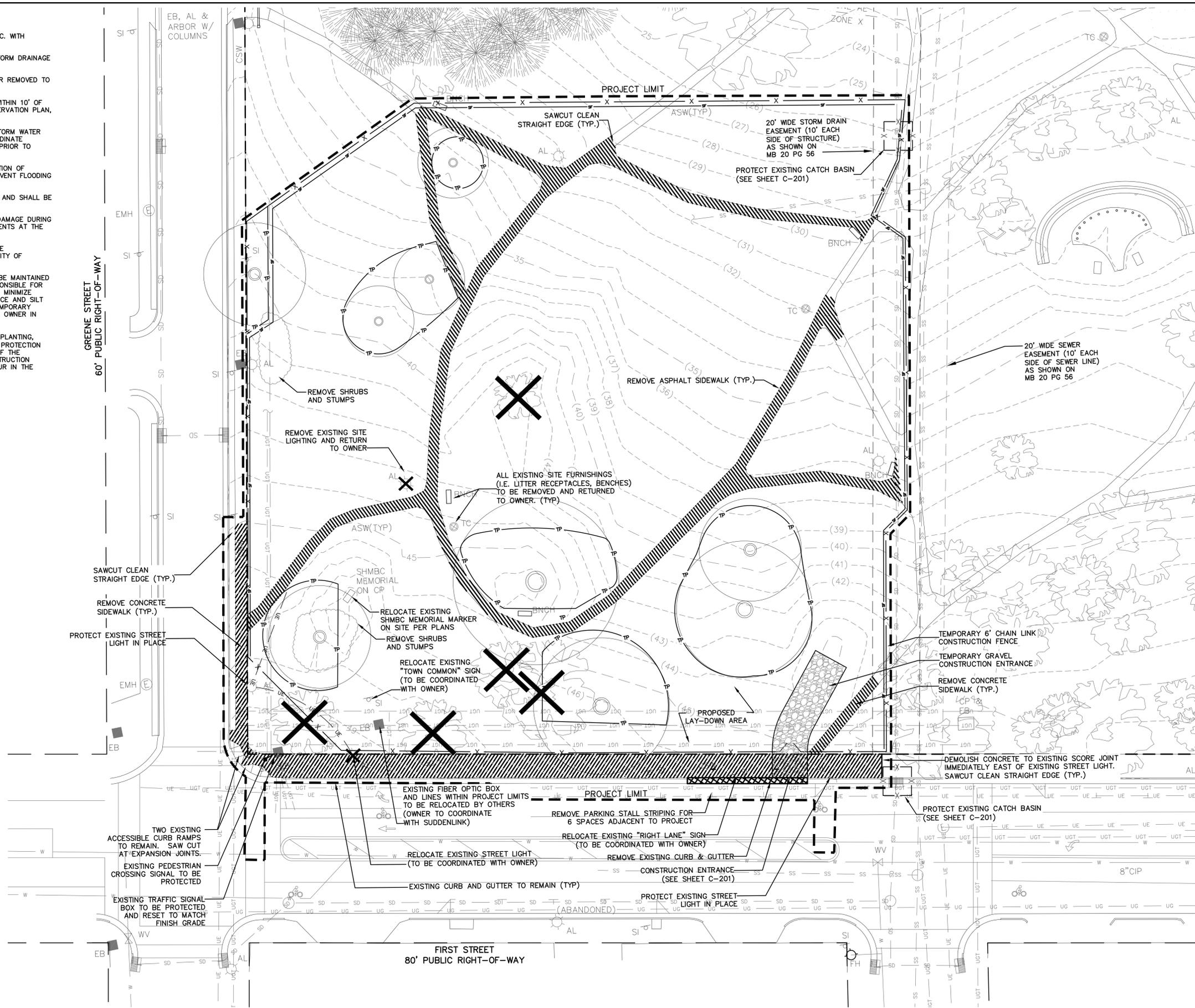
- BACKFILL ALL REMOVED UTILITY TRENCHES, TREE REMOVAL, ETC. WITH SELECT FILL, COMPACTED TO 95% STANDARD PROCTOR.
- CONTRACTOR IS RESPONSIBLE FOR CLEAN OUT OF EXISTING STORM DRAINAGE LOCATED WITHIN THE CONSTRUCTION LIMITS.
- ALL CONCRETE AND ASPHALT REMOVED SHALL BE SAW CUT OR REMOVED TO NEXT EXPANSION JOINT.
- PROVIDE TREE PROTECTION FENCING TO ALL EXISTING TREES WITHIN 10' OF CONSTRUCTION LIMITS. REFER TO SHEET C-003 - TREE PRESERVATION PLAN, DETAILS AND NOTES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL STORM WATER DRAINAGE OUTFALLS DURING CONSTRUCTION. G.C. SHALL COORDINATE CONSTRUCTION OF PROPOSED MAIN DRAINAGE OUTFALL LINES PRIOR TO DEMOLITION OF EXISTING LINES.
- NEW STORM DRAINAGE SHALL BE INSTALLED PRIOR TO DEMOLITION OF EXISTING STORM DRAINAGE, TO THE EXTENT POSSIBLE, TO PREVENT FLOODING OF EX. FACILITIES.
- LOCATION OF WATER AND SEWER SERVICES ARE APPROXIMATE AND SHALL BE VERIFIED PRIOR TO ANY EXCAVATION OCCURRING ON SITE.
- CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS FROM DAMAGE DURING CONSTRUCTION AND SHALL RESTORE ANY DAMAGED IMPROVEMENTS AT THE END OF CONSTRUCTION.
- LANE CLOSURE AND TRAFFIC CONTROL AND RE-ROUTING TO BE COORDINATED PRIOR TO BEGINNING CONSTRUCTION WITH THE CITY OF GREENVILLE.
- EXISTING 1ST STREET AND GREENE STREET SIDEWALKS SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PHASING IMPROVEMENTS IN THIS PORTION OF THE PROJECT TO MINIMIZE DISRUPTION OF PEDESTRIAN CIRCULATION. CONSTRUCTION FENCE AND SILT FENCE MAY BE ADJUSTED WHILE WORKING IN THIS AREA. TEMPORARY CLOSINGS OF THESE ROUTES MUST BE COORDINATED WITH THE OWNER IN ADVANCE.
- LIMITED IMPROVEMENTS (I.E. LIGHT DEMOLITION, FINE GRADING, PLANTING, ETC.) MAY BE REQUIRED ALONG THE PERIMETER OF THE TREE PROTECTION ZONES. THIS WORK SHALL OCCUR THE BEGINNING AND END OF THE PROJECT. AT NO POINT SHOULD MACHINERY, STORAGE, CONSTRUCTION OTHER THAN WHAT IS PROPOSED, PARKING, OR STORAGE OCCUR IN THE TREE PROTECTION AREA.

EXISTING MATERIALS LEGEND:

- AL AREA LIGHT
- ASW ASPHALT WALK
- BNCH BENCH
- CP CONCRETE PAD
- CIP CAST IRON PIPE
- CSW CONCRETE SIDEWALK
- DI DROP INLET
- EB ELECTRIC BOX
- EMH ELECTRICAL MANHOLE
- EX EXISTING
- ICV IRRIGATION CONTROL VALVE
- INV INVERT
- RCP REINFORCED CONCRETE PIPE
- SD STORM DRAIN
- SI SIGN
- SMH SANITARY MANHOLE
- SS SANITARY SEWER
- TBM TEMPORARY BENCH MARK
- TC TRASH CAN
- TYP. TYPICAL
- UE ELECTRIC
- UG GAS
- UGT TELEPHONE/CABLE/FIBER OPTIC
- W WATER
- WV WATER VALVE
- YI YARD INLET
- CON EXISTING CONTOUR
- SPOT EXISTING SPOT ELEVATION (SURVEYED)
- TI EXISTING SPOT ELEVATION (AT TIE IN POINTS)

SITE PREPARATION & DEMOLITION LEGEND:

- PROJECT LIMIT
- X INLET PROTECTION
- TP TREE PROTECTION
- CONSTRUCTION FENCE (6' HT CHAIN LINK)
- SF SILT FENCE
- REMOVE ASPHALT WALKWAY
- REMOVE CONCRETE WALKWAY
- REMOVE CONCRETE CURB & GUTTER
- X REMOVE TREE AND GRIND STUMP
- X REMOVE LIGHT POLE (RELOCATE OR REPLACE - SEE PLANS)



CURRENT CONDITIONS AND DEMOLITION PLAN



EXISTING TREE ASSESSMENT AND RECOMMENDATION REPORT:

The following shall be provided per Specification Section 015639: Temporary Tree and Plant Protection:

ARBORIST REPORT: Prior to the start of construction, submit, for approval by the Owner's Representative, the report of a consulting arborist who is a registered Consulting Arborist (RCA) with American Society of Consulting Arborists or an ISA Board Certified Master Arborist, which details the following information for all trees to remain within the area designated on the drawings as the Tree and Plant Protection Area. The report shall include the following:

1. A description of each tree to remain indicating its genus and species, condition including any visible damage to the root system or soil within the root zone, tree diameter at breast height (dbh) and approximate height, size and any visible disease, insect infestations and or branch and trunk structural deficiencies.
2. The report shall note all trees or parts of trees, which are considered a hazard or significant or extreme risk level. Include the International Society of Arboriculture hazard evaluation sheet for each tree, which may reasonably be identified as a potential hazard tree.
3. Recommendations as to treatment of all insect, disease and structural problems encountered.
4. Recommendations for fertilizer treatments, if any.
5. Recommendations for root and/or canopy preservation measures.
6. A plan of the site showing the location of all trees included in the report.

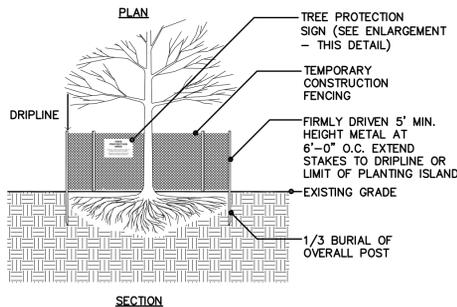
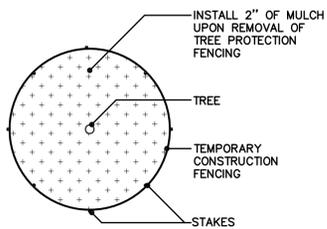
PRODUCT DATA: Submit manufacturer product data and literature describing all products required by this section to the Owner's Representative for approval. Provide submittal four weeks before the start of any work at the site.

QUALIFICATIONS SUBMITTAL: For each applicable person expected to work on the project, provide copies of the qualifications and experience of the Consulting arborist, proof of either the registered Consulting Arborist (RCA) with American Society of Consulting Arborists or an ISA Board Certified Master Arborist and any required Herbicide/Pesticide license to the Owner's Representative, for review prior to the start of work.

TREE PROTECTION AREA

Machinery, storage, construction, parking, or storage of any material is prohibited.
Protective tree fencing is required on this jobsite for the duration of construction.

- TREE PROTECTION SIGN:**
- SHALL BE ALL-WEATHER MATERIAL
 - SHALL BE MINIMUM OF 11"X17"
 - MULTIPLE SIGNS MAY BE REQUIRED TO ENSURE VISIBILITY FROM ALL DIRECTIONS OF TREE PROTECTION ZONE



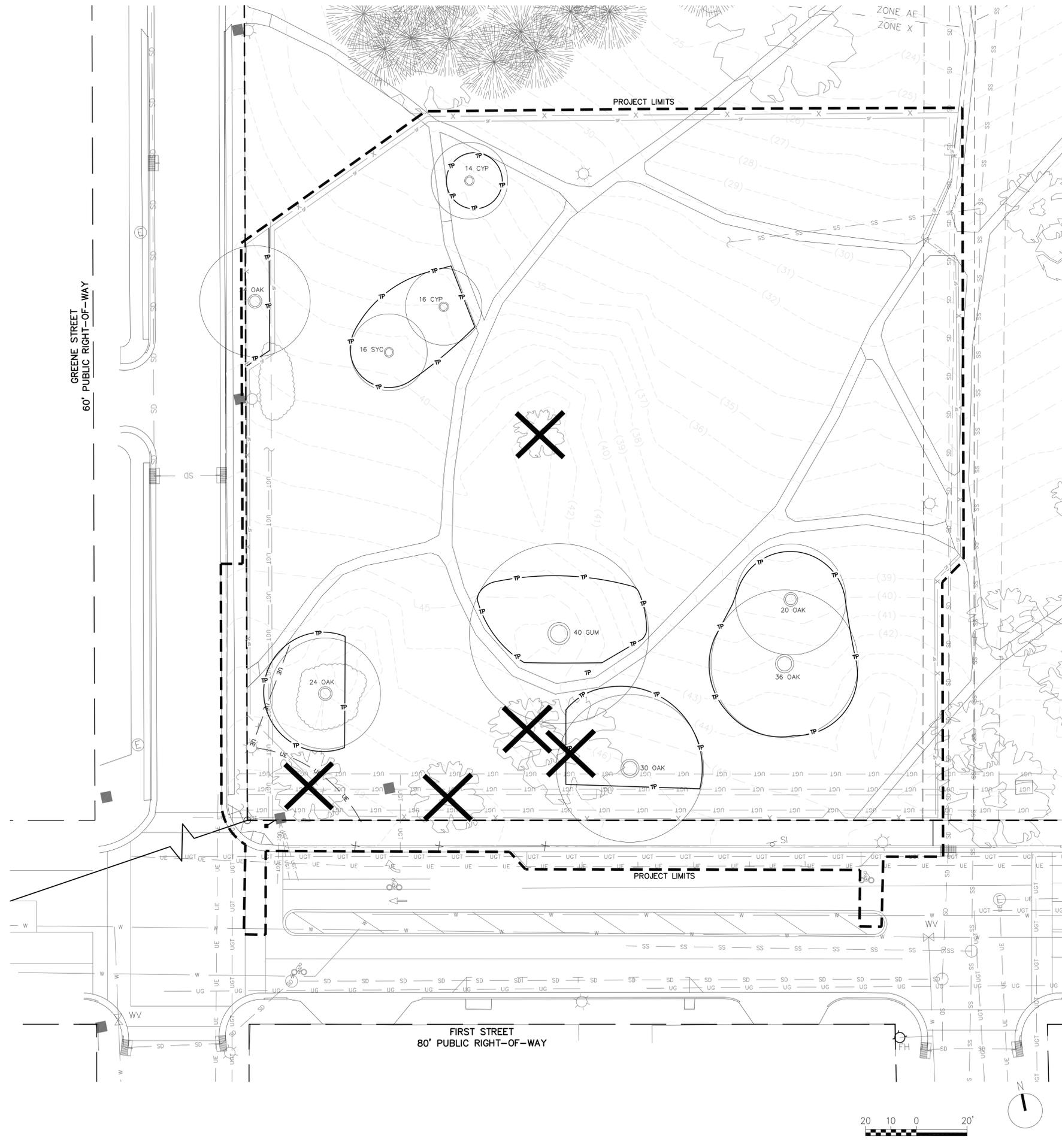
1 TREE PROTECTION DETAIL
C003 N.T.S.

EXISTING MATERIALS LEGEND:

- AL AREA LIGHT
- ASW ASPHALT WALK
- BNCH BENCH
- CP CONCRETE PAD
- CIP CAST IRON PIPE
- CSW CONCRETE SIDEWALK
- DI DROP INLET
- EB ELECTRIC BOX
- EMH ELECTRICAL MANHOLE
- EX EXISTING
- ICV IRRIGATION CONTROL VALVE
- INV INVERT
- RCP REINFORCED CONCRETE PIPE
- SD STORM DRAIN
- SI SIGN
- SMH SANITARY MANHOLE
- SS SANITARY SEWER
- TBM TEMPORARY BENCH MARK
- TC TRASH CAN
- TYP. TYPICAL
- UE ELECTRIC
- UG GAS
- UGT TELEPHONE/CABLE/FIBER OPTIC
- W WATER
- WV WATER VALVE
- VI YARD INLET
- (-100) EXISTING CONTOUR
- (+500.00) EXISTING SPOT ELEVATION (SURVEYED)
- (+500.00) EXISTING SPOT ELEVATION (AT TIE IN POINTS)

SITE PREPARATION LEGEND:

- PROJECT LIMIT
- X X INLET PROTECTION
- TP TP TREE PROTECTION
- CONSTRUCTION FENCE (6' HT CHAIN LINK)
- SF -SF SILT FENCE



GREENVILLE TOWN COMMON SYCAMORE HILL GATEWAY PLAZA

90% DESIGN SUBMISSION

ADDRESS:
201 W 1ST ST, GREENVILLE, NC 27858
Tel. 252.329.4567

OWNER:



DESIGN TEAM:



RHODESIDE & HARWELL

510 King Street
Suite 300
Alexandria, VA 22314
703-683-7447 ph
703-683-7449 fx
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THE EAST GROUP
GALLAGHER & ASSOCIATES
BREE & ASSOCIATES
LIGHT DEFINES FORMS INC
ENGINEERING SOURCE

NOT FOR CONSTRUCTION AND BIDDING

REVISION:

A 09-06-18 STORMWATER PLAN,
EROS & SED CONT PLAN,
& COG SITE PLAN

SCALE: 1" = 20' - 0"

SHEET NAME: **TREE PRESERVATION PLAN, DETAILS & NOTES**

SHEET NUMBER:

C-003

DATE: SEPTEMBER 26 2018

NOTE
 THIS PLAN INCLUDES MATERIAL AND LAYOUT INFORMATION FOR PURPOSES OF THE CITY OF GREENVILLE SITE PLAN, STORMWATER AND EROSION & SEDIMENT CONTROL PLAN REQUIREMENTS. COMPLETE LAYOUT, MATERIALS, DETAILS AND NOTES WILL BE PROVIDED IN THE LANDSCAPE ARCHITECTURE, ARCHITECTURE, STRUCTURAL ENGINEERING, AND ELECTRICAL ENGINEERING CONSTRUCTION DOCUMENTS.

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REVISION:

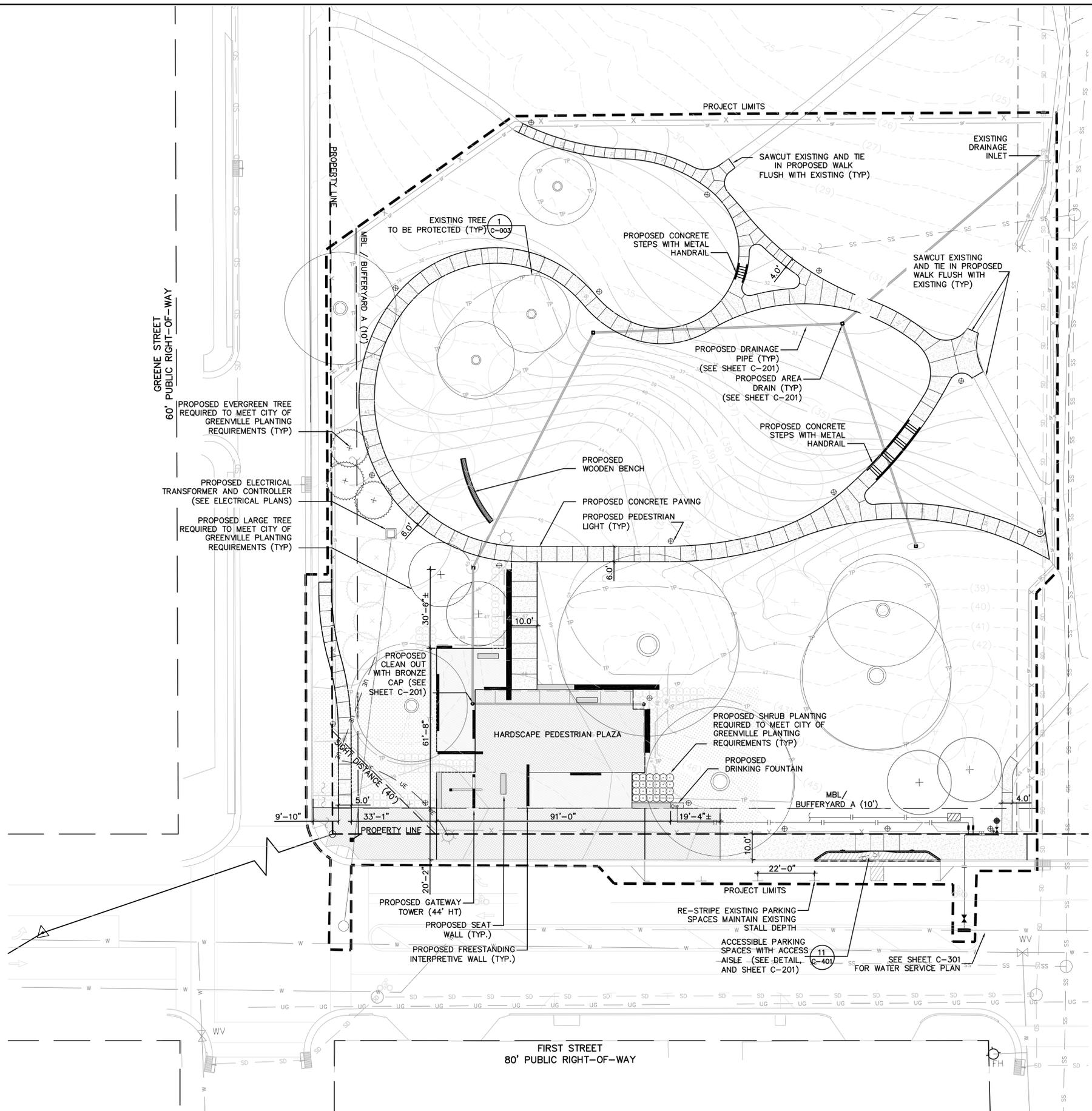
A 09-06-18 STORMWATER PLAN,
 EROS & SED CONT PLAN,
 & COG SITE PLAN

SCALE: 1" = 20' - 0"

SHEET NAME: SITE PLAN

SHEET NUMBER: C-101

DATE: SEPTEMBER 26 2018



EXISTING MATERIALS LEGEND:

- AL AREA LIGHT
- ASW ASPHALT WALK
- BNCH BENCH
- CP CONCRETE PAD
- CIP CAST IRON PIPE
- CSW CONCRETE SIDEWALK
- DI DROP INLET
- EB ELECTRIC BOX
- EMH ELECTRICAL MANHOLE
- EX EXISTING
- ICV IRRIGATION CONTROL VALVE
- INV INVERT
- RCP REINFORCED CONCRETE PIPE
- SD STORM DRAIN
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- TYP. TYPICAL
- UE ELECTRIC
- UG GAS
- UGT TELEPHONE/CABLE/FIBER OPTIC
- W WATER
- WV WATER VALVE
- YI YARD INLET
- YI (500) EXISTING SPOT ELEVATION (SURVEYED)
- YI (500.00) EXISTING SPOT ELEVATION (AT TIE IN POINTS)

SITE PREPARATION LEGEND:

- PROJECT LIMIT
- [X] INLET PROTECTION
- [TP] TREE PROTECTION
- CONSTRUCTION FENCE (6' HT CHAIN LINK)
- SF-SF SILT FENCE

SITE PLAN



CONSTRUCTION SEQUENCE:

1. CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE/EXIT.
2. DISTURB LAND ONLY AS NECESSARY TO INSTALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES AS NEEDED OR AS DIRECTED BY THE ENGINEER.
3. PERFORM SITE CLEARING AND DEMOLITION, IN ACCORDANCE WITH PLANS, INCLUDING REMOVAL OF EXISTING PAVEMENT, CURB & GUTTER, SIDEWALK, AGGREGATE BASE COURSE, TREES, SHRUBS, ETC. FROM THE SITE AND DISPOSE OF DEBRIS AT AN APPROVED SITE. PRIOR TO AND DURING DEMOLITION PHASE INSTALL APPROPRIATE EROSION AND SEDIMENTATION CONTROL MEASURES.
4. BEGIN GRADING THE SITE.
5. BEGIN EXCAVATION FOR UNDERGROUND CONSTRUCTION. CONSTRUCT UNDERGROUND IMPROVEMENTS.
6. INSTALL DRAINAGE INLETS AND STORM DRAINAGE PIPING WITH TEMPORARY INLET PROTECTION.
7. CONSTRUCT BUILDING AND SITE IMPROVEMENTS.
8. MAINTAIN EROSION AND SEDIMENTATION MEASURES DURING CONSTRUCTION. CHECK THE MEASURES FOR FAILURE AND AVAILABLE SEDIMENT STORAGE AFTER EACH SIGNIFICANT RAINFALL EVENT.
9. MULCH AND SEED ALL DISTURBED AREAS. ANY SLOPES LEFT EXPOSED WILL WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.
10. COMPLETE CONSTRUCTION OF ALL PROPOSED IMPROVEMENTS.
11. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES ONCE PERMANENT VEGETATION IS ESTABLISHED.
12. TIME OF EXPOSURE IS APPROXIMATELY 10 MONTHS OR UNTIL COMPLETION AND STABILIZATION OF THE SITE. CONTRACTOR SHALL PREPARE FOR MAINTENANCE OF SITE EROSION & SEDIMENTATION MEASURES APPROPRIATE FOR EXPECTED DURATION

CITY OF GREENVILLE EROSION NOTES:

1. SCHEDULING OF A PRECONSTRUCTION CONFERENCE WITH THE ENGINEERING DIVISION IS REQUIRED PRIOR TO INITIATING LAND DISTURBING ACTIVITIES. FOR SCHEDULING PLEASE CALL (252) 329-4467. A 24-HOUR NOTICE IS REQUIRED. NO PERSON MAY INITIATE A LAND DISTURBING ACTIVITY BEFORE NOTIFYING THE CITY OF THE DATE OF LAND DISTURBING ACTIVITY.
2. NO LAND DISTURBING ACTIVITY BEYOND THAT REQUIRED TO INSTALL APPROPRIATE EROSION CONTROL MEASURES MAY PROCEED UNTIL EROSION CONTROL MEASURES ARE INSPECTED AND APPROVED BY CITY OF GREENVILLE.
3. SEED AND MULCHING OR OTHERWISE PROVIDE GROUND COVER DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION FOR ALL EXPOSED SLOPES WITHIN 14 WORKING DAYS OF COMPLETING ANY PHASE OF GRADING.
4. CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH 0.5" OVER 24-HOUR PERIOD RAINFALL EVENT. FAILURE TO KEEP EROSION CONTROL DEVICES IN GOOD WORKING ORDER MAY RESULT IN ISSUANCE OF A STOP WORK ORDER OR CIVIL PENALTIES UP TO \$5,000 PER DAY OF VIOLATION. STIES UTILIZING SEDIMENT TRAPS MUST ALSO SPECIFY A MAXIMUM DEPTH OF SEDIMENT PRIOR TO CLEAN OUT.
5. THE CITY ENGINEER RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES SHOULD THE PLAN OR ITS IMPLEMENTATION PROVE TO BE INADEQUATE.
6. ACCEPTANCE AND APPROVAL OF THIS PLAN IS CONDITIONED UPON YOUR COMPLIANCE WITH FEDERAL AND STATE WATER QUALITY LAWS, REGULATIONS, AND RULES. IN ADDITION, LOCAL CITY AND COUNTY ORDINANCES OR RULES MAY ALSO APPLY TO THIS LAND-DISTURBING ACTIVITY. APPROVAL BY THE CITY DOES NOT SUPERCEDE ANY OTHER PERMIT OR APPROVAL. -PLEASE BE ADVISED OF THE RULES TO PROTECT AND MAINTAIN EXISTING BUFFERS ALONG WATERCOURSES IN THE NEUSE AND TAR RIVER BASINS. THESE RULES ARE ENFORCED BY THE DIVISION OF WATER QUALITY (DWQ). DIRECT ANY QUESTIONS ABOUT THE APPLICABILITY OF THESE RULES TO YOUR PROJECT TO THE REGIONAL WATER QUALITY SUPERVISOR, WASHINGTON REGIONAL OFFICE AT (252) 946-6481.
7. INSTALL INLET PROTECTION AROUND ALL CATCH BASINS, DROP INLETS OR INLET STRUCTURES WITHIN THE CONSTRUCTION/DISTURBED AREA.
8. CONTRACTOR SHALL PROVIDE MEASURES TO CLEAN ANY SOILS OR SEDIMENT THAT IS TRACKED, PLACED, OR FLOWS ONTO EXISTING PAVEMENT AND IMPROVED SURFACES THAT ARE TO REMAIN.
9. THIS PROJECT DISTURBS OVER 1-ACRE AND REQUIRES AN EROSION & SEDIMENT CONTROL PERMIT.

GROUND STABILIZATION		
SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
* PERMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
* HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
* SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
* SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
* ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)

MAINTENANCE PLAN:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND SEPARATION FOLLOWING EVERY 0.5" OVER 24-HOUR PERIOD RAINFALL EVENT, BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES 0.5 FT DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
3. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/ EXIT WILL BE INSPECTED PERIODICALLY. WHEN MUD BEGINS TO BUILD-UP, THE ENTRANCE WILL BE BLADED OFF REMOVING THE MUD. ADD NEW STONE TO ENTRANCE AS NEEDED.
4. ALL SEEDED AREAS WILL BE FERTILIZED, RE-SEEDED AS NECESSARY AND MULCHED ACCORDING TO SPECIFICATION IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
5. INSPECT INLET PROTECTION AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY. REMOVE SEDIMENT FROM THE SEDIMENT POOL AREA WHEN THE VOLUME IS DECREASED BY HALF.
6. REMOVE INLET SEDIMENT IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS, OR AS DIRECTED. REPLACE FABRIC IF TORN OR PUNCTURED TO >1/2" DIAMETER.

STORM DRAINAGE DESIGN NARRATIVE:

THE STORMWATER DRAINAGE DESIGN WILL PROVIDE SHEET FLOW WHERE POSSIBLE. STORM DRAINAGE INTERCEPTION IS REQUIRED AT CURB DISCHARGE POINTS, WALLS, AND AREAS PONDED BY WALKWAYS. THE RUNOFF INTERCEPTION POINTS WILL BE CONNECTED WITH SMALL DIAMETER PIPING AND CONVEYED TO AN EXISTING STORM SEWER AT THE NORTHEASTERN SITE MARGIN, AS SHOWN.

THE PROJECT IS ADJACENT TO THE FLOODWAY AND PEAK ATTENUATION CONTROL DOES NOT APPLY; THEREFORE, THIS PROJECT DOES NOT INCLUDE ENGINEERED STORMWATER CONTROLS. ALSO, PROJECTS IN THE UPTOWN DISTRICT ARE NOT REQUIRED TO PROVIDE ENGINEERED CONTROLS FOR NUTRIENT REDUCTION.

GRADING NOTES:

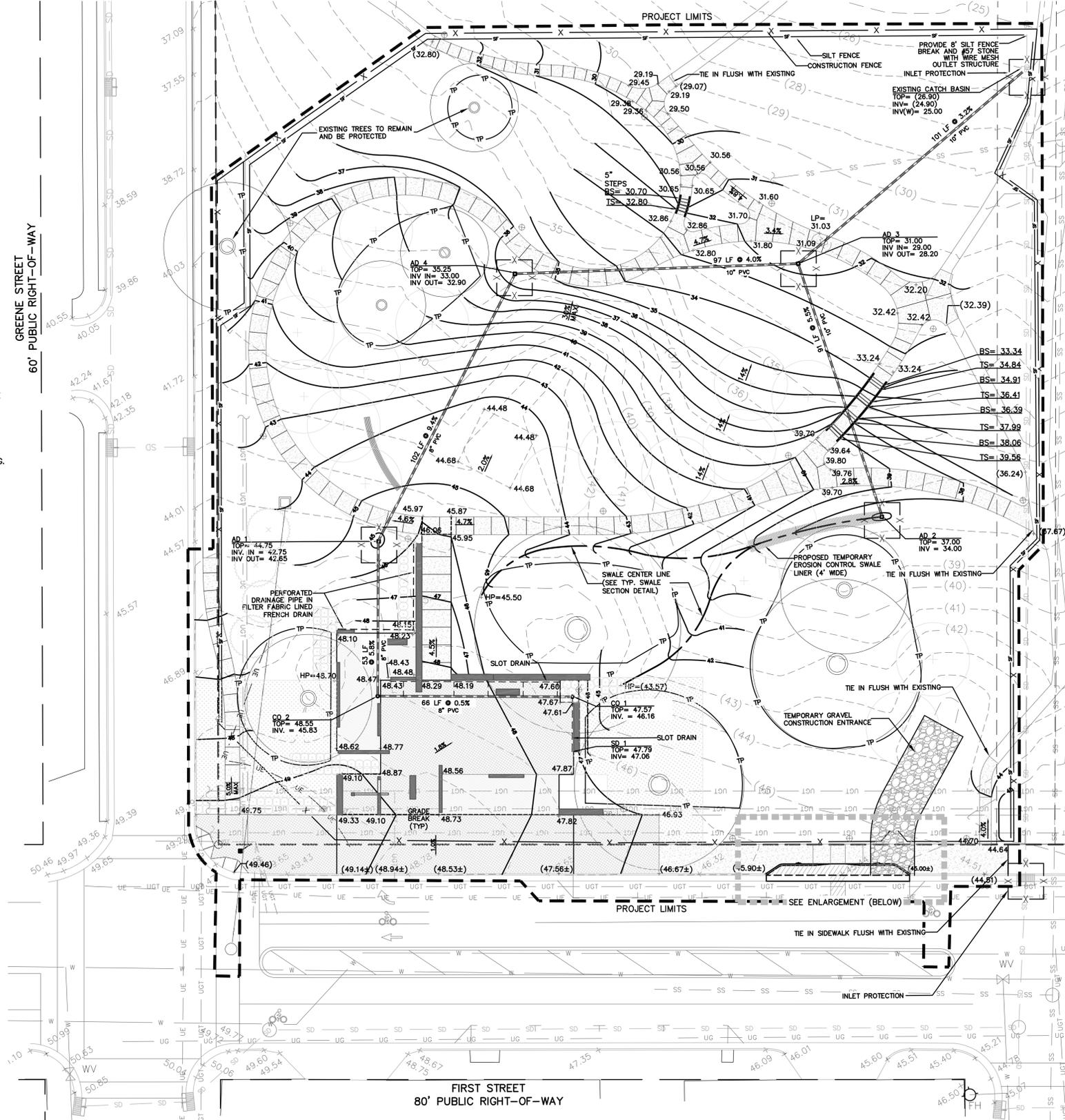
1. ALL VEGETATION AND TOPSOIL SHALL BE STRIPPED FROM FILL AREAS PRIOR TO PLACING FILL. ANY QUESTIONABLE OR UNSUITABLE SOIL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
2. AFTER STRIPPING TOPSOIL AND PRIOR TO PLACING FILL, IT IS RECOMMENDED THAT ALL BUILDING, PARKING AND DRIVEWAY AREAS BE ROLLED WITH A VIBRATORY ROLLER TO CONSOLIDATE LOOSE SOILS IN THE UPPER SUBGRADE. COMPACTION TEST RESULTS OF AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY WILL BE REQUIRED PRIOR TO ENGINEER'S APPROVAL FOR FILL PLACEMENT. CONTRACTOR SHALL CONTACT THE ENGINEER AND SCHEDULE A PROOF ROLL FOR SUBGRADE AND WHEN AGGREGATE BASE COURSE HAS BEEN INSTALLED.
3. ALL FILL SHALL BE COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698).
4. ALL CULVERT CLEANOUT MUST BE DONE SUCH THAT THE SEDIMENT IS EITHER EXTRACTED OR BLOWN UPSTREAM FOR CLEANUP. UNDER NO CIRCUMSTANCES SHALL SEDIMENT BE BLOWN DOWNSTREAM.
5. GRADING CONTRACTOR SHALL TEMPORARY SEED AND MULCH ALL DISTURBED AREAS IN ACCORDANCE WITH THE SPECIFICATIONS WITHIN 14 DAYS OF COMPLETION OF GRADING WORK. UPON COMPLETION OF THE PROJECT, THE GENERAL CONTRACTOR SHALL INSTALL PERMANENT SEEDING AS OUTLINED IN THE SPECIFICATIONS. ALL DRAINAGE PIPES SHALL BE CLEANED BY THE GENERAL CONTRACTOR TO REMOVE ANY SEDIMENTS THAT HAVE ACCUMULATED.
6. ALL EXCESS TOPSOIL STRIP MATERIAL TO BE HAULED OFF-SITE AND DISPOSED OF AT AN APPROVED SITE.
7. ALL PLANTING AREAS SHALL BE BACKFILLED WITH TOPSOIL AND RAKED DOWN, REMOVING ALL CLOUDS AND ROOTS, AND LEFT READY FOR SEEDING AND PLANTING.
8. THIS SITE EXEMPT FROM STORMWATER ATTENUATION REQUIREMENTS DUE TO DISCHARGING DIRECTLY TO THE FLOODWAY.

EXISTING MATERIALS LEGEND:

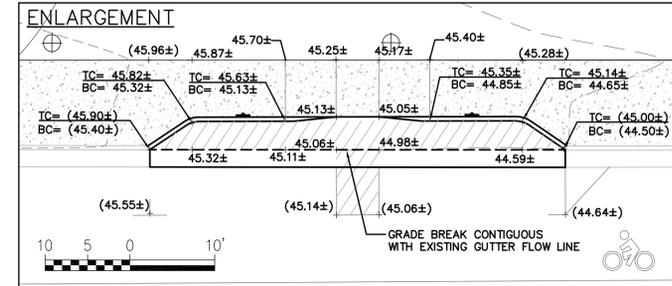
- AL AREA LIGHT
- ASW ASPHALT WALK
- BNCH BENCH
- CP CONCRETE PAD
- CIP CAST IRON PIPE
- CSW CONCRETE SIDEWALK
- DI DROP INLET
- EB ELECTRIC BOX
- EMH ELECTRICAL MANHOLE
- EX EXISTING
- ICV IRRIGATION CONTROL VALVE
- INV INVERT
- RCP REINFORCED CONCRETE PIPE
- SD STORM DRAIN
- SI SIGN
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- UGT TELEPHONE/CABLE/FIBER OPTIC
- W WATER
- WV WATER VALVE
- YI YARD INLET
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION (SURVEYED)
- EXISTING SPOT ELEVATION (AT TIE IN POINTS)

PROPOSED GRADING & DRAINAGE LEGEND:

- PROJECT LIMIT
- X INLET PROTECTION
- TP TREE PROTECTION
- CONSTRUCTION FENCE (6' HT CHAIN LINK)
- SF SILT FENCE
- +XX.XX SPOT ELEVATION
- TP TOP OF PAVEMENT
- TS TOP OF STEP
- BS BOTTOM OF STEP
- AD AREA DRAIN
- CO CLEAN OUT
- INV INVERT
- GRADE BRAKE
- CONTOUR
- +XX.XX SPOT ELEVATION



GRADING, DRAINAGE, EROSION & SEDIMENT CONTROL PLAN



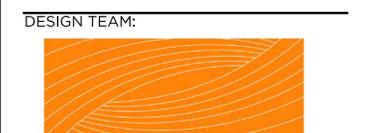
ACCESSIBLE PARKING NOTES:

- SPOT ELEVATIONS ADJACENT TO EXISTING BIKE LANE ARE BASED ON INTERPOLATIONS FROM SURVEYED SPOT ELEVATIONS. ACTUAL GRADES MAY REQUIRE SLIGHT ADJUSTMENT BASED ON FIELD CONDITIONS. SLOPE SHALL NOT EXCEED 2-PERCENT IN ANY DIRECTION WITHIN ACCESSIBLE PARKING SPACES AND ACCESS AISLE.
- ALL PROPOSED IMPROVEMENTS SHALL TIE IN FLUSH WITH EXISTING.
- REFER TO DETAIL 11/C-401 FOR LAYOUT AND DIMENSIONING OF ACCESSIBLE PARKING SPACES

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ENGINEERING SOURCE

NOT FOR CONSTRUCTION AND BIDDING

REVISION:

A	09-06-18	STORMWATER PLAN, EROS & SED CONT PLAN, & COG SITE PLAN

SCALE: 1" = 20' - 0"

SHEET NAME: **GRADING, DRAINAGE, EROSION & SEDIMENT CONTROL PLAN**

SHEET NUMBER: **C-201**

DATE: SEPTEMBER 26 2018



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REVISION:

A	09-06-18	STORMWATER PLAN, EROS & SED CONT PLAN, & COG SITE PLAN

SCALE: 1" = 20' - 0"
SHEET NAME: UTILITY PLAN:
WATER SERVICE

SHEET NUMBER: **C-301**
DATE: SEPTEMBER 26 2018

UTILITY NOTES:

1. LOCATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND COORDINATE CONNECTION WITH PROPER AUTHORITIES. CALL NC ONE-CALL CENTER, INC. AT 811 48 HOURS BEFORE ANY EXCAVATION IS BEGUN.
2. AS OF JAN. 1, 1986, ANYONE DIGGING WITH MECHANIZED EQUIPMENT IN HIGHWAY RIGHT-OF-WAY, PRIVATE UTILITY EASEMENTS, OR PUBLIC SPACES WILL BE REQUIRED BY NORTH CAROLINA LAW TO GIVE NOTICE OF THE PROPOSED EXCAVATION TO ALL EXISTING AREA UTILITIES AT LEAST 2 WORKING DAYS BEFORE STARTING TO DIG. THE UTILITY OWNER IS TO LOCATE ITS FACILITIES IN THE AREA OF THE PROPOSED EXCAVATION. UTILITY MEMBERS OF NC ONECALL CAN BE CONTACTED AT 811.
3. CONTRACTOR SHALL NOTIFY UTILITIES ENGINEER 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION. CONTRACTOR TO COORDINATE ALL EXISTING UTILITY TIE INS WITH THE UTILITY ENGINEER.
4. CONTRACTOR SHALL MAINTAIN COMPREHENSIVE (DEPTH AND HORIZONTAL LOCATIONS) FIELD "AS-BUILTS" FOR ALL INSTALLATIONS AND SUBMIT TO THE ENGINEER.
5. ALL PERMITS AND FEES REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
6. SEE SHEET C-201 FOR INFORMATION ON GRADING.

CHLORINATION TAP & BACTERIOLOGICAL SAMPLE POINT (BSP)

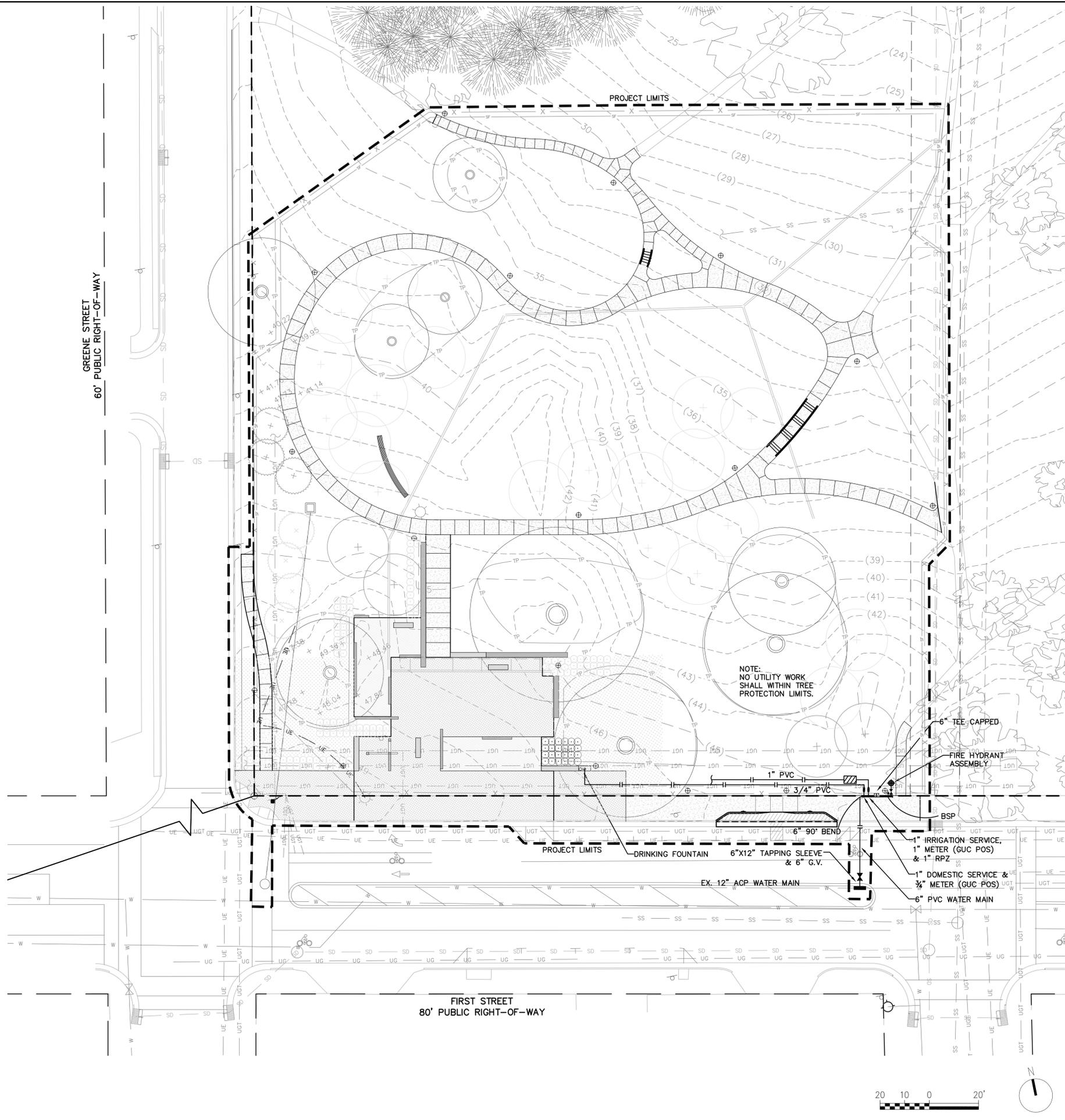
TEMPORARY SAMPLE POINT SHALL BE CONSTRUCTED OF THE SAME MATERIALS AS ONE INCH WATER SERVICES. SAMPLE POINTS SHALL BE INSTALLED SUCH THAT THE ANGLE BALL VALVE IS SECURELY LOCATED 36" MIN. ABOVE FINISH GRADE. UPON APPROVAL OF FINAL BACTERIOLOGICAL SAMPLES THE TUBING AND ANGLE BALL VALVE SHALL BE REMOVED, THE CORPORATION STOP CLOSED AND A CAP PLACED ON THE CORPORATION STOP.

EXISTING MATERIALS LEGEND:

AL	AREA LIGHT
ASW	ASPHALT WALK
BNCH	BENCH
CP	CONCRETE PAD
CIP	CAST IRON PIPE
CSW	CONCRETE SIDEWALK
D	DROP INLET
EB	ELECTRIC BOX
EMH	ELECTRICAL MANHOLE
EX	EXISTING
ICV	IRRIGATION CONTROL VALVE
INV	INVERT
RCP	REINFORCED CONCRETE PIPE
SD	STORM DRAIN
SI	SIGN
SMH	SANITARY MANHOLE
SS	SANITARY SEWER
TBM	TEMPORARY BENCH MARK
TC	TRASH CAN
TYP.	TYPICAL
UE	ELECTRIC
UG	GAS
UGT	TELEPHONE/CABLE/FIBER OPTIC
W	WATER
WV	WATER VALVE
YI	YARD INLET
(100)	EXISTING CONTOUR
x 500.00	EXISTING SPOT ELEVATION (SURVEYED)
+(500.00)	EXISTING SPOT ELEVATION (AT TIE IN POINTS)

SITE PREPARATION & DEMOLITION LEGEND:

---	PROJECT LIMIT
X	INLET PROTECTION
TP	TREE PROTECTION
---	CONSTRUCTION FENCE (6' HT CHAIN LINK)
SF	SILT FENCE



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Tel. 252.329.4567

OWNER:



DESIGN TEAM:



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AND BIDDING**

REVISION:

A 09-06-18 STORMWATER PLAN,
EROS & SED CONT PLAN,
& COG SITE PLAN

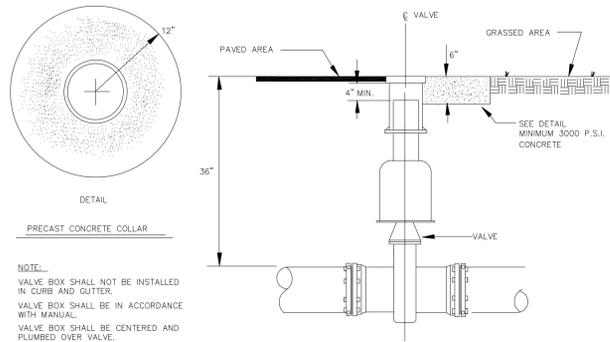
SCALE: AS SHOWN

SHEET NAME: **SITE DETAILS:
UTILITY AND VEHICULAR**

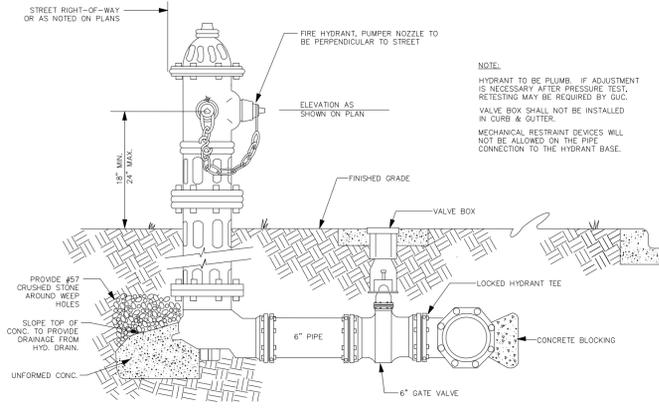
SHEET NUMBER:

C-401

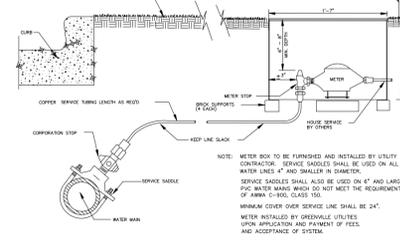
DATE: SEPTEMBER 26 2018



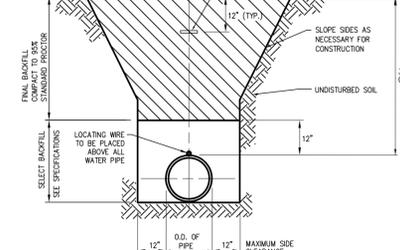
1 GATE VALVE AND BOX DETAIL
C401 N.T.S.



2 FIRE HYDRANT DETAIL
C401 N.T.S.



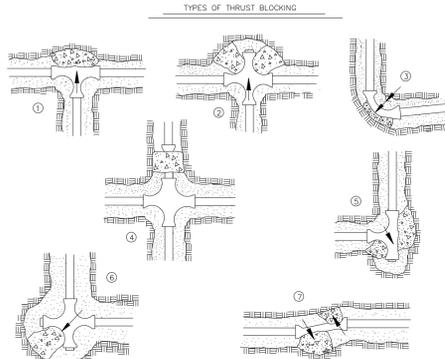
3 TYPICAL 1\"/>



4 WATER PIPE TRENCH DETAIL
C401 N.T.S.

RESULTANT THRUST AT FITTING AT 150 PSI WATER PRESSURE

NOM. PIPE DIA.	DEAD END	90° BEND	45° BEND	22-1/2° BEND	11-1/4° BEND
4"	2,700	3,800	2,100	1,100	530
6"	5,800	8,000	4,300	2,200	1,100
8"	9,700	13,600	7,400	3,800	1,900
10"	14,500	20,500	11,100	5,700	2,900
12"	20,500	29,000	15,700	8,000	4,000
14"	27,600	39,000	21,100	11,000	5,400
16"	35,700	50,400	27,300	14,000	7,000
18"	44,800	63,400	34,400	17,500	8,800
20"	55,000	77,000	42,100	21,500	10,800
24"	78,500	110,000	60,000	31,600	15,400
30"	120,600	170,600	92,300	47,100	23,600
36"	172,800	244,400	132,300	67,500	33,900
42"	233,300	330,000	178,600	91,000	45,700
48"	304,000	430,000	232,700	118,600	59,600
54"	384,100	543,200	294,000	149,000	75,300



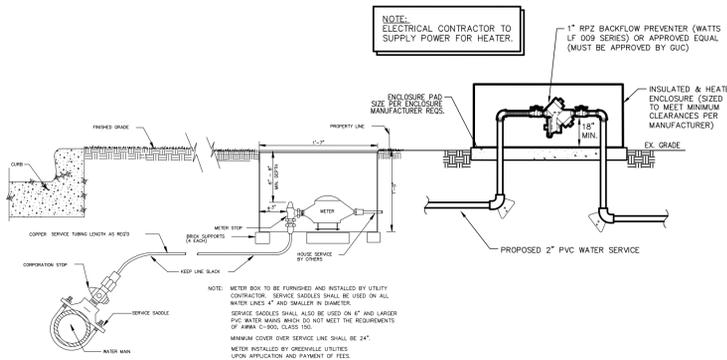
SOL BEARING LOAD (LB./SQ. FT.)

MUCK	0
SOFT CLAY	1,000
SILT	1,500
SANDY SILT	3,000
SAND	4,000
SANDY CLAY	6,000
HARD CLAY	9,000

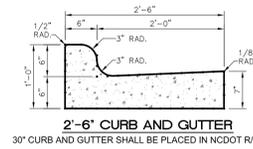
5 THRUST BLOCKING
C401 N.T.S.

POLYMAP SHALL BE USED TO COVER FITTINGS AND BOLTS.
TO DETERMINE THE SIZE OF A CONCRETE THRUST BLOCK, DIVIDE THE TOTAL FORCE BY THE BEARING VALUES OF THE SOL. THE QUOTIENT WILL BE THE SIZE OF THE BEARING AREA OF THE THRUST BLOCK IN SQUARE FEET. APPROXIMATE VALUES FOR VARIOUS TYPES OF SOL ARE LISTED IN TABLE.
NO RESPONSIBILITY CAN BE ASSUMED FOR THE ACCURACY OF THE DATA IN THIS TABLE DUE TO THE WIDE VARIATION OF BEARING LOAD CAPABILITIES FOR EACH SOL TYPE.

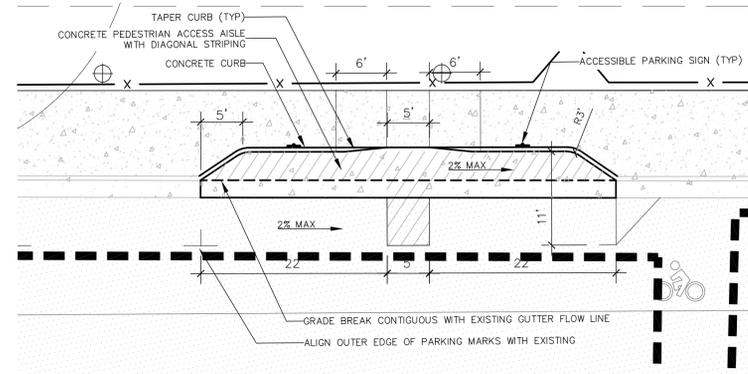
1. THRU LINE CONNECTION, TEE
2. THRU LINE CONNECTION, TEE CROSS USED AS TEE
3. DIRECTION CHANGE, ELBOW
4. CHANGE LINE SIZE, REDUCER
5. DIRECTION CHANGE, TEE USED AS ELBOW
6. DIRECTION CHANGE, CROSS USED AS ELBOW
7. DIRECTION CHANGE



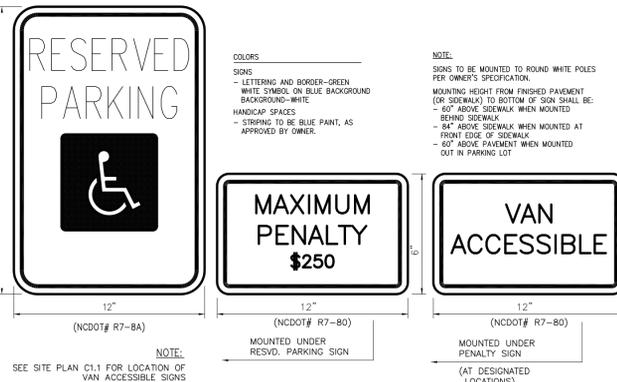
6 TYPICAL 1\"/>



7 STANDARD CURB & GUTTER DETAIL
C401 N.T.S.



8 PAVEMENT REPAIR DETAIL
C401 N.T.S.



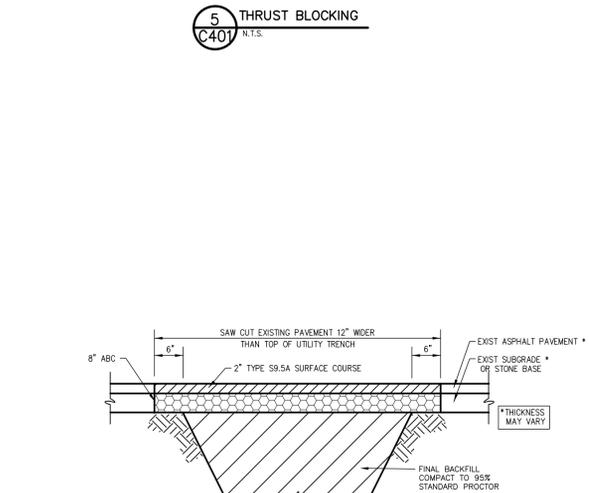
9 ACCESSIBLE SIGN DETAIL
C401 N.T.S.

ACCESSIBLE PARKING NOTES:

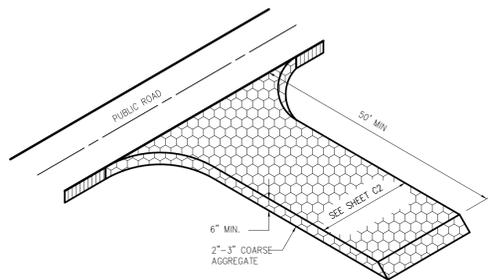
1. DIRECTIONAL ARROWS ARE FOR INFORMATION PURPOSES ONLY. REFER TO ENLARGEMENT ON SHEET C-201 FOR SPOT ELEVATIONS.
2. ALL SLOPES MUST MEET FEDERAL ADA AND NC STATE STANDARDS. WHENEVER CONFLICTS EXIST, THE MORE RESTRICTIVE PROVISION SHALL APPLY.
3. CONSTRUCT ALL RAMPS AND SIDEWALKS WITH A 2% MAX. CROSS SLOPE.
4. DO NOT EXCEED 0.08 FT./FT. (12:1) SLOPE ON THE CURB RAMP IN RELATIONSHIP TO THE GRADE OF THE STREET.
5. PLACE A 1/2\"/>

9 ADA ACCESSIBLE PARALLEL PARKING
C401 N.T.S.

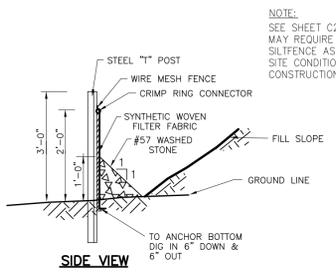
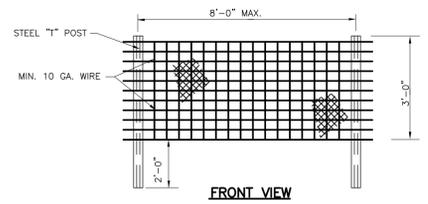
6. TERMINATE PARKING A MINIMUM OF 20 FEET BACK OF PEDESTRIAN WALK.
7. DROP CURB WIDTH (4\"/>



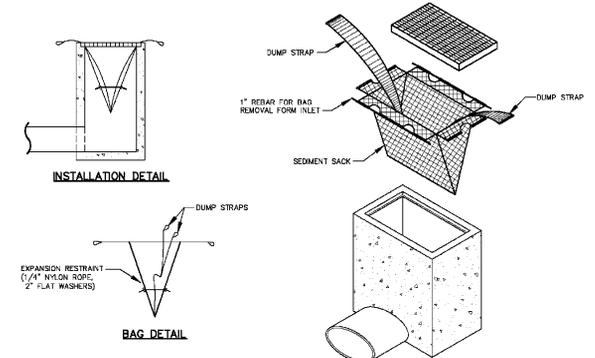
10 ADA ACCESSIBLE PARALLEL PARKING
C401 N.T.S.



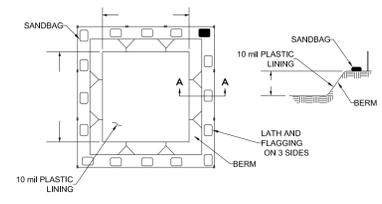
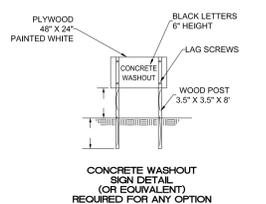
1 CONSTRUCTION ENTRANCE DETAIL
C402 N.T.S.



2 SILT FENCE DETAIL
C402 N.T.S.

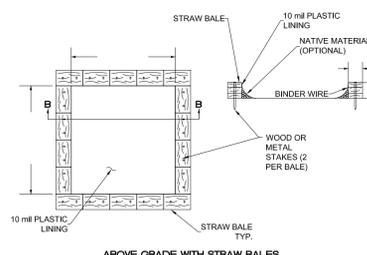


3 INLET SEDIMENT BAG DETAIL
C402 N.T.S.

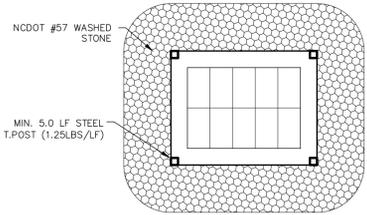
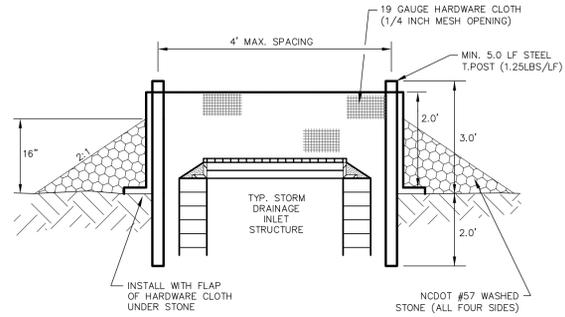


- NOTES:**
- ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD BUT NOT WITHIN 50 FT OF A PROPOSED/ EXISTING CATCH BASIN AND/ OR INLETS, TOP OF BANK OF PERENNIAL STREAM, SURFACE WATER BODY, OR WETLAND.
 - A CONCRETE WASHOUT SIGN SHALL BE INSTALLED IN CLOSE PROXIMITY OF THE AREA AND SHALL BE CLEARLY VISIBLE.
 - GEOMEMBRANE BASIN LINER SHALL CONSIST OF A POLYPROPYLENE OR POLYETHYLENE 10 MIL THICK GEOMEMBRANE.
 - HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.
- MAINTENANCE :**
- MAINTAIN WASHOUT STRUCTURE TO PROVIDE ADEQUATE CAPACITY PLUS A MINIMUM OF 12 INCHES. REMOVE AND DISPOSE HARDENED CONCRETE AND RETURN THE STRUCTURE TO A FUNCTIONAL CONDITION AFTER REACHING 75% CAPACITY.
 - INSPECT WASHOUT STRUCTURE FOR DAMAGE AND MAINTAIN FOR EFFECTIVENESS WEEKLY.
 - REMOVE CONCRETE STRUCTURE AND SIGN ON PROJECT COMPLETION. DISPOSE CONCRETE IN APPROVED LANDFILL SITE OR RECYCLE.
 - GRADE THE EARTH MATERIAL TO MATCH EXISTING CONTOURS AND SEED ACCORDINGLY TO PLANT SCHEDULE. MULCH AREA ACCORDINGLY.
 - PROVIDE 2" SAND LAYER TO CONCRETE WASHOUT PIT.

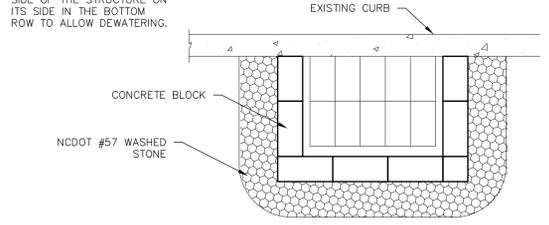
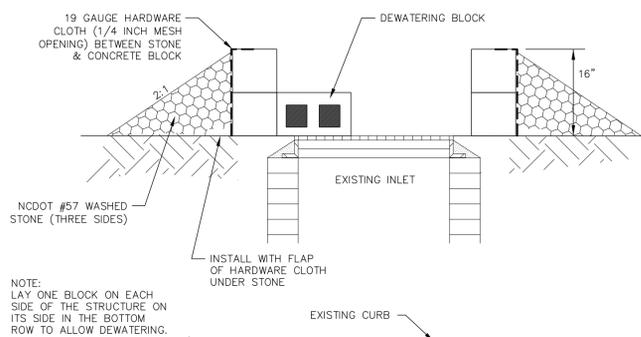
4 CONCRETE WASHOUT DETAIL
C402 N.T.S.



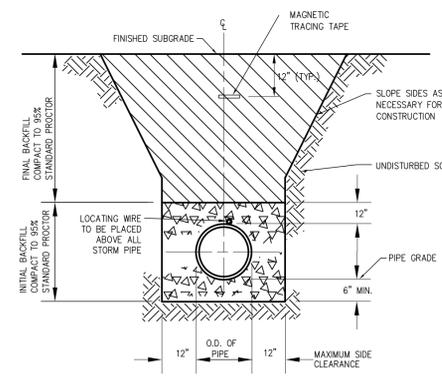
4 CONCRETE WASHOUT DETAIL
C402 N.T.S.



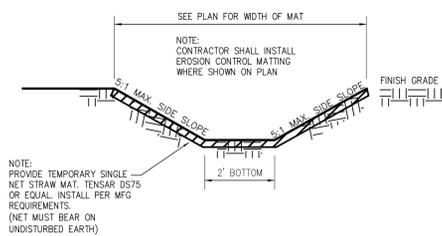
5 HARDWARE CLOTH & GRAVEL INLET PROTECTION
C402 N.T.S.



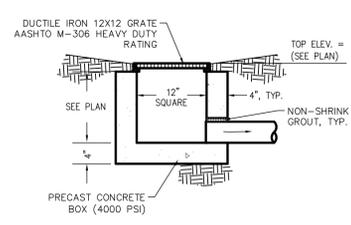
6 BLOCK & GRAVEL INLET PROTECTION (FOR EXISTING STRUCTURE)
C402 N.T.S.



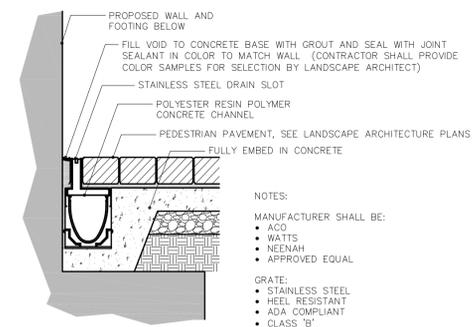
7 STORM DRAIN TRENCH DETAIL
C402 N.T.S.



8 TYPICAL SWALE SECTION
C402 N.T.S.



9 12" YARD INLET
C402 N.T.S.

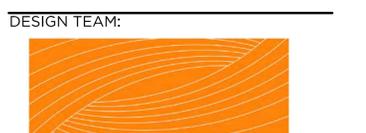


10 SLOT DRAIN DETAIL
C402 N.T.S.

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REVISION:

A	09-06-18	STORMWATER PLAN, EROS & SED CONT PLAN, & COG SITE PLAN

SCALE: AS SHOWN

SHEET NAME: SITE DETAILS: EROSION & SEDIMENT CONTROL AND STORMWATER

SHEET NUMBER: C-402

DATE: SEPTEMBER 26 2018

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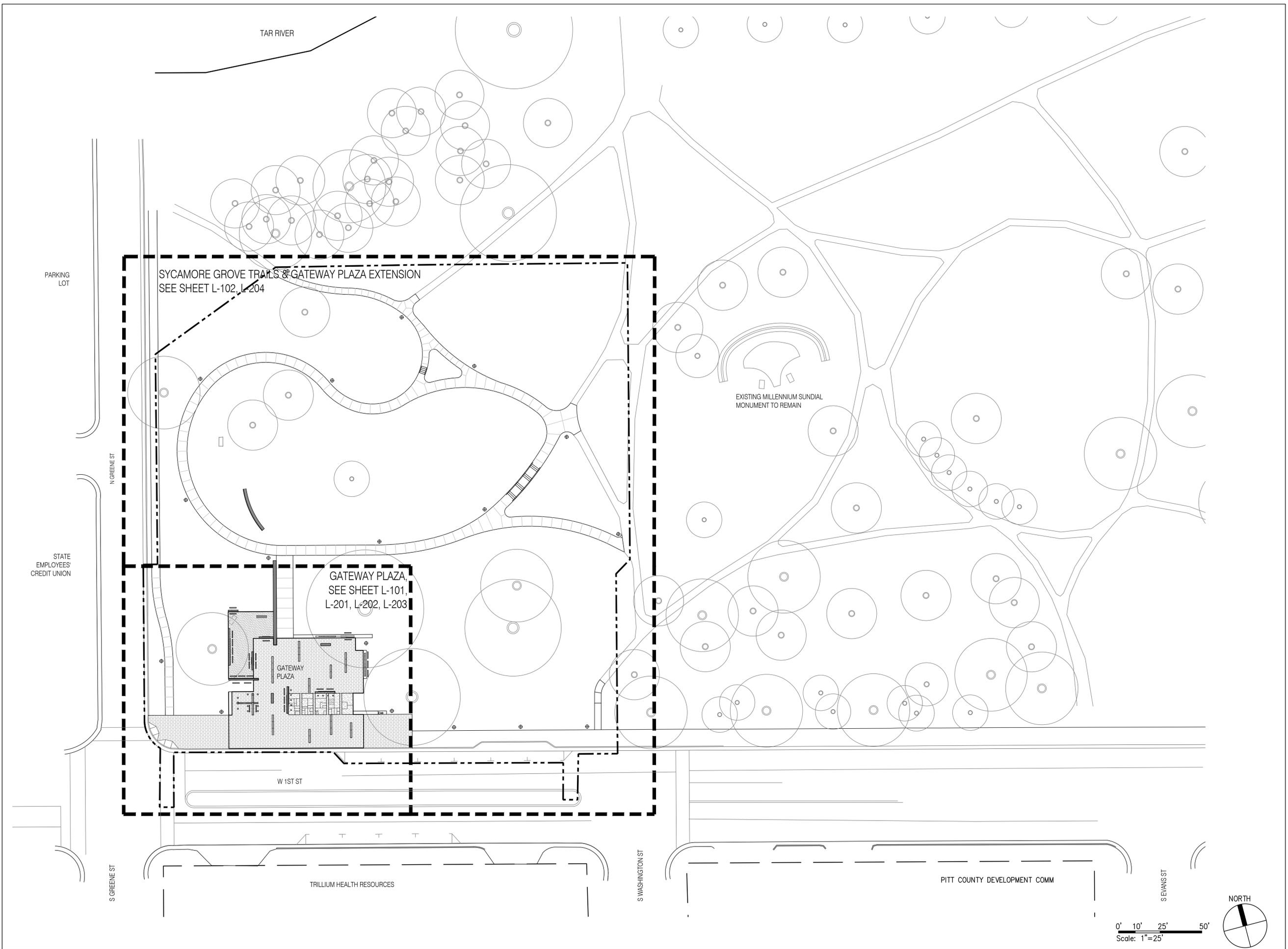
SCALE: 1" = 25' - 0"

SHEET NAME: **OVERALL SITE FEATURES
REFERENCE PLAN**

SHEET NUMBER:

L-100

DATE: SEPTEMBER 26 2018



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SCALE: 1/8" = 1' - 0"

SHEET NAME: **GATEWAY PLAZA
MATERIALS PLAN**

SHEET NUMBER:

L-101

DATE: SEPTEMBER 26 2018

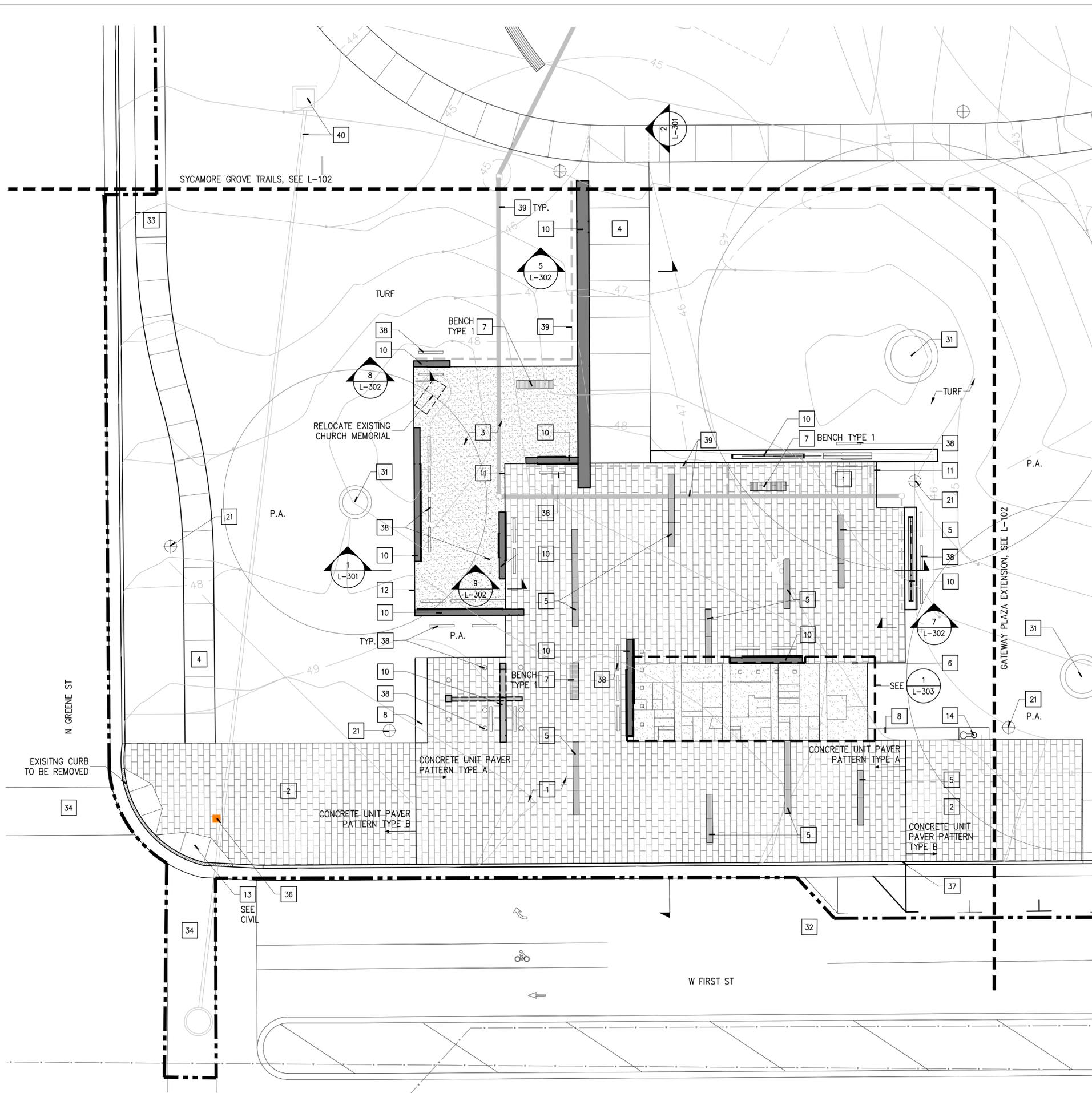
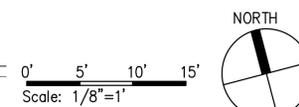
LANDSCAPE SITE FEATURES:

- 1 CONCRETE UNIT PAVERS PATTERN TYPE 'A'
SUPER BLACK 70% COVERAGE
LIMESTONE GRAY 30% COVERAGE
FINISH: TUDOR
- 2 CONCRETE UNIT PAVERS PATTERN TYPE 'B'
SUPER BLACK 30% COVERAGE
LIMESTONE GRAY 70% COVERAGE
FINISH: TUDOR
- 3 RESIN BOUND DECOMPOSED GRANITE
- 4 POUR-IN-PLACE CONCRETE PAVING
- 5 ENGRAVED INGROUND INTERPRETIVE GRANITE PAVERS
- 6 DECOMPOSED GRANITE IN METAL FRAME
- 7 WOOD BENCH TYPE 1
- 8 PRECAST CONCRETE BENCH
- 9 WOOD BENCH TYPE 2
- 10 INTERPRETIVE WALLS AND TOWER, SEE ARCH DWGS
- 11 EDGE RESTRAINT TYPE 1
- 12 EDGE RESTRAINT TYPE 2
- 13 CURB RAMP
- 14 DRINKING FOUNTAIN
- 15 POUR-IN-PLACE CONCRETE STAIR
- 21 LIGHTING FIXTURE TYP.

OTHER FEATURES:

- 31 PRESERVE EXISTING TREES, SEE CIVIL PLANS
- 32 EXISTING ON-STREET PARKING TO REMAIN
- 33 EXISTING SIDEWALK (TO REMAIN)
- 34 EXISTING CROSSWALK (TO REMAIN)
- 35 RELOCATED EXISTING CHURCH MEMORIAL
- 36 RELOCATE EXISTING CROSSWALK COUNTDOWN TIMER
- 37 EXISTING CURB TO REMAIN
- 38 INGROUND LIGHTING FIXTURE, SEE LIGHTING MOUNTING
- 39 SURFACE DRAINAGE & UNDERDRAIN PIPES, SEE CIVIL DWGS
- 40 PROPOSE ELECTRICAL CONDUIT & TRANSFORMER

--- LIMIT OF DISTURBANCE



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REVISION:

SCALE: 1/16" = 1' - 0"

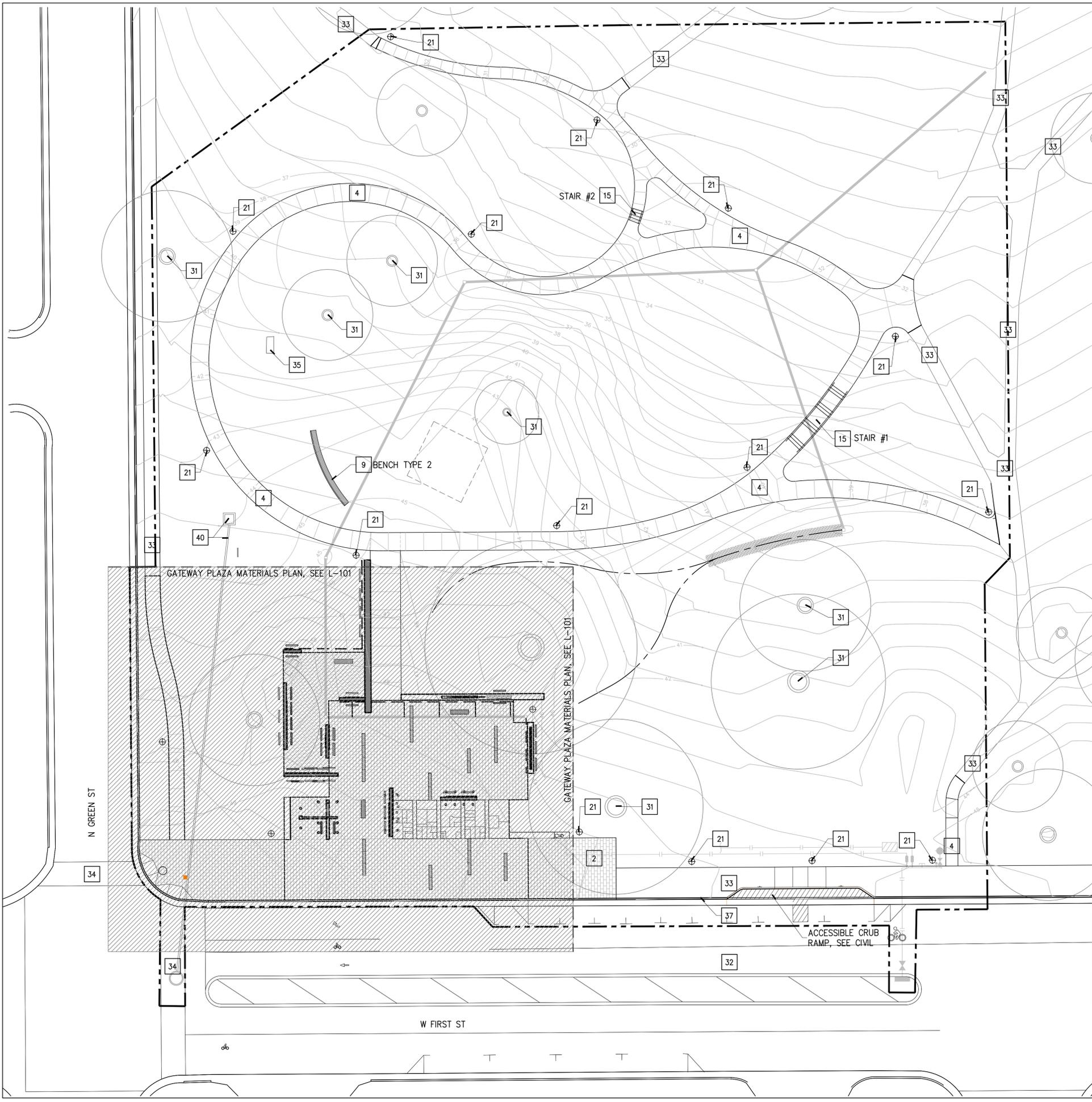
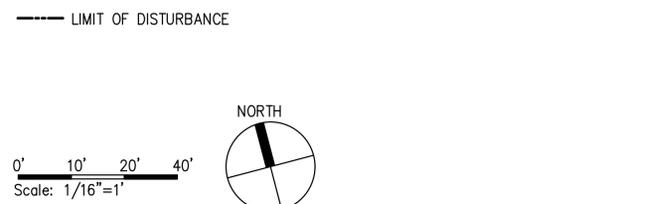
SHEET NAME: **SYCAMORE GROVE GATEWAY PLAZA EXTENSION MATERIALS PLAN**

SHEET NUMBER: **L-102**

DATE: SEPTEMBER 26 2018

- LANDSCAPE SITE FEATURES:**
- 1 CONCRETE UNIT PAVERS PATTERN TYPE 'A' SUPER BLACK 70% COVERAGE LIMESTONE GRAY 30% COVERAGE FINISH: TUDOR
 - 2 CONCRETE UNIT PAVERS PATTERN TYPE 'B' SUPER BLACK 30% COVERAGE LIMESTONE GRAY 70% COVERAGE FINISH: TUDOR
 - 3 RESIN BOUND DECOMPOSED GRANITE
 - 4 POUR-IN-PLACE CONCRETE PAVING
 - 5 ENGRAVED INGROUND INTERPRETIVE GRANITE PAVERS
 - 6 DECOMPOSED GRANITE IN METAL FRAME
 - 7 WOOD BENCH TYPE 1
 - 8 PRECAST CONCRETE BENCH
 - 9 WOOD BENCH TYPE 2
 - 10 INTERPRETIVE WALLS AND TOWER, SEE ARCH DWGS
 - 11 EDGE RESTRAINT TYPE 1
 - 12 EDGE RESTRAINT TYPE 2
 - 13 CURB RAMP
 - 14 DRINKING FOUNTAIN
 - 15 POUR-IN-PLACE CONCRETE STAIR
 - 21 LIGHTING FIXTURE TYP.

- OTHER FEATURES:**
- 31 PRESERVE EXISTING TREES, SEE CIVIL PLANS
 - 32 EXISTING ON-STREET PARKING TO REMAIN
 - 33 EXISTING SIDEWALK (TO REMAIN)
 - 34 EXISTING CROSSWALK (TO REMAIN)
 - 35 RELOCATED EXISTING CHURCH MEMORIAL
 - 36 RELOCATE EXISTING CROSSWALK COUNTDOWN TIMER
 - 37 EXISTING CURB TO REMAIN
 - 38 INGROUND LIGHTING FIXTURE, SEE LIGHTING MOUNTING
 - 39 SURFACE DRAINAGE & UNDERDRAIN PIPES, SEE CIVIL DWGS
 - 40 PROPOSE ELECTRICAL CONDUIT & TRANSFORMER



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REVISION:

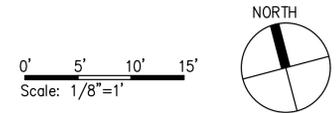
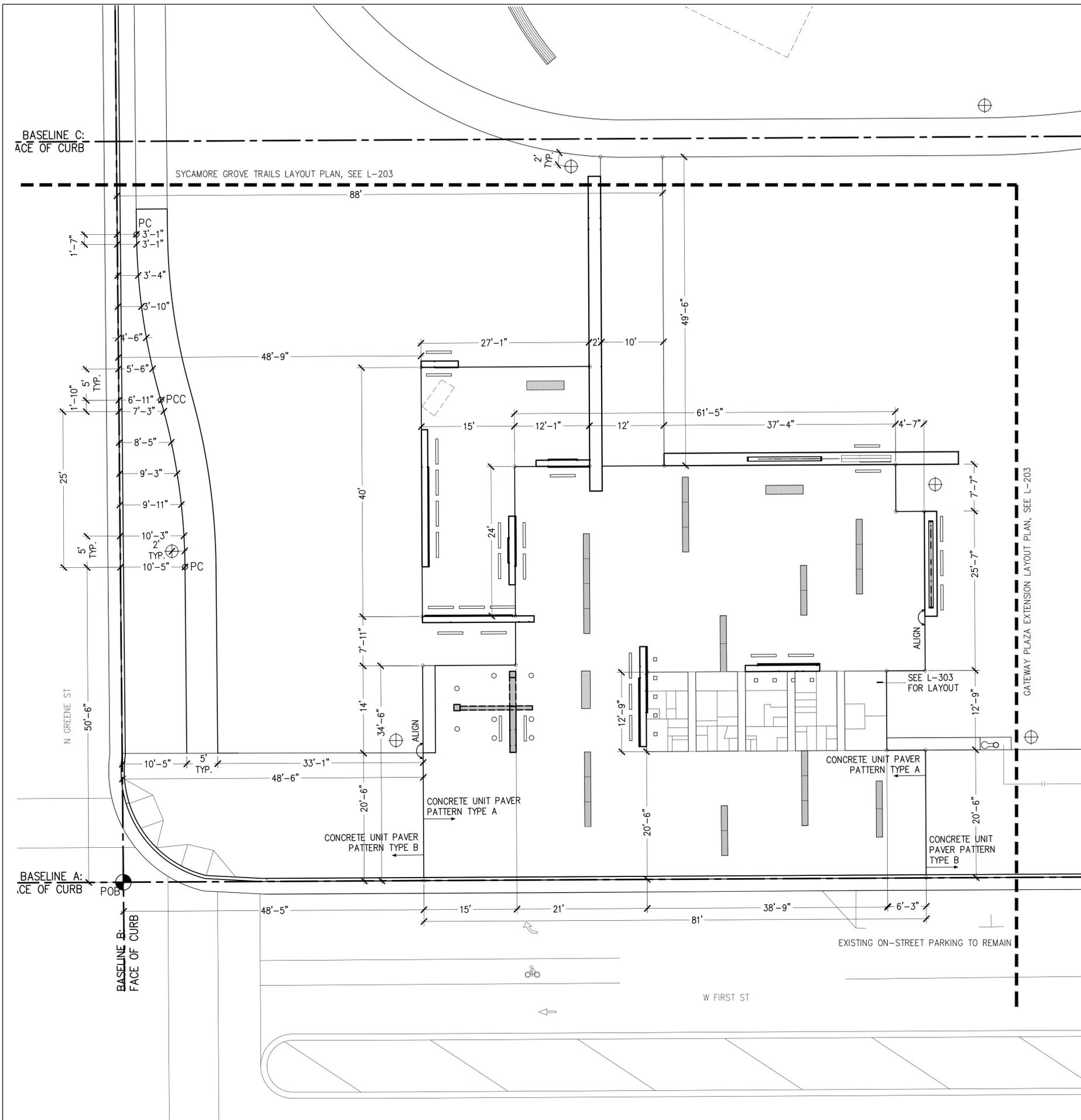
SCALE: 1/8" = 1' - 0"

SHEET NAME: **GATEWAY PLAZA
PAVING LAYOUT**

SHEET NUMBER:

L-201

DATE: SEPTEMBER 26 2018



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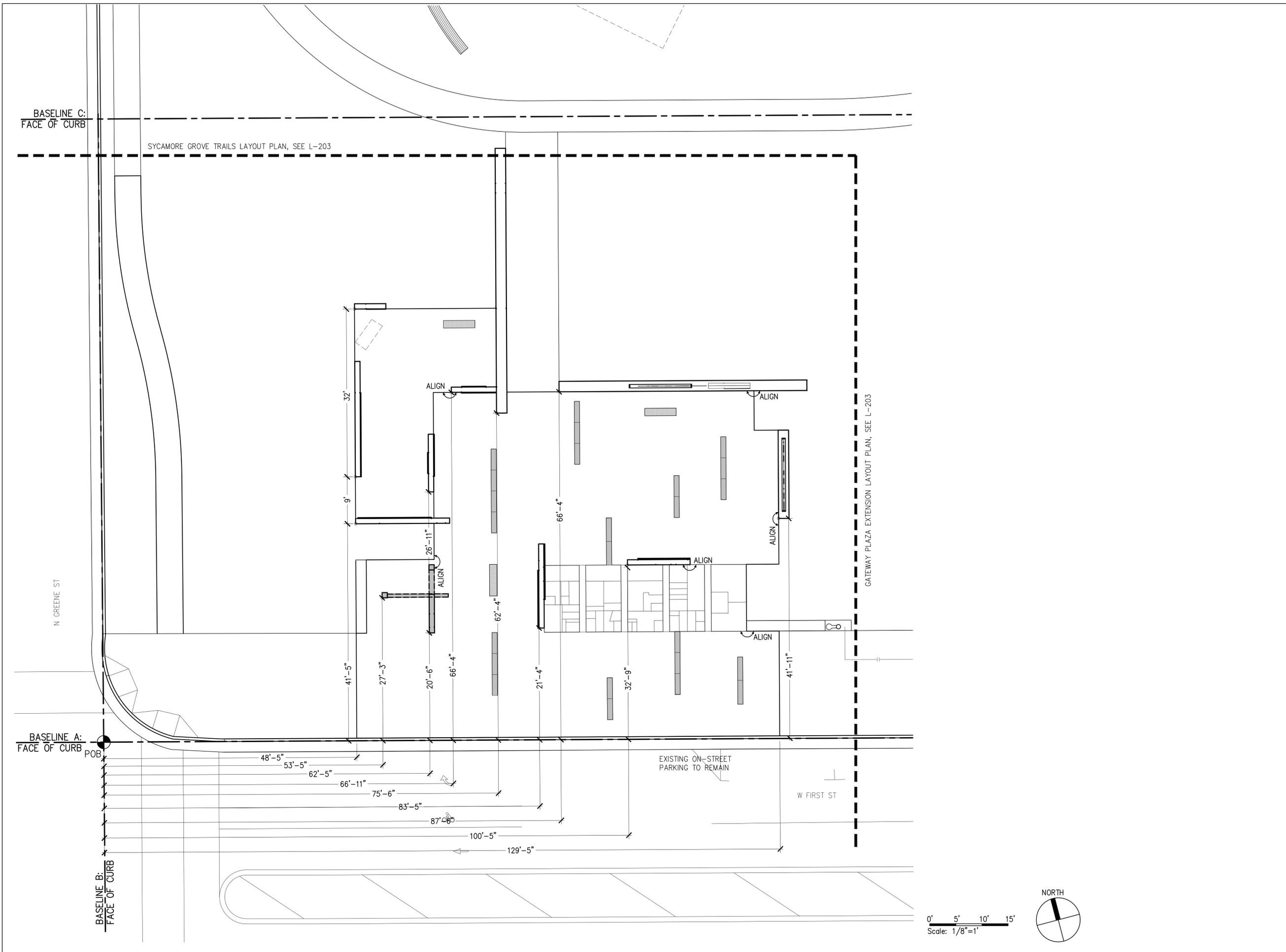
REVISION:

SCALE: 1/8" = 1' - 0"

SHEET NAME: **GATEWAY PLAZA
WALL LAYOUT**

SHEET NUMBER: **L-202**

DATE: SEPTEMBER 26 2018



**GREENVILLE
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SYCAMORE HILL
GATEWAY PLAZA**
90% DESIGN SUBMISSION

ADDRESS:
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Tel. 252.329.4567

OWNER:



DESIGN TEAM:



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REVISION:

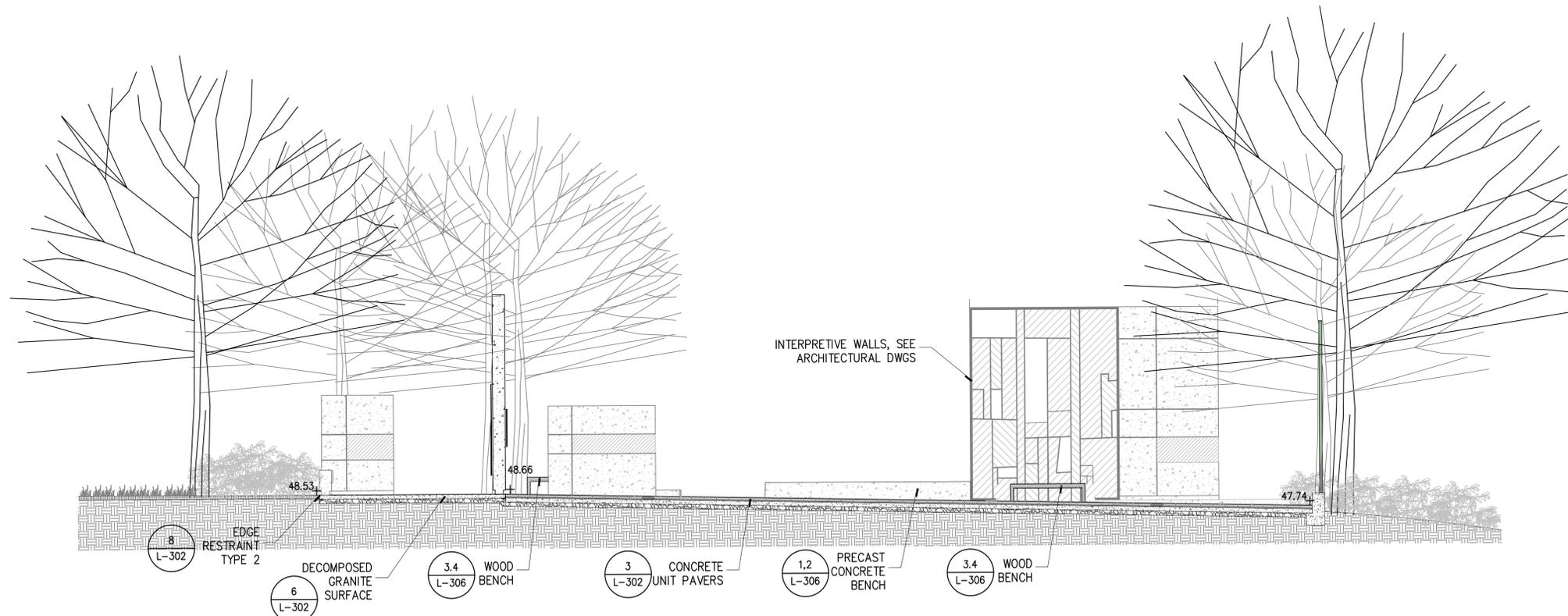
SCALE: 3/16" = 1' - 0"

SHEET NAME: **SITE SECTIONS**

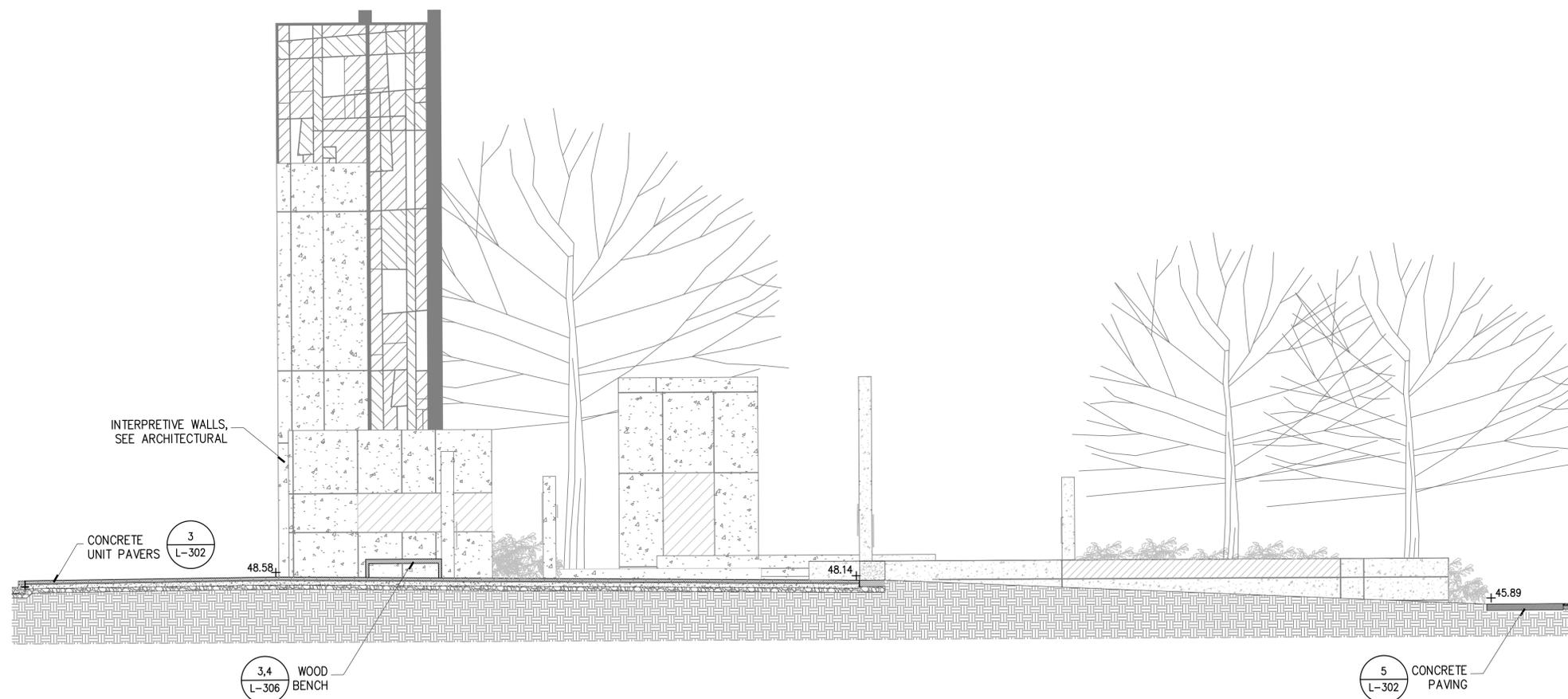
SHEET NUMBER:

L-301

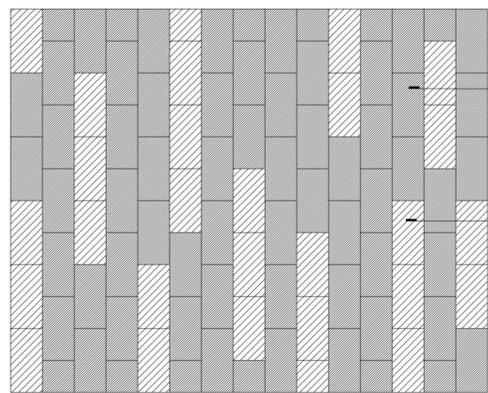
DATE: SEPTEMBER 26 2018



1 EAST-WEST SECTION
3/16" = 1' - 0"



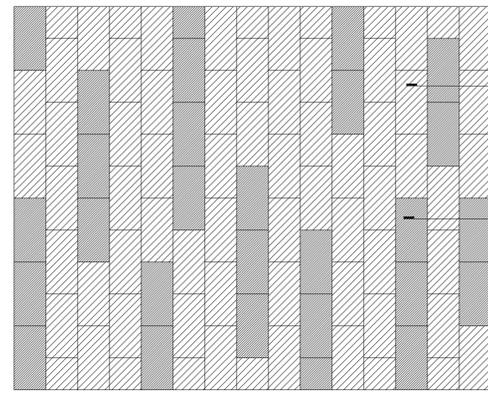
2 NORTH-SOUTH SECTION
3/16" = 1' - 0"



1'X2'X2" CONCRETE UNIT PAVER, COLOR: SUPER BLACK FINISH: TUDOR 70% COVERAGE

1'X2'X2" CONCRETE UNIT PAVER, COLOR: LIMESTONE GRAY FINISH: TUDOR 30% COVERAGE

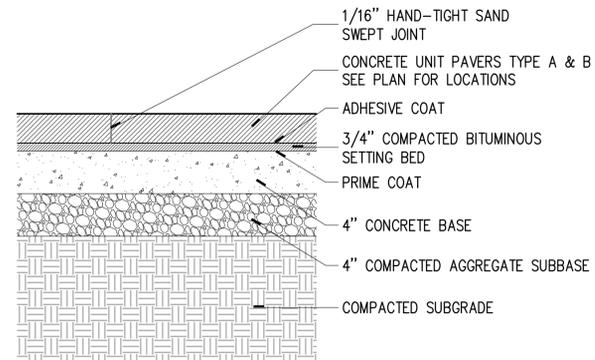
① CONCRETE UNIT PAVERS PATTERN TYPE A
3/8"=1'-0"



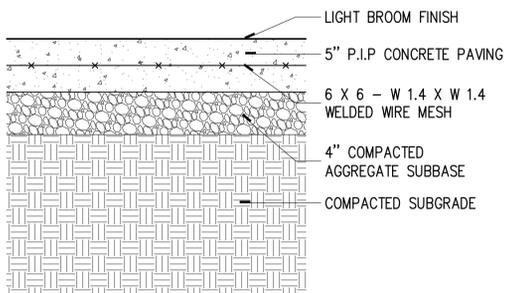
1'X2'X2" CONCRETE UNIT PAVER, COLOR: LIMESTONE GRAY FINISH: TUDOR 70% COVERAGE

1'X2'X2" CONCRETE UNIT PAVER, COLOR: SUPERBLACK FINISH: TUDOR 30% COVERAGE

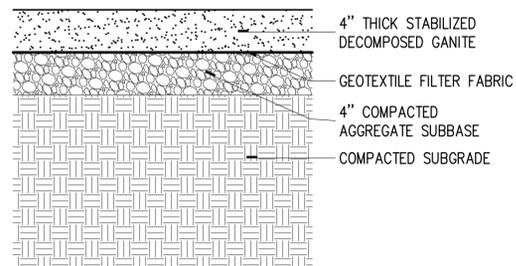
② CONCRETE UNIT PAVERS PATTERN TYPE B
3/8"=1'-0"



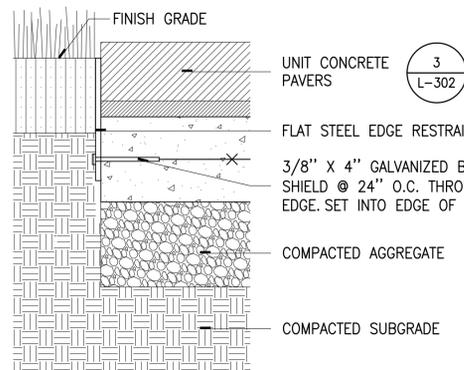
③ CONCRETE UNIT PAVERS - TYPE A & B
1-1/2"=1'-0"



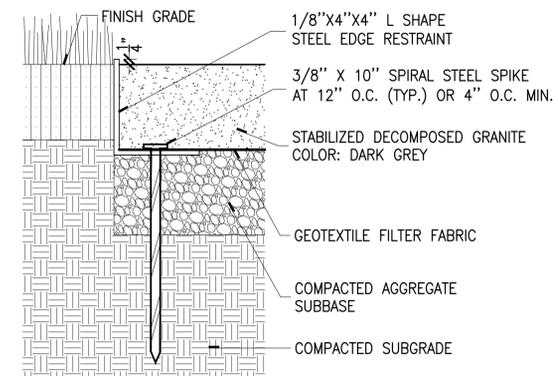
⑤ CONCRETE PAVING TYP.
1-1/2"=1'-0"



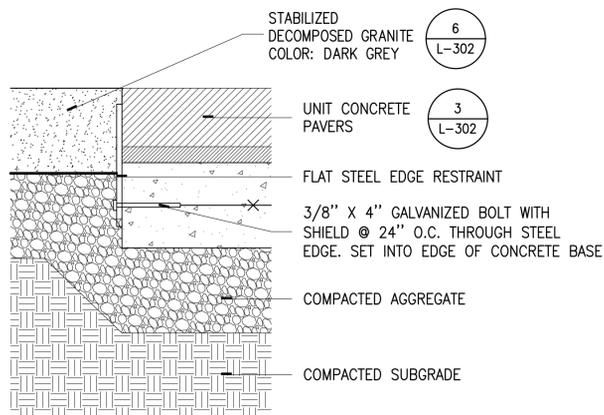
⑥ DECOMPOSED GRANITE PAVING
1-1/2"=1'-0"



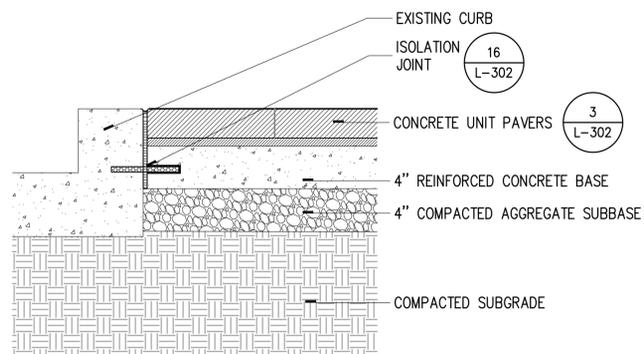
⑦ EDGE RESTRAINT TYPE 1 @ CONCRETE UNIT PAVERS
3"=1'-0"



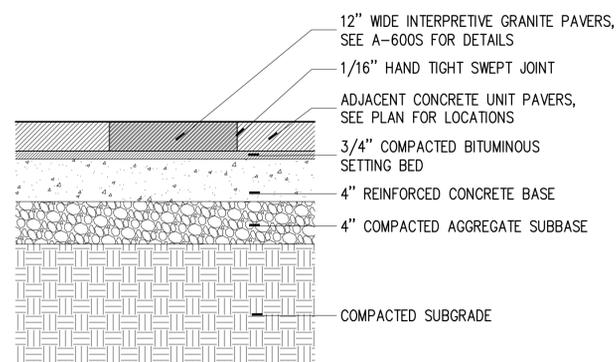
⑧ EDGE RESTRAINT TYPE 2 @ STONE DUST
3"=1'-0"



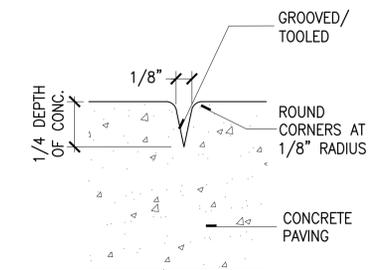
⑨ EDGE RESTRAINT TYPE 1 @ DECOMPOSED GRANITE
3"=1'-0"



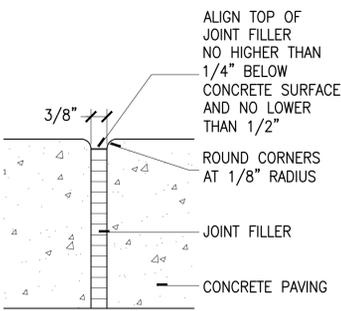
⑩ CONCRETE UNIT PAVER @ EXISTING CURB
1-1/2"=1'-0"



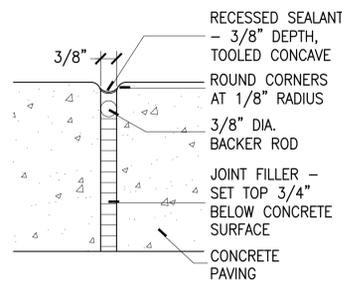
⑪ INTERPRETIVE GRANITE PAVERS
1-1/2"=1'-0"



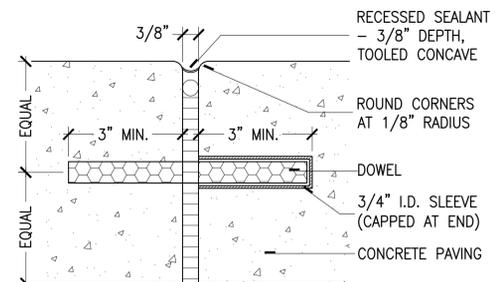
⑬ CONTRACTION JOINT (CJG)
3"=1'-0"



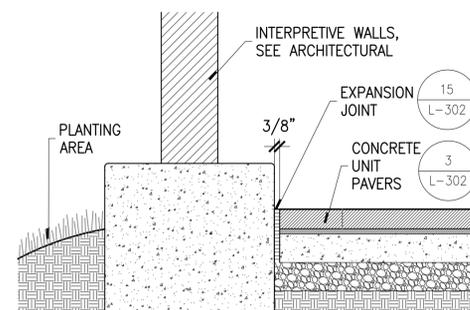
⑭ ISOLATION JOINT (I)
3"=1'-0"



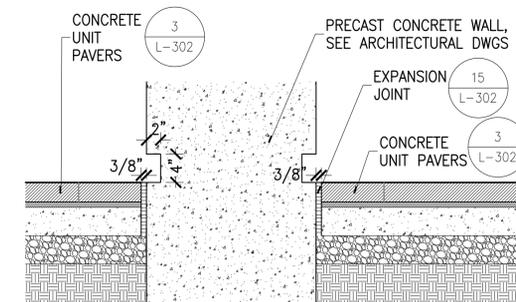
⑮ SEALANT JOINT
3"=1'-0"



⑯ ISOLATION JOINT (IJD)
3"=1'-0"



⑰ EXPANSION JOINT @ GLASS WALL
1"=1'-0"



⑱ EXPANSION JOINT @ PRECAST WALL
1"=1'-0"

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REVISION:

SCALE: AS SHOWN

SHEET NAME: PAVING DETAILS

SHEET NUMBER:

L-302

DATE: SEPTEMBER 26 2018

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REVISION:

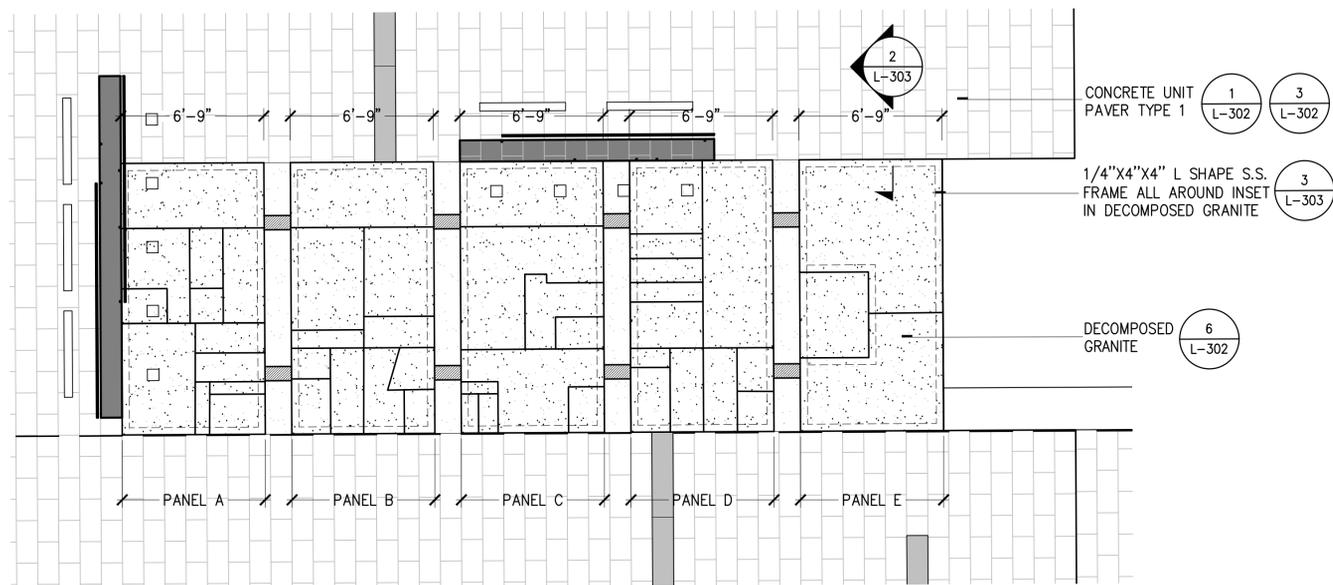
SCALE: _____ N.T.S.

SHEET NAME: **PAVING DETAILS**

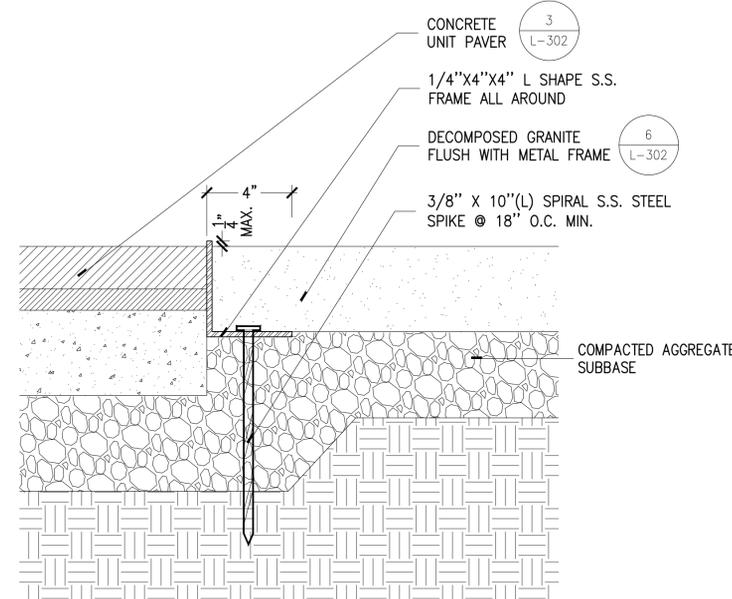
SHEET NUMBER:

L-303

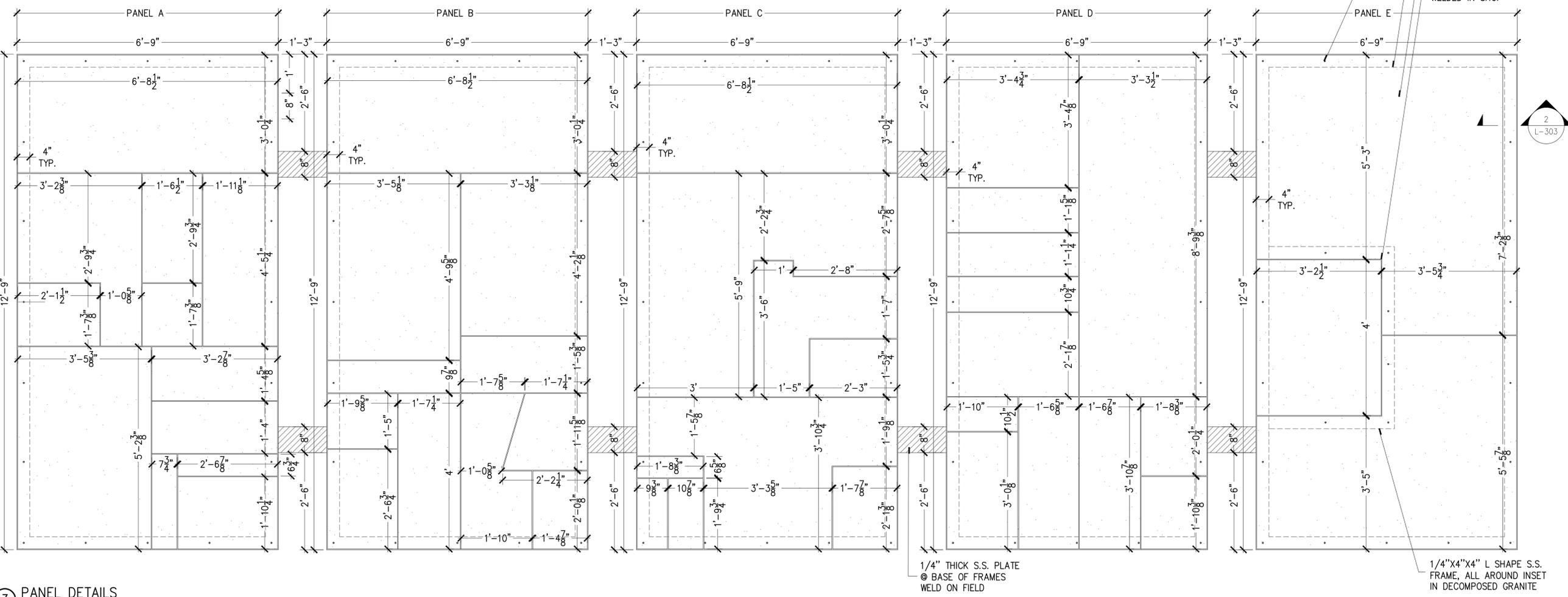
DATE: **SEPTEMBER 26 2018**



1 SWEEP YARD PLAN
1/4"=1'



2 SWEEP YARD EDGE DETAIL TYPE 1
3"=1'-0"



3 PANEL DETAILS
3/4"=1'-0"

NOTE: FABRICATOR/INSTALLER PROVIDE SHOP DRAWINGS FOR ALL METAL WORKS.

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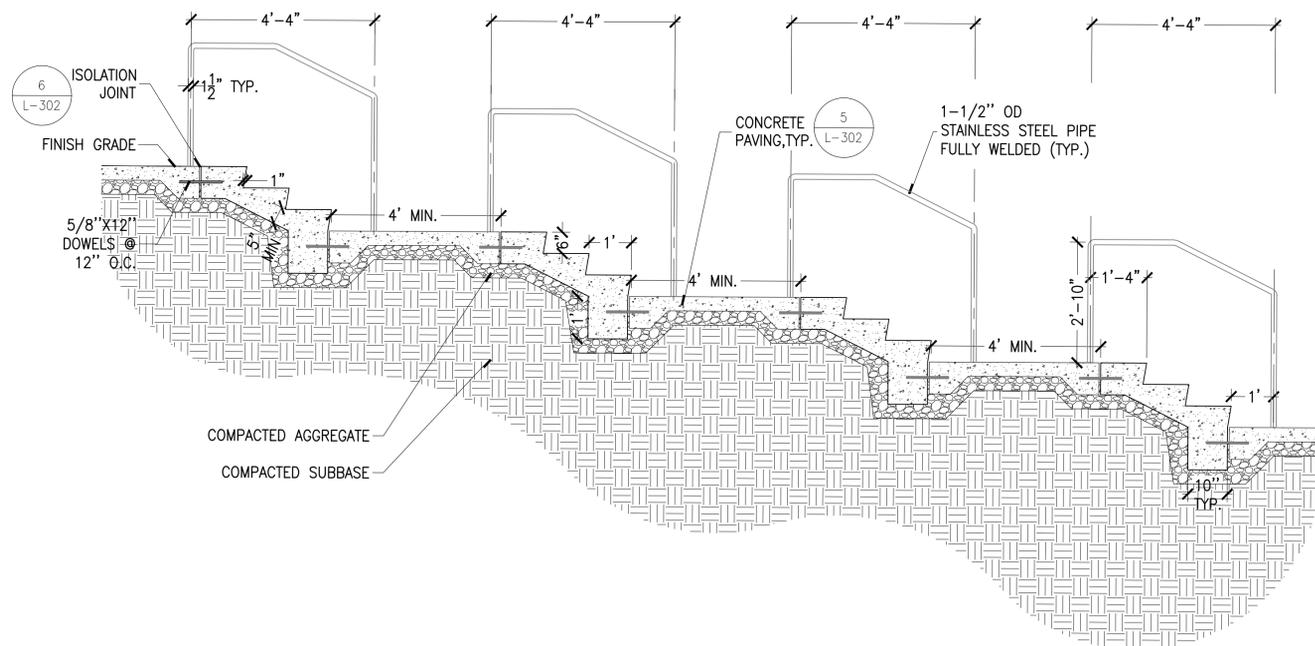
SCALE: _____ N.T.S.

SHEET NAME: _____ **STAIRS**

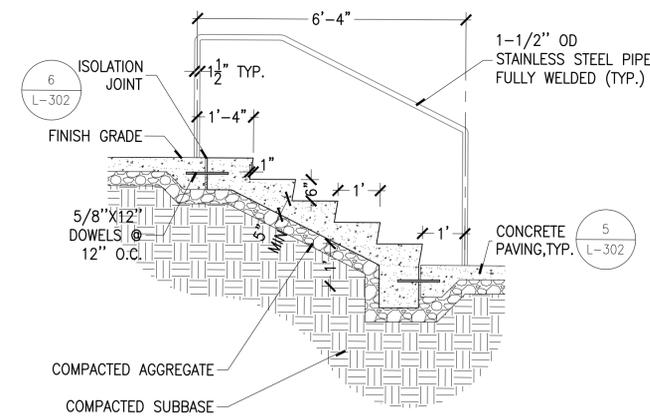
SHEET NUMBER:

L-304

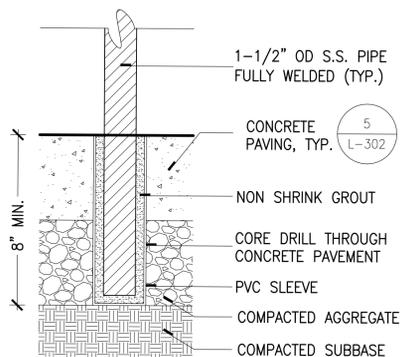
DATE: _____ SEPTEMBER 26 2018



1 STAIRS 1 SECTION
1/2"=1'-0"



2 STAIRS 2 SECTION
1/2"=1'-0"



3 SLEEVE DETAIL
3"=1'-0"

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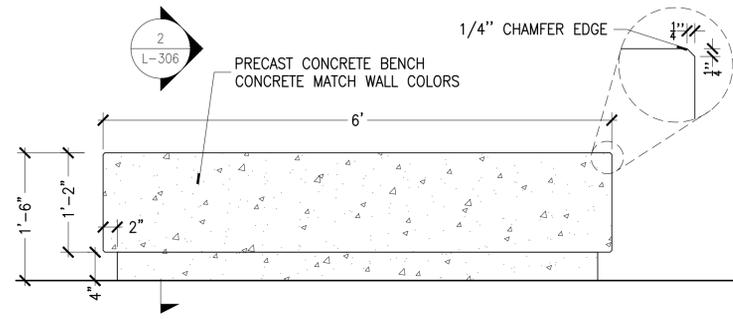
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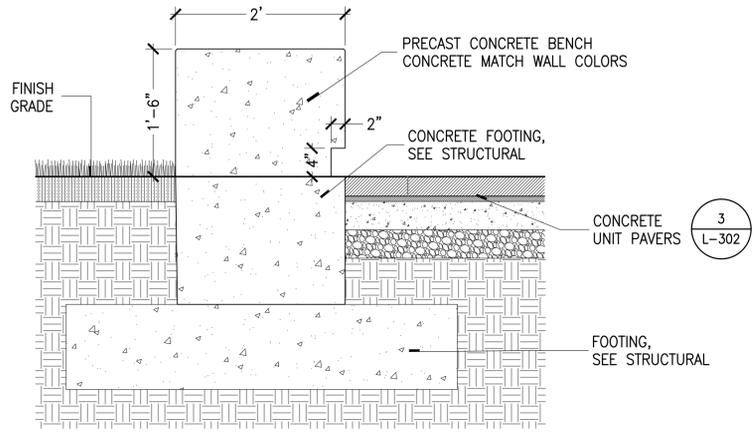
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REVISION:

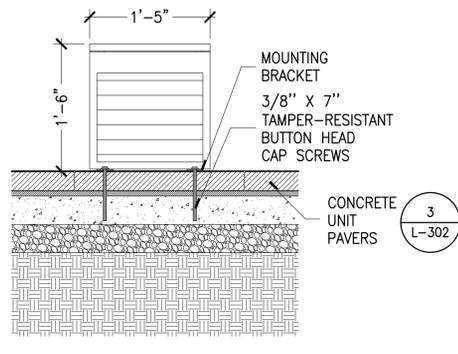
SCALE: _____ N.T.S.
SHEET NAME: _____ **SITE FURNISHINGS**
SHEET NUMBER: _____ **L-306**
DATE: _____ SEPTEMBER 26 2018



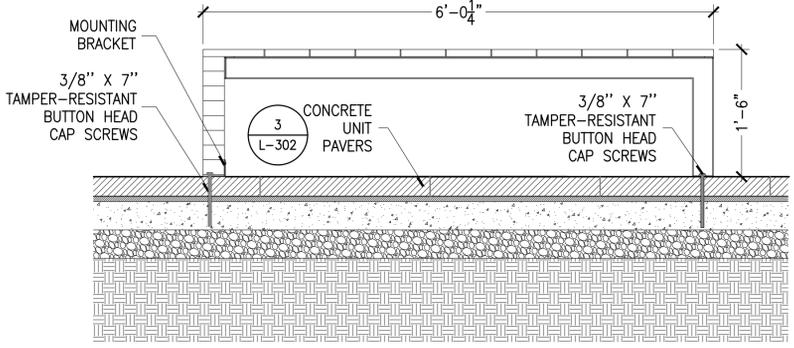
1 PRECAST CONCRETE BENCH ELEVATION
1" = 1' - 0"



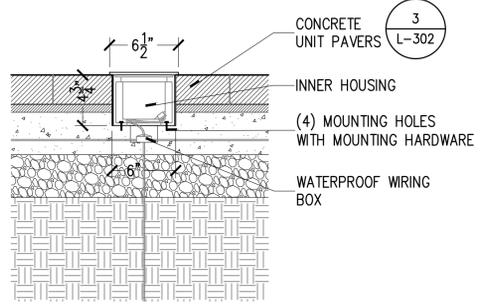
2 PRECAST CONCRETE BENCH SECTION
1" = 1' - 0"



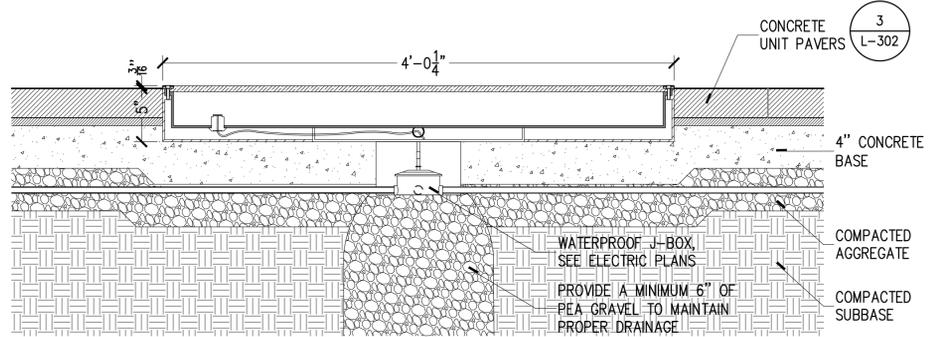
3 WOOD BENCH ELEVATION
1" = 1' - 0"



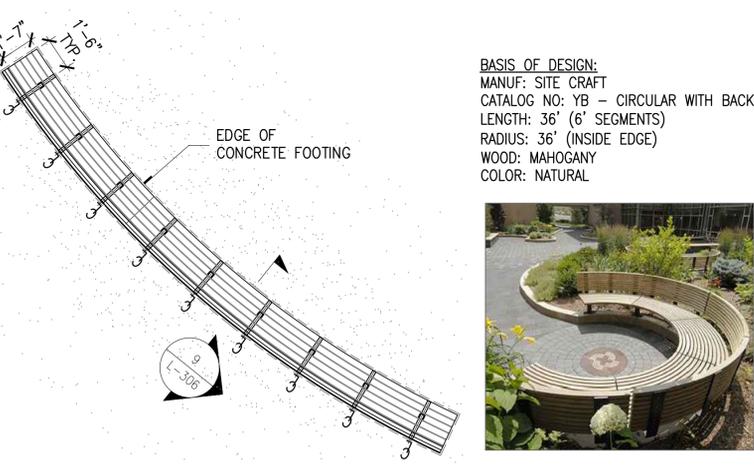
4 WOOD BENCH ELEVATION
1" = 1' - 0"



5 LIGHTING FIXTURE 1 DETAILS
1-1/2" = 1'

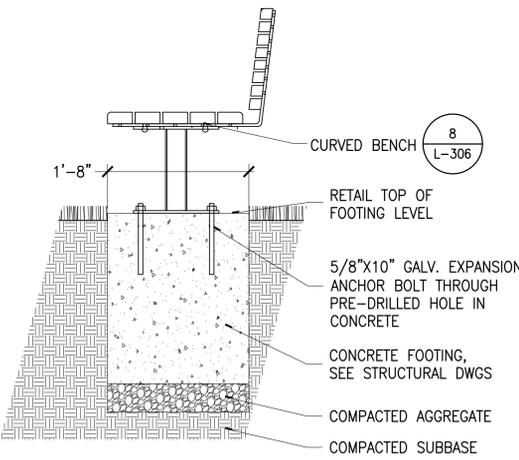


6 LIGHTING FIXTURE 6 DETAILS
1-1/2" = 1'

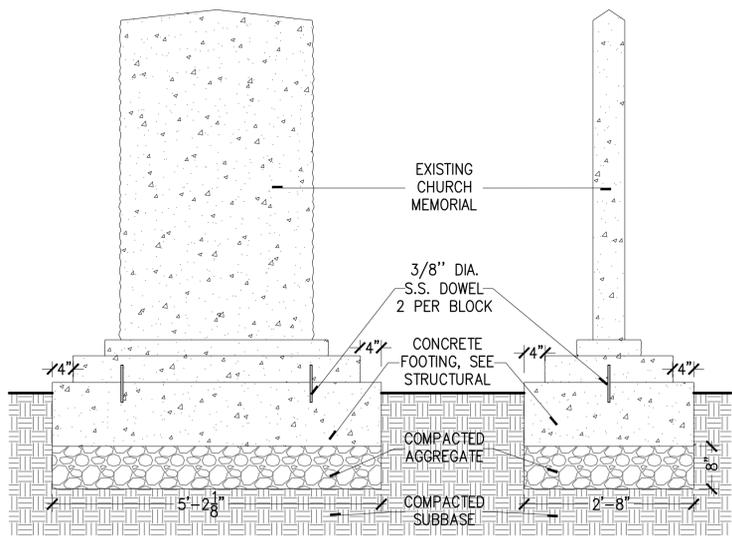


8 CURVED BENCH - TYPICAL LAYOUT PLAN
1/4" = 1' - 0"

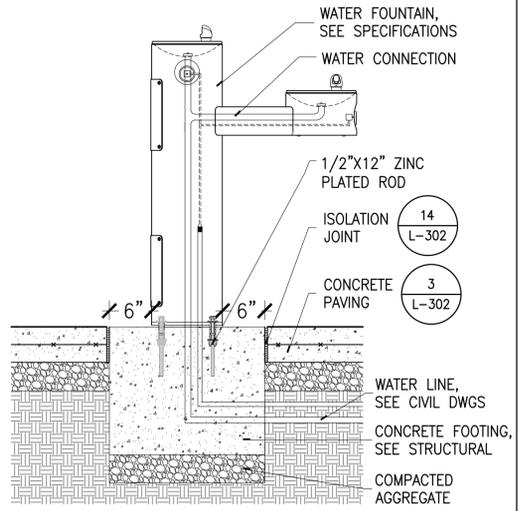
BASIS OF DESIGN:
MANUF: SITE CRAFT
CATALOG NO: YB - CIRCULAR WITH BACK
LENGTH: 36' (6 SEGMENTS)
RADIUS: 36' (INSIDE EDGE)
WOOD: MAHOGANY
COLOR: NATURAL



9 CURVED BENCH - TYPICAL MOUNTING
1" = 1' - 0"



10 FOOTING DETAILS @ EXISTING CHURCH MEMORIAL
3/4" = 1' - 0"



11 DRINKING FOUNTAIN
1" = 1' - 0"

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REVISION:

SCALE: 1/16" = 1' - 0"

SHEET NAME: **PLANTING PLAN**

SHEET NUMBER:

L-401

DATE: SEPTEMBER 26 2018

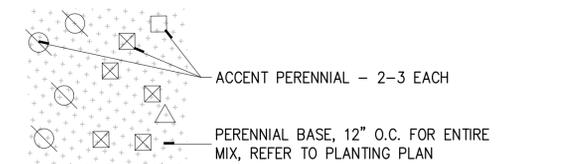
LEGEND

- LARGE SHADE TREE
- EVERGREEN TREE
- EXISTING TREE TO BE PRESERVED
- CAREX PENNSYLVANICA
- TURF FROM SEED
- PERENNIAL - DRYOPTERIS ERYTHIOSORA (2 EACH PER SYMBOL) REFER TO PLANT LIST
- PERENNIAL - EURYBIA DIVARICATA (2 EACH PER SYMBOL) REFER TO PLANT LIST
- PERENNIAL - GERANIUM MACALATUM (3 EACH PER SYMBOL) REFER TO PLANT LIST
- PERENNIAL - HEUCHERA VILLOSA 'AUTUMN BRIDE' (3 EACH PER SYMBOL) REFER TO PLANT LIST

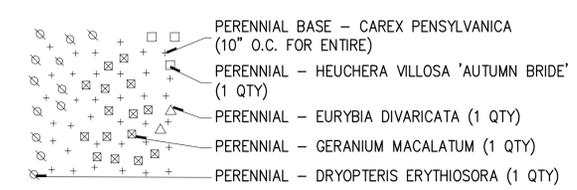
NOTES:

1. SEE L-402 FOR PLANTING LIST.
2. CONTOURS ARE SHOWN FOR REFERENCE ONLY, REFER TO CIVIL DRAWINGS.
3. INDIVIDUAL PERENNIAL PLANT SYMBOLS EACH REPRESENT (2-3) PLANTS OF THEIR RESPECTIVE SPECIES. LAYOUT ACCORDING TO PLAN, REFER TO DETAIL 1/SHEET L-401 FOR DETAIL.
4. DO NOT PLANT IN ROWS - PLANT TO ACHIEVE A NATURAL DISTRIBUTION

TYPICAL PERENNIAL LAYOUT PLAN ENLARGEMENT

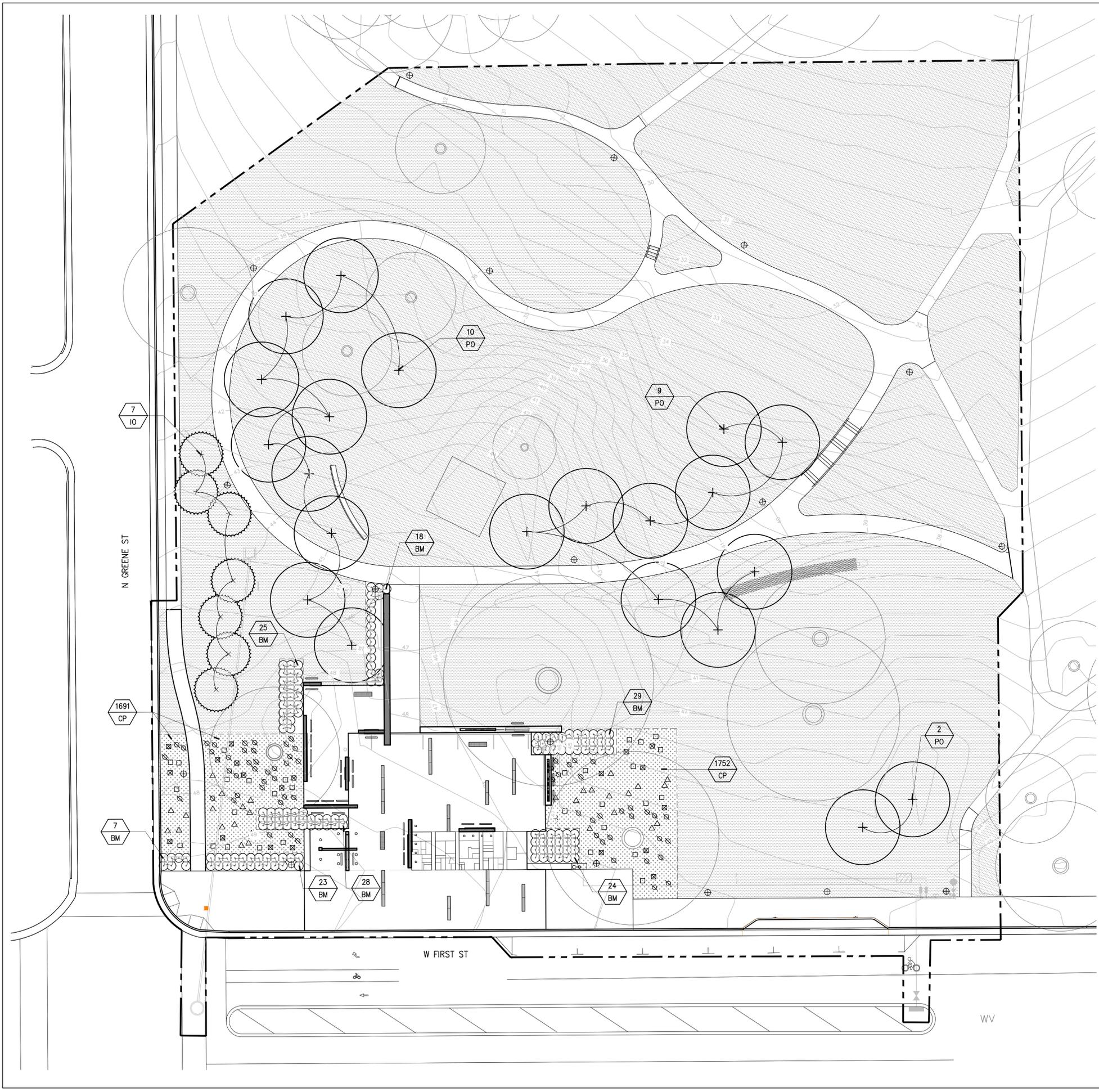


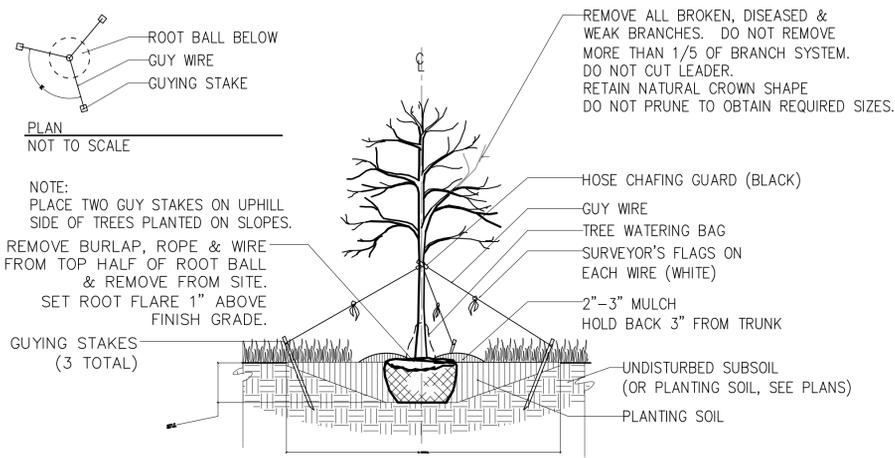
AS INDICATED ON PLAN



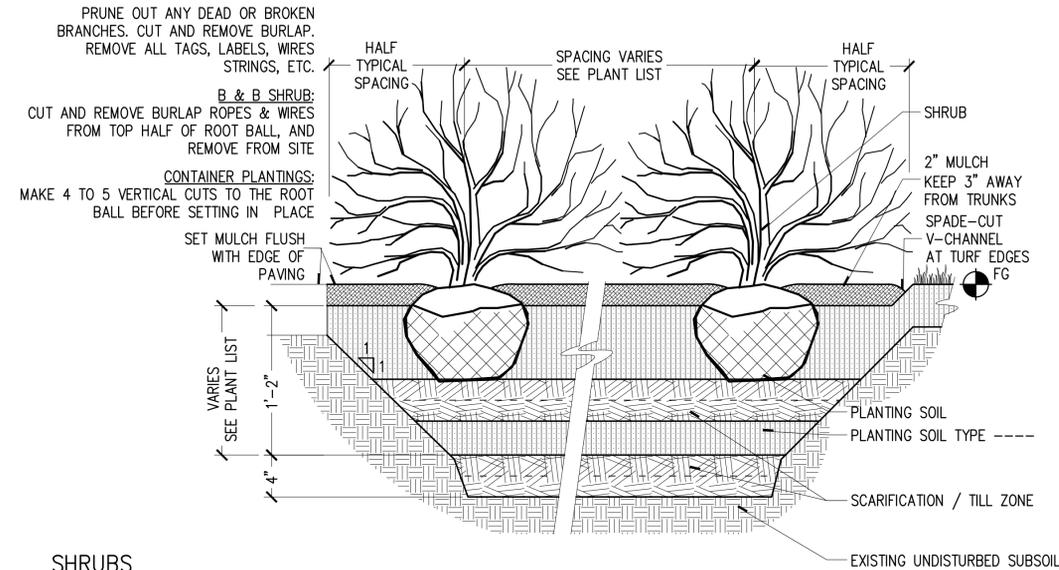
AS PLANTED IN FIELD

- 1 PERENNIAL MIX - PLANTING DETAIL PLAN
1/8"=1'

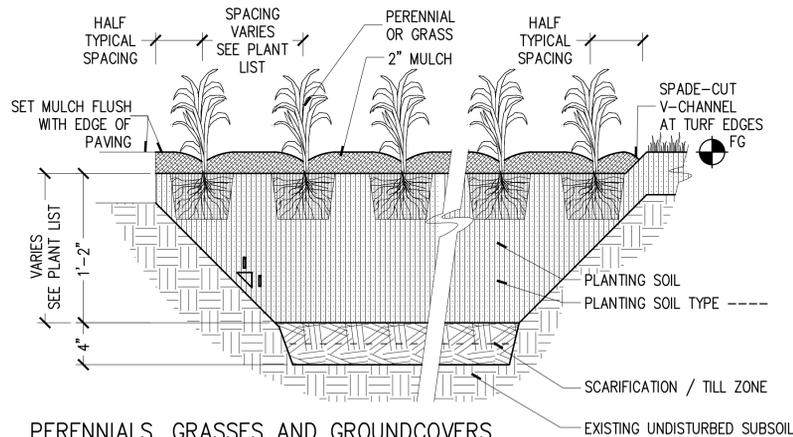




① DECIDUOUS TREE PLANTING DETAIL
NTS (de---a)



② SHRUBS PLANTING AND SOIL PREPARATION
1-1/2"=1'

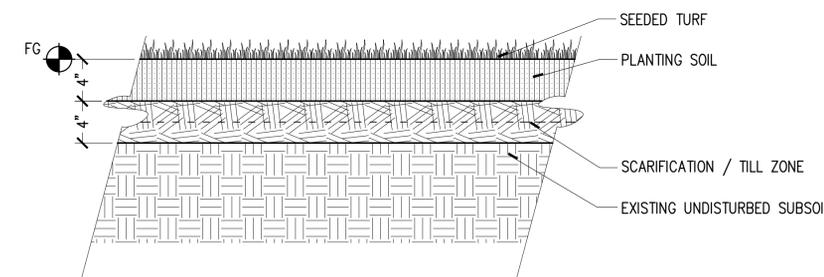


③ PERENNIALS, GRASSES AND GROUNDCOVERS PLANTING AND SOIL PREPARATION
1-1/2"=1'

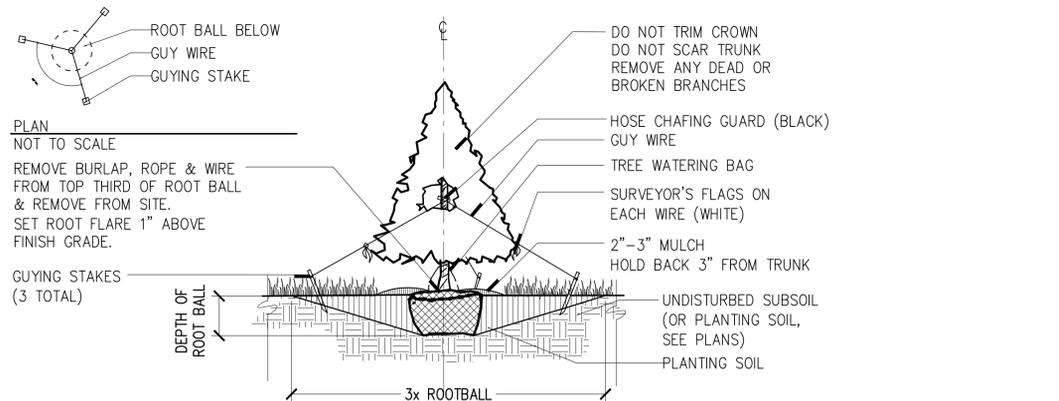
PLANT LIST

QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING	NOTES
Large Shade Trees							
21	PO	<i>Platanus occidentalis</i>	Sycamore	3.5 - 4" CAL.	B&B	As Shown	
7	IO	<i>Ilex opaca</i>	American Holly	10' HT.	B&B	As Shown	
Shrubs							
154	BM	<i>Buxus microphylla</i> 'Green Beauty'	Japanese Boxwood	30" HT.	Container	As Shown	
Perennials							
3,443	CP	<i>Carex pensylvanica</i>	Pennsylvania Sedge	4" MIN DEEP	Landscape Plugs	12" OC	
60	GM	<i>Geranium maculatum</i>	Wild Geranium	1 QT.	Container	12" OC	
128	DE	<i>Dryopteris erythrosora</i>	Autumn Fern	1 GAL.	Container	24" OC	
90	HV	<i>Heuchera villosa</i> 'Autumn Bride'	Hairy Alum Root	1 QT.	Container	24" OC	
56	ED	<i>Eurybia divaricata</i>	White Wood Aster	1 QT.	Container	24" OC	
Turf							
30,275 SF		Turf From Seed					

④ PLANT LIST
N.T.S.



⑤ TURFGRASS PLANTING AND SOIL PREPARATION
1-1/2"=1'



⑥ CONIFEROUS TREE PLANTING DETAIL
NTS

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REVISION:

SCALE: N.T.S.
SHEET NAME: **PLANTING SCHEDULE & DETAILS**
SHEET NUMBER: **L-402**
DATE: SEPTEMBER 26 2018

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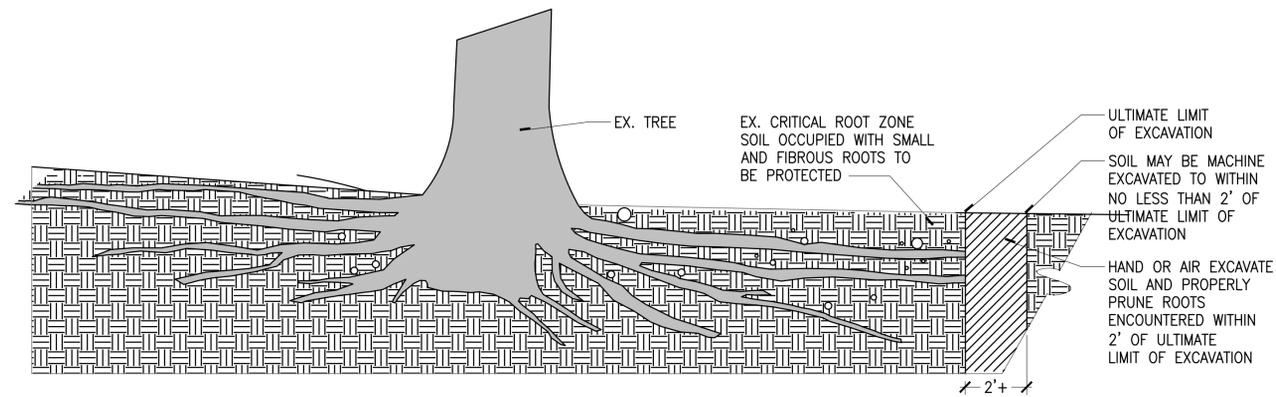
REVISION:

SCALE: N.T.S

SHEET NAME: **TREE PRESERVATION DETAILS**

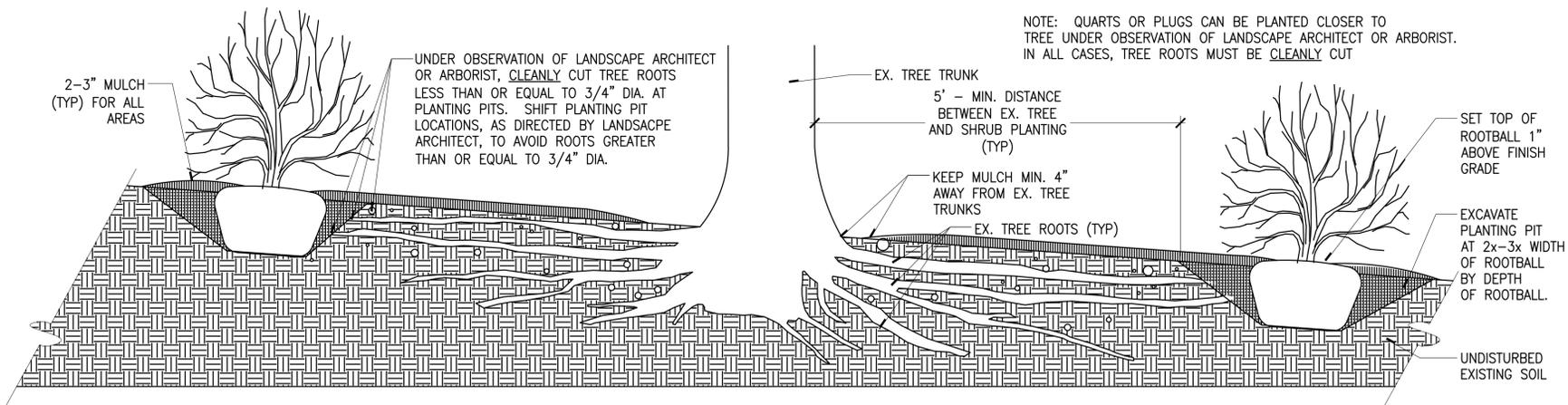
SHEET NUMBER: **L-403**

DATE: SEPTEMBER 26 2018



① EXCAVATION WITHIN CRITICAL ROOT ZONE
N.T.S.

NOTES: USE SHARP LOPPER, SAW OR PRUNER, DO NOT TEAR OR BREAK



② SOIL PREPARATION AND PLANTING IN TREE PRESERVATION AREA
3/4"=1'



ILLUSTRATIVE PERSPECTIVE FROM FAITH GALLERY, LOOKING WEST.

KEYNOTE LEGEND

KEYNOTE	DESCRIPTION
03 45 00 PRECAST ARCHITECTURAL CONCRETE	MONOLITHIC LIGHT GREY PRECAST CONCRETE FEATURE WALLS W/ DARK CHARCOAL PRECAST CONCRETE ACCENTS (W-X)
05 50 00 METAL FABRICATIONS	STAINLESS STEEL (S.S.) MEMBERS AND ELEMENTS THROUGHOUT; FINISHES AND FASTENERS.
08 91 13 DECORATIVE GLASS GLAZING	LAMINATED GLASS PANELS - 2 SOLID COLORS.
08 91 13 DECORATIVE GLASS GLAZING CONTENT PANELS	LAMINATED GLASS PANELS WITH INTERPRETIVE GRAPHICS AND IMAGERY.
05 12 13 ARCHITECTURAL EXPOSED STRUCTURAL STEEL (AESS)	AESS C: CUSTOM ELEMENTS - FOR ALL EXPOSED STRUCTURAL ELEMENTS ON WALL H, WALL I, AND GATEWAY TOWER

ABBREVIATIONS

ABBREVIATION	DESCRIPTION
AESS	ARCHITECTURAL EXPOSED STRUCTURAL STEEL
BW	BOTTOM OF WALL ELEVATION
FV	FIELD VERIFY
P.C. CONC.	PRE-CAST CONCRETE
TW	TOP OF WALL ELEVATION
SS	STAINLESS STEEL

GENERAL PROJECT NOTES

- REFER TO COMPLETE SET OF ISSUED CONTRACT DOCUMENTS FOR APPLICABLE NOTES, ABBREVIATIONS, AND SYMBOLS.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL ARCHITECTURAL PRECAST CONCRETE WALLS, DECORATIVE GLASS ASSEMBLIES, AND METAL PRODUCTS.
- DO NOT SCALE THE DRAWING. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING.
- DIMENSIONS SHOWN ON THE PLANS AND ELEVATIONS ARE TO THE FACE OF WALLS, TO CENTER LINE OF COLUMNS AND TO FACE OF CONCRETE OR MASONRY WALLS, UNLESS OTHERWISE INDICATED.
- FIELD MEASURE AND CONFIRM DIMENSIONS.
- REFER TO CIVIL DRAWINGS FOR ELEVATIONS.
- REFER TO LANDSCAPE DRAWINGS FOR LAYOUT PLAN.
- SEE A-500 DRAWING SERIES FOR CONTENT PANEL GRAPHICS AND DETAILS. NARRATIVE INCLUDED IN ADDENDUM.
- APPROVE EXTERIOR OUTLET AND LIGHTING CONTROL BOX LOCATIONS WITH ARCHITECT.
- WHERE MATERIALS ARE APPLIED TO, OR ARE IN DIRECT CONTACT WITH WORK INSTALLED BY ANOTHER SUBCONTRACTOR, COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF THE SUBSTRATE AS SUITABLE FOR THE APPLICATION INTENDED.
- ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC CORROSION.
- SEALANTS ASSOCIATED WITH ARCHITECTURAL FEATURES EXPOSED TO VIEW SHALL BE CUSTOM COLOR AS SELECTED BY THE ARCHITECT.
- COORDINATE LOCATION OF SEALANT AND COMPATIBILITY OF SEALANTS WITH ADJACENT WORK, INCLUDING MATERIALS AND OTHER CONTIGUOUS SEALANTS.

GREENVILLE TOWN COMMON SYCAMORE HILL GATEWAY PLAZA

90% DESIGN SUBMISSION

ADDRESS:
201 W 1ST ST, GREENVILLE, NC 27858
Tel. 252.329.4567

OWNER:

Greenville
NORTH CAROLINA
CITY OF GREENVILLE, NC

DESIGN TEAM:

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BREE & ASSOCIATES
LIGHT DEFINES FORMS INC
ENGINEERING SOURCE**

**NOT FOR
CONSTRUCTION
AND BIDDING**

REVISION:

SCALE:
SHEET NAME: **GENERAL NOTES,
SYMBOLS AND
ABBREVIATIONS**

SHEET NUMBER:
A-000

DATE: **SEPTEMBER 26, 2018**

2012 APPENDIX B - BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS (EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)

PROJECT INFORMATION

Name of Project: GREENVILLE TOWN COMMON SYCAMORE HILL GATEWAY PLAZA
 Address: 201 W. 1st ST., GREENVILLE, NC ZIP Code: 27858
 Proposed Use: PUBLIC PLAZA
 Owner/Authorized Agent: CITY OF GREENVILLE

Owned By: Phone # 252.329.4567 Email
 City/County Private State
 City County State

LEAD DESIGN PROFESSIONAL:	RHODESIDE & HARWELL
DESIGNER	FIRM NAME LICENSE # TELEPHONE # E-MAIL
Architectural	PERKINS+WILL MICHAEL STEVENSON 4581 919.433.5348 michael.stevenson@perkinswill.com
Architectural - PM	PERKINS+WILL MICHAEL STEVENSON 4581 919.433.5348 michael.stevenson@perkinswill.com
Civil	TEG MYRIAH SHEWCHUK myriah.shewchuk@eastgroup.com
Electrical	ENGINEERING SOURCE WILSON FOU wilson@engsource.com
Fire Alarm	NA
Plumbing	NA
Mechanical	NA
Sprinkler-Standpipe	NA
Structural	LYNCH MYKINS COLLETTE RAMIREZ 919.809.8946 cramirez@lynchmykins.com
Retaining Walls >5' High	LYNCH MYKINS COLLETTE RAMIREZ 919.809.8946 cramirez@lynchmykins.com
Other	LIGHT DEFINES FORM SCOTT RICHARDSON 336.230.1990 srichardson@tdf.us

2012 EDITION OF NC STATE CODE FOR: New Construction Addition Upfit
 EXISTING: Reconstruction Alteration Repair
 CONSTRUCTED ORIGINAL USE(S) (CH. 3)
 RENOVATED CURRENT USE(S) (CH. 3)
 PROPOSED USE(S) (CH. 3)

BUILDING DATA NOT APPLICABLE

Construction Type: (check all that apply) I-A II-A III-A IV V-A
 I-B II-B III-B V-B

Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D

Standpipes: No Yes Class I II III Wet Dry

Fire District: No Yes (Primary) Flood Hazard Area: No Yes

Building Height: Feet 45

Gross Building Area:

FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUBTOTAL	FLOOR	EXISTING (SQ FT)	NEW (SQ FT)	SUBTOTAL
TOTAL				TOTAL			

ALLOWABLE AREA NOT APPLICABLE

Occupancy:

Assembly	<input type="checkbox"/> A-1	<input type="checkbox"/> A-2	<input type="checkbox"/> A-3	<input type="checkbox"/> A-4	<input type="checkbox"/> A-5
Business	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Educational	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Factory	<input type="checkbox"/> F-1 Moderate	<input type="checkbox"/> F-2 Low	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Hazardous	<input type="checkbox"/> H-1 Detonate	<input type="checkbox"/> H-2 Deflagrate	<input type="checkbox"/> H-3 Combust	<input type="checkbox"/> H-4 Health	<input type="checkbox"/> H-5 HPM
Institutional	<input type="checkbox"/> I-1	<input type="checkbox"/> I-2	<input type="checkbox"/> I-3	<input type="checkbox"/> I-4	<input type="checkbox"/>
	<input type="checkbox"/> I-3 Condition	<input type="checkbox"/> 1	<input type="checkbox"/> 2	<input type="checkbox"/> 3	<input type="checkbox"/> 4
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mercantile	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Residential	<input type="checkbox"/> R-1	<input type="checkbox"/> R-2	<input type="checkbox"/> R-3	<input type="checkbox"/> R-4	<input type="checkbox"/>
Storage	<input type="checkbox"/> S-1 Moderate	<input type="checkbox"/> S-2 Low	<input type="checkbox"/> High-piled	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> Parking Garage	<input type="checkbox"/> Open	<input type="checkbox"/> Enclosed	<input type="checkbox"/> Repair Garage	<input type="checkbox"/>

Utility and Miscellaneous

Accessory Occupancies:

Assembly	<input type="checkbox"/> A-1	<input type="checkbox"/> A-2	<input type="checkbox"/> A-3	<input type="checkbox"/> A-4	<input type="checkbox"/> A-5
Business	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Educational	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Factory	<input type="checkbox"/> F-1 Moderate	<input type="checkbox"/> F-2 Low	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Hazardous	<input type="checkbox"/> H-1 Detonate	<input type="checkbox"/> H-2 Deflagrate	<input type="checkbox"/> H-3 Combust	<input type="checkbox"/> H-4 Health	<input type="checkbox"/> H-5 HPM
Institutional	<input type="checkbox"/> I-1	<input type="checkbox"/> I-2	<input type="checkbox"/> I-3	<input type="checkbox"/> I-4	<input type="checkbox"/>
	<input type="checkbox"/> I-3 Condition	<input type="checkbox"/> 1	<input type="checkbox"/> 2	<input type="checkbox"/> 3	<input type="checkbox"/> 4
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mercantile	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Residential	<input type="checkbox"/> R-1	<input type="checkbox"/> R-2	<input type="checkbox"/> R-3	<input type="checkbox"/> R-4	<input type="checkbox"/>
Storage	<input type="checkbox"/> S-1 Moderate	<input type="checkbox"/> S-2 Low	<input type="checkbox"/> High-piled	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/> Parking Garage	<input type="checkbox"/> Open	<input type="checkbox"/> Enclosed	<input type="checkbox"/> Repair Garage	<input type="checkbox"/>

Utility and Miscellaneous

Incidental Uses (Table 508.2.5):

- Furnace room where any piece of equipment is over 400,000 Btu per hour input
- Rooms with boilers where the largest piece of equipment is over 15 psi and 10 horsepower
- Refrigerant machine room
- Hydrogen cutoff rooms, not classified as Group H
- Incinerator rooms
- Paint shops, not classified as Group H, located in occupancies other than Group F
- Laboratories and vocational shops, not classified as Group H, located in a Group E or I-2 occupancy
- Laundry rooms over 100 square feet
- Group I-3 cells equipped with padded surfaces
- Group I-2 waste and linen collection rooms
- Waste and linen collection rooms over 100 square feet
- Stationary storage battery systems having a liquid electrolyte capacity of more than 50 gallons, or a lithium-ion capacity of 1,000 pounds used for facility standby power, emergency power or uninterrupted power supplies
- Rooms containing fire pumps
- Group I-2 storage rooms over 100 square feet
- Group I-2 commercial kitchens
- Group I-2 laundries equal to or less than 100 square feet
- Group I-2 rooms or spaces that contain fuel-fired heating equipment

Special Uses: 402 403 404 405 406 407 408 409 410 411 412
 413 414 415 416 417 418 419 420 421 422 423
 424 425 426 427

Special Provisions: 509.2 509.3 509.4 509.5 509.6 509.7 509.8 509.9

Mixed Occupancy: No Yes Separation: _____ Hr. Exception: _____

Incidental Accessory Occupancy Separation (508.2.5)
 This separation is not exempt as a Non-Separated Occupancy (see exceptions).

Non-Separated Occupancy (508.3)

The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.

Separated Occupancies (508.3.3) - See below for area calculations

For each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

NOT APPLICABLE

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1.00$$

STORY NO.	DESCRIPTION AND USE	(A) BLDG. AREA PER STORY (ACTUAL)	(B) TABLE 503 AREA ¹	(C) AREA FOR FRONTAGE INCREASE ¹	(D) AREA FOR SPRINKLER INCREASE ²	(E) ALLOWABLE AREA OR UNLIMITED ³	(F) MAXIMUM BUILDING AREA ⁴

- Frontage area increases from Section 506.2 are computed thus:
 - Perimeter which fronts a public way or open space having 20 feet minimum width = ____ (F)
 - Total Building Perimeter = ____ (P)
 - Ratio (F/P) = ____ (F/P)
 - W = Width of public way = ____ (W)
 - Area Increase due to frontage: I = [F/P - 0.25] x W/30 = ____ %
- The sprinkler increase per Section 506.3 is as follows:
 - Multi-story building I_s = 200
 - Single story building I_s = 300
- Unlimited area applicable under conditions of Section 507.
- Maximum Building Area = total number of stories in the building x E (506.4).
- The maximum area of open parking garages must comply with Table 406.3.5. The maximum area of air traffic control towers must comply with Table 412.3.2.

ALLOWABLE HEIGHT

NOT APPLICABLE

	ALLOWABLE (TABLE 503)	INCREASE FOR SPRINKLERS	SHOWN ON PLANS	CODE REFERENCE
Type of Construction	Type		Type	Table 503
Building Height in Feet		Feet = H + 20' =		504.2
Building Height in Stories		Stories + 1 =		504.2

FIRE PROTECTION REQUIREMENTS

NOT APPLICABLE

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING		DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	DESIGN # FOR RATED JOINTS
		REQ'D	PROVIDED (w/ REDUCTION)				
Structural Frame, including columns, girders, trusses							
Bearing Walls							
Exterior							
North							
East							
West							
South							
Interior							
Nonbearing walls and Partitions							
Exterior walls							
North							
East							
West							
South							
Interior walls and partitions							
Floor Construction including supporting beams and joists							
Roof Construction including supporting beams and joists							
Shaft Enclosures - Exit							
Shaft Enclosures - Other							
Corridor Separation							
Occupancy Separation							
Party/Fire Wall Separation							
Smoke Barrier Separation							
Tenant Separation							
Incidental Accessory Separation							

* Indicate section number permitting reduction

EXIT REQUIREMENTS

NUMBER AND ARRANGEMENT OF EXITS NOT APPLICABLE

FLOOR, ROOM OR SPACE DESIGNATION	MINIMUM NUMBER OF EXITS ²		TRAVEL DISTANCE		ARRANGEMENT MEANS OF EGRESS (SECTION 1015.2) ^{1,3}	
	REQUIRED	SHOWN ON PLANS	ALLOWABLE TRAVEL DISTANCE (TABLE 1016.1)	ACTUAL TRAVEL DISTANCE SHOWN ON PLANS	REQUIRED DISTANCE BETWEEN EXIT DOORS	ACTUAL DISTANCE SHOWN ON PLANS

- Corridor Dead Ends (Section 1018.4)
- Buildings with single exits (Table 1021.2); Spaces with one means of egress (Table 1015.1)
- Common Path of Travel (Section 1014.3)

EXIT WIDTH - REFER TO LIFE SAFETY SHEETS FOR EXIT WIDTH INFORMATION

NOT APPLICABLE

LIFE SAFETY SYSTEM REQUIREMENTS

NOT APPLICABLE

- Emergency Lighting: No Yes Section 1006
- Exit Signs: No Yes Section 1011
- Fire Alarm: No Yes Section 907
- Smoke Detection Systems: No Yes Partial _____
- Panic Hardware: No Yes Section 1008

LIFE SAFETY PLAN REQUIREMENTS

NOT APPLICABLE

- Life Safety Plan Sheet #:
- Fire and/or smoke rated wall locations (Chapter 7)
 - Assumed and real property line locations
 - Exterior wall opening area with respect to distance to assumed property lines (705.8)
 - Existing structures within 30' of the proposed building
 - Occupancy types for each area as it relates to occupant load calculation (Table 1004.1.1)
 - Occupant load for each area
 - Exit access travel distances (1016)
 - Common path of travel distances (1014.3 & 1028.8)
 - Dead end lengths (1018.4)
 - Clear exit widths for each exit door
 - Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.1)
 - Actual occupant load for each exit door
 - A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
 - Location of doors with panic hardware (1008.1.10)
 - Location of doors with delayed egress locks and the amount of delay (1008.1.9.7)
 - Location of doors with electromagnetic egress locks (1008.1.9.8)
 - Location of doors equipped with hold-open devices
 - Location of emergency escape windows (1029)
 - The square footage of fire area (902)
 - The square footage of each smoke compartment (407.4)
 - Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS

(SECTION 1107) NOT APPLICABLE

TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
XXX	XXX	XXX	XXXX	XXX	XXX	XXX	XX

ACCESSIBLE PARKING

(SECTION 1106) SEE LANDSCAPE ARCHITECTURE / CIVIL

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES		# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE UNITS PROVIDED
	REQUIRED	PROVIDED	REGULAR WITH 5' ACCESS AISLE	132" ACCESS AISLE	8' ACCESS AISLE	
PARKING LOT						
TOTAL						

GREENVILLE TOWN COMMON SYCAMORE HILL GATEWAY PLAZA

90% DESIGN SUBMISSION

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OWNER:



DESIGN TEAM:



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 LIGHT DEFINES FORMS INC
 ENGINEERING SOURCE**

NOT FOR CONSTRUCTION AND BIDDING

REVISION:

SCALE:
 SHEET NAME: **CODE COMPLIANCE DATA - PART 01**

SHEET NUMBER: **A001**

DATE: SEPTEMBER 26, 2018

**2012 APPENDIX B - BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)**

STRUCTURAL DESIGN

DESIGN LOADS:
Importance Factors: Wind (I_w) 1.0
 Snow (I_s) 1.0
 Seismic (I_e) 1.0

Live Loads: Roof NA
 Floor _____
 Floor _____
 Floor _____
 Floor _____
 Floor _____
 Floor _____

Ground Snow Load: 10 psf

Wind Load: Basic Wind Speed 105 mph (ASCE-7)
 Exposure Category C
 Wind Base Shears (for MWFRS) $V_x = NA$ $V_y = NA$

SEISMIC DESIGN CATEGORY

Provide the following Seismic Design Parameters:
 Occupancy Category (Table 1604.5) I II III IV
 Spectral Response Acceleration S_s %g S_1 %g
 Site Classification (Table 1613.5.2) A B C D E F
 Data Source: Field Test Presumptive Historical Data

Basic Structural System (check one)
 Bearing Wall Dual w/ Special Moment Frame
 Building Frame Dual w/ Intermediate R/C or Special Steel
 Moment Frame Inverted Pendulum

Seismic Base Shear: $V_s = NA$ $V_1 = NA$
 Analysis Procedure: Simplified Equivalent Lateral Force Dynamic
 Architectural, Mechanical, Components anchored? Yes No

LATERAL DESIGN CONTROL: Earthquake Wind NA

SOIL BEARING CAPACITIES: NA
 Field Test (provide copy of test report) _____ psf
 Presumptive Bearing Capacity _____ psf
 Pile size, type, and capacity _____

SPECIAL INSPECTIONS REQUIRED: Yes No

PLUMBING FIXTURE REQUIREMENTS **NOT APPLICABLE**
 (TABLE 2902.1)

OCCUPANCY USE GROUP	WATER CLOSETS		URINALS	LAVATORIES		SHOWERS/TUBS	DRINKING FOUNTAINS	
	MALE	FEMALE		MALE	FEMALE		REGULAR	ACCESSIBLE
SPACE	EXISTING							
	NEW							
REQUIRED								

SPECIAL APPROVALS **NOT APPLICABLE**
 Special Approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)

ENERGY SUMMARY **NOT APPLICABLE**

ENERGY REQUIREMENTS:
 The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost budget for the standard reference design vs. annual energy cost for the proposed design.

Climate Zone: 3 4 5

Method of Compliance:
 Prescriptive (Energy Code)
 Performance (Energy Code)
 Prescriptive (ASHRAE 90.1)
 Performance (ASHRAE 90.1)

THERMAL ENVELOPE **NOT APPLICABLE**

Roof/Ceiling Assembly (each assembly)
 Description of assembly _____
 U-Value of total assembly _____
 R-Value of insulation _____
 Skylights in each assembly _____
 U-Value of skylight _____
 total square footage of skylights in each assembly _____

Exterior Walls (each assembly)
 Description of assembly _____
 U-Value of total assembly _____
 R-Value of insulation _____
 Openings (windows or doors with glazing) ASSEMBLY 01 (FILL IN) ASSEMBLY 02 (FILL IN)
 U-Value of assembly _____
 Solar heat gain coefficient _____
 projection factor _____
 Door R-Values _____

Walls below grade (each assembly)
 Description of assembly _____
 U-Value of total assembly _____
 R-Value of insulation _____

Floors over unconditioned space (each assembly)
 Description of assembly _____
 U-Value of total assembly _____
 R-Value of insulation _____

Floors slab on grade
 Description of assembly _____
 U-Value of total assembly _____
 R-Value of insulation _____
 Horizontal/vertical requirement _____
 slab heated _____

MECHANICAL SUMMARY **NOT APPLICABLE**

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone
 winter dry bulb _____
 summer dry bulb _____

Interior design conditions
 winter dry bulb _____
 summer dry bulb _____
 relative humidity _____

Building heating load: _____
Building cooling load: _____

Mechanical Spacing Conditioning System
Unitary SEE PLANS AND SPECIFICATIONS
 description of unit: SEE PLANS AND SPECIFICATIONS
 heating efficiency: SEE PLANS AND SPECIFICATIONS
 cooling efficiency: SEE PLANS AND SPECIFICATIONS
 size category of unit: SEE PLANS AND SPECIFICATIONS

Boiler
 Size category, if oversized, state reason: _____

Chiller
 Size category, if oversized, state reason: _____

List equipment efficiencies: SEE PLANS AND SPECIFICATIONS

ELECTRICAL SUMMARY **NOT APPLICABLE**

ELECTRICAL SYSTEM AND EQUIPMENT

METHOD OF COMPLIANCE:
 Energy Code: Prescriptive Performance
 ASHRAE 90.1: Prescriptive Performance

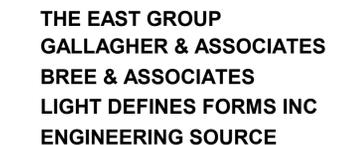
Lighting schedule (each fixture type)
 lamp type required in fixture SEE ENERGY CODE STATEMENT LOCATED ON ELECTRICAL SHEETS
 number of lamps in fixture SEE ENERGY CODE STATEMENT LOCATED ON ELECTRICAL SHEETS
 ballast type used in the fixture SEE ENERGY CODE STATEMENT LOCATED ON ELECTRICAL SHEETS
 number of ballasts in fixture SEE ENERGY CODE STATEMENT LOCATED ON ELECTRICAL SHEETS
 total wattage per fixture REFER TO ELECTRICAL SHEETS
 total interior wattage specified vs allowed (whole building or space by space) REFER TO ELECTRICAL SHEETS
 total exterior wattage specified vs allowed REFER TO ELECTRICAL SHEETS

Equipment schedules with motors
 506.2.1 More Efficient Mechanical Equipment
 506.2.2 Reduced Lighting Power Density
 506.2.3 Energy Recovery Ventilation Systems
 506.2.4 Higher Efficiency Service Water Heating
 506.2.5 On-Site Supply of Renewable Energy
 506.2.6 Automatic Daylighting Control Systems

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**NOT FOR
CONSTRUCTION
AND BIDDING**

REVISION:

SCALE: _____
SHEET NAME: CODE COMPLIANCE DATA - PART 02

SHEET NUMBER: **A002**

DATE: SEPTEMBER 26, 2018

**GREENVILLE
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SYCAMORE HILL
GATEWAY PLAZA**
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DESIGN TEAM:



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ENGINEERING SOURCE**

**NOT FOR
CONSTRUCTION
AND BIDDING**

REVISION:

SCALE:

SHEET NAME:
**ARCHITECTURAL SITE
PLAN**

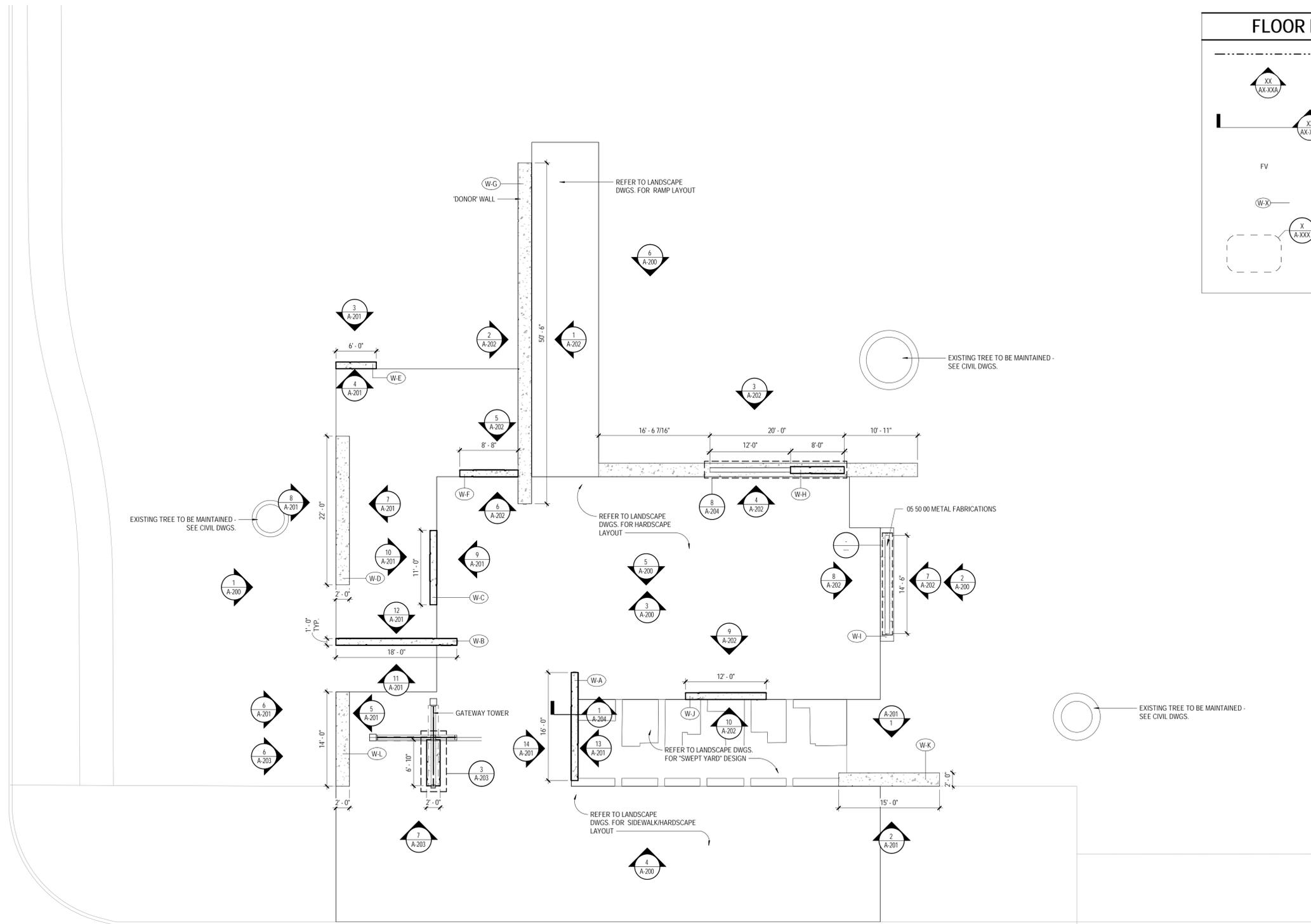
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A-100

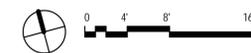
DATE:

SEPTEMBER 26, 2018

FLOOR PLAN LEGEND	
	EXPANSION JOINT
	EXTERIOR ELEVATION TAG
	WALL SECTION TAG
	FIELD VERIFY
	WALL TAG ID
	ENLARGED PLAN TAG



1 ARCHITECTURAL WALL AND SITE PLAN
1/8" = 1'-0"



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LIGHT DEFINES FORMS INC
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**NOT FOR
CONSTRUCTION
AND BIDDING**

REVISION:

SCALE:

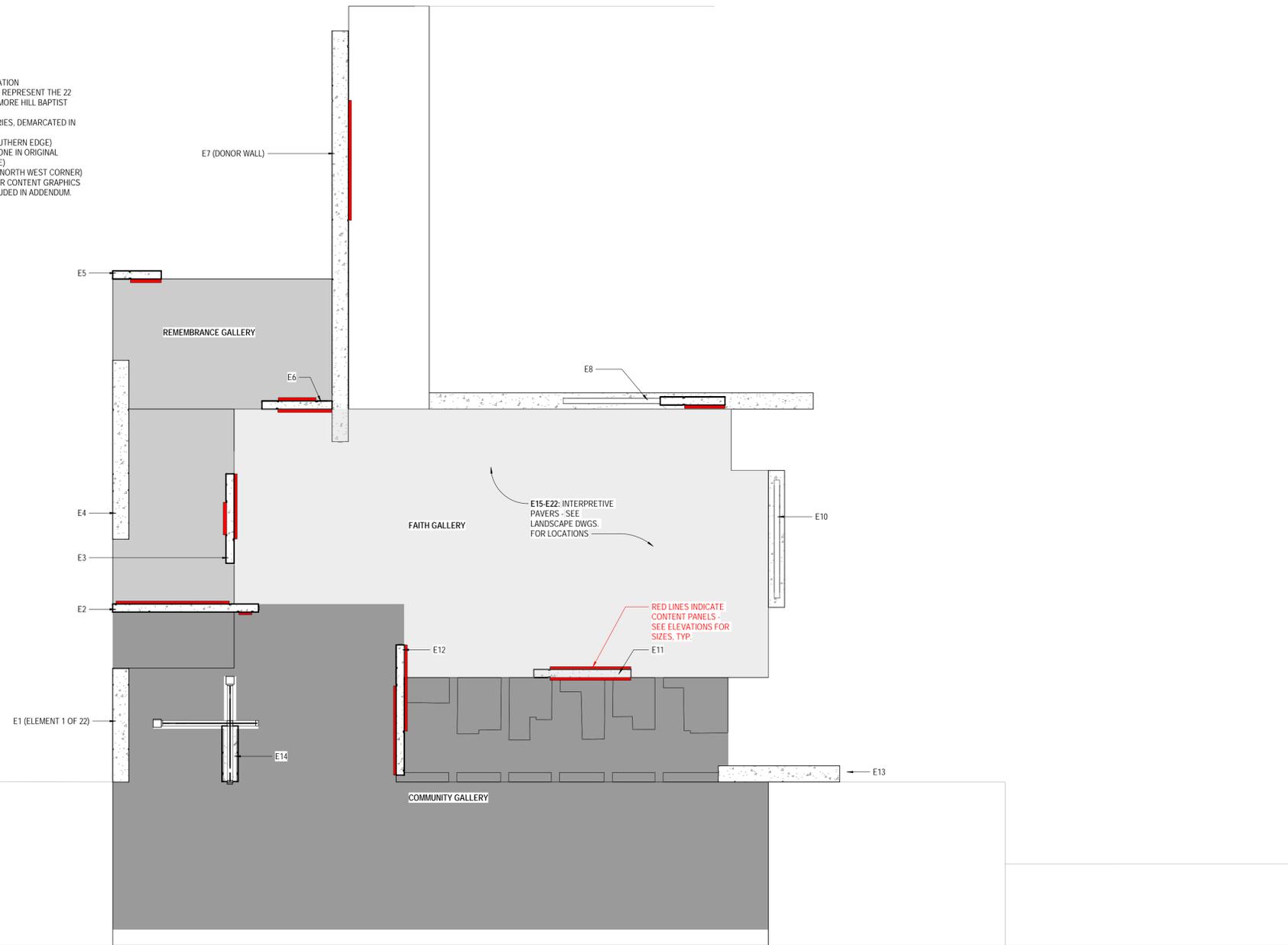
SHEET NAME:
**INTERPRETIVE CONTENT
DIAGRAM**

SHEET NUMBER:
A-110

DATE:
SEPTEMBER 26, 2018

NOTES & ABBREVIATIONS

- "E" ELEMENT
- [Red line symbol] CONTENT PANEL LOCATION
- THERE ARE 22 ELEMENTS THAT REPRESENT THE 22 FOUNDING MEMBERS OF SYCAMORE HILL BAPTIST CHURCH
- THERE ARE 3 CONTENT GALLERIES, DEMARCATED IN GRAY SWATCHES
 1. COMMUNITY GALLERY (SOUTHERN EDGE)
 2. FAITH GALLERY (MIDDLE ZONE IN ORIGINAL CHURCH SANCTUARY ZONE)
 3. REMEMBRANCE GALLERY (NORTH WEST CORNER)
- SEE A-500 DRAWING SERIES FOR CONTENT GRAPHICS AND DETAILS. NARRATIVE INCLUDED IN ADDENDUM.



1 INTERPRETIVE CONTENT PLAN + 22
ELEMENTS - DIAGRAM
1/8" = 1'-0"

**GREENVILLE
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SYCAMORE HILL
GATEWAY PLAZA**
90% DESIGN SUBMISSION

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Tel. 252.329.4567

OWNER:



DESIGN TEAM:



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510 King Street
Suite 300
Alexandria, VA 22314
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703-683-7449 fx
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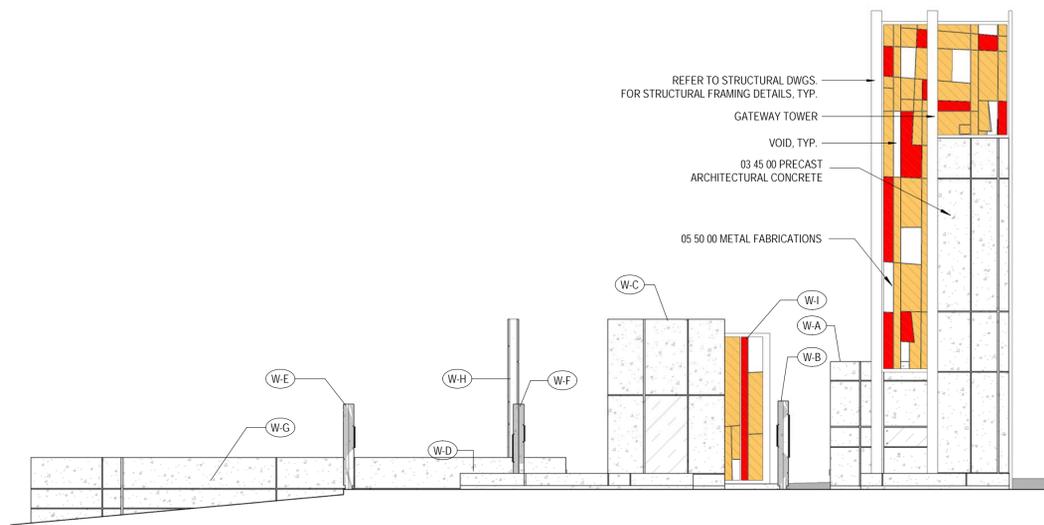
REVISION:

SCALE: 1/8" = 1'-0"

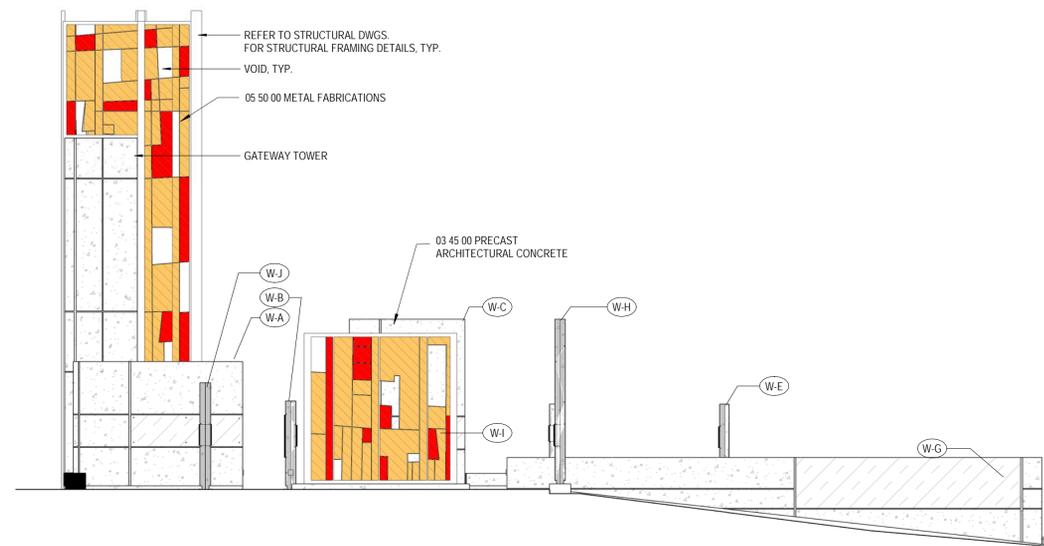
SHEET NAME: SITE ELEVATIONS

SHEET NUMBER: **A-200**

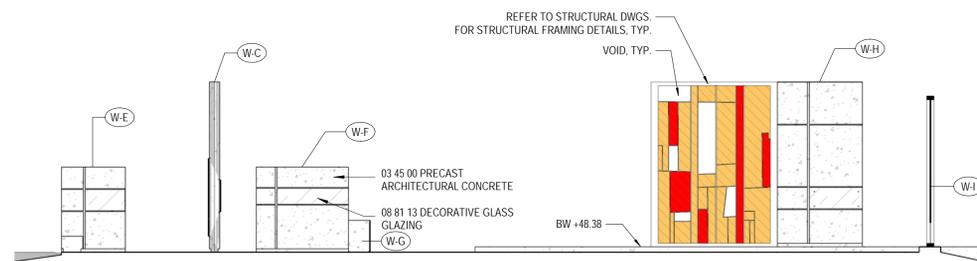
DATE: SEPTEMBER 26, 2018



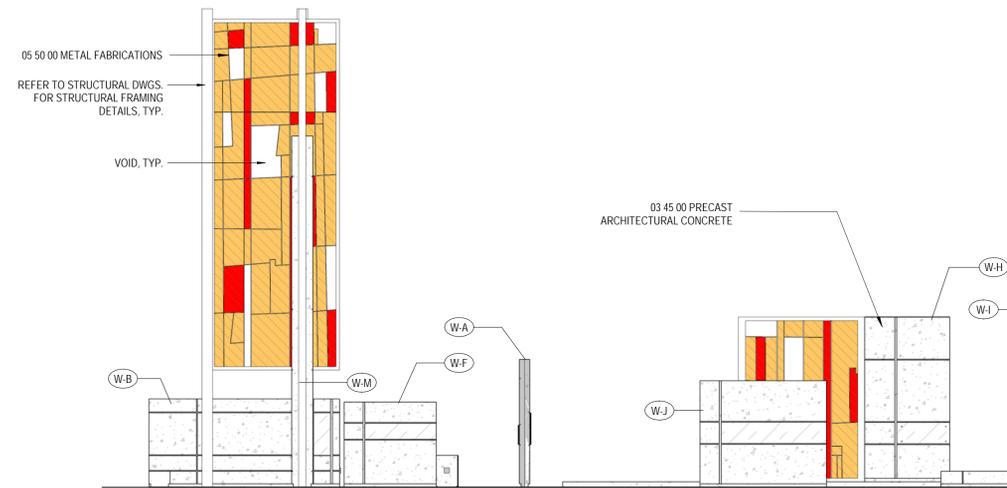
1 WEST ELEVATION
1/8" = 1'-0"



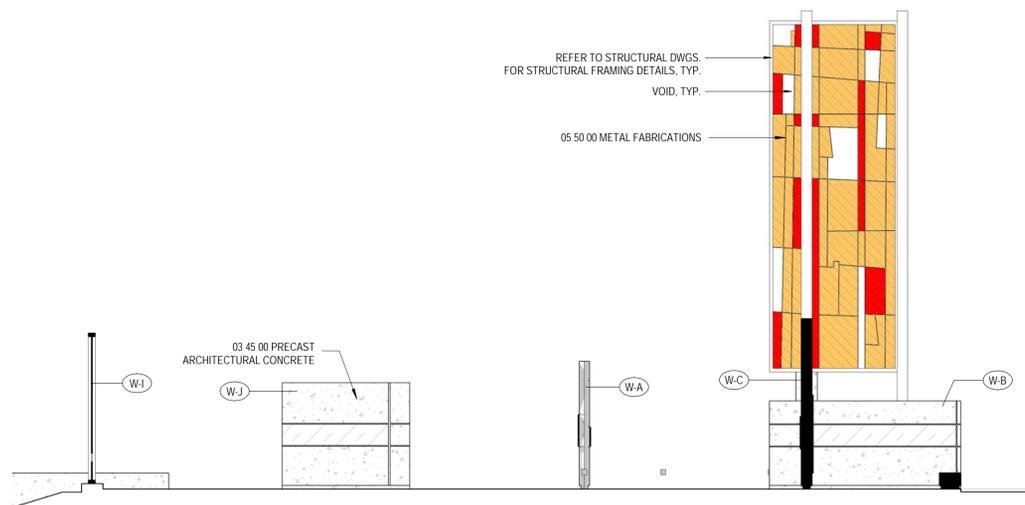
2 EAST ELEVATION
1/8" = 1'-0"



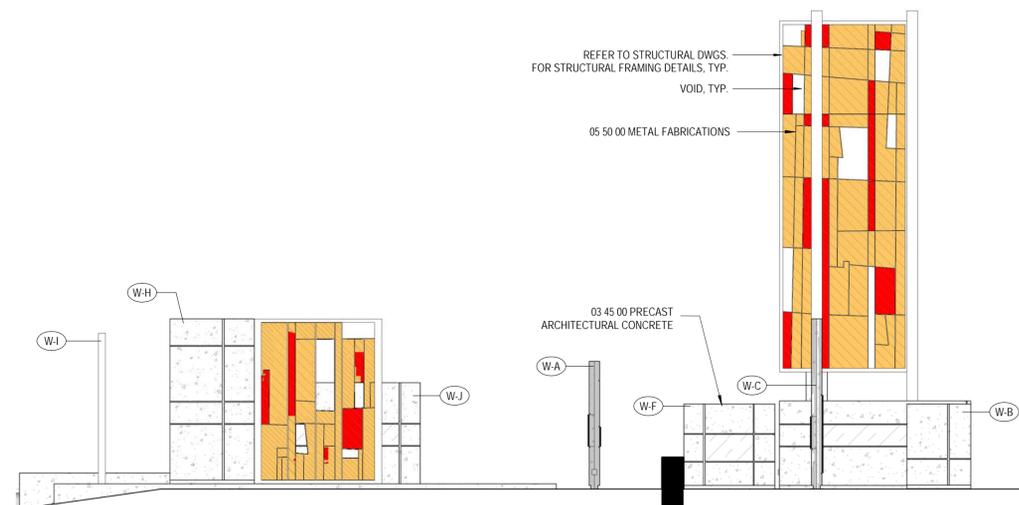
3 CENTRAL SPACE - SOUTH ELEVATION
1/8" = 1'-0"



4 SOUTH ELEVATION
1/8" = 1'-0"



5 CENTRAL SPACE - NORTH ELEVATION
1/8" = 1'-0"



6 NORTH ELEVATION
1/8" = 1'-0"



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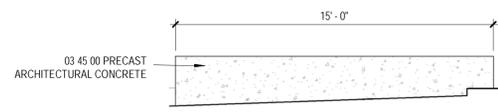
REVISION:

SCALE: 1/4" = 1'-0"

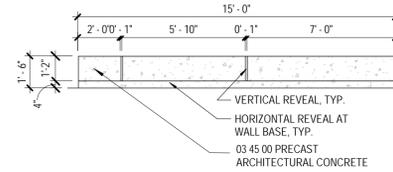
SHEET NAME: **WALL ELEVATIONS**

SHEET NUMBER: **A-201**

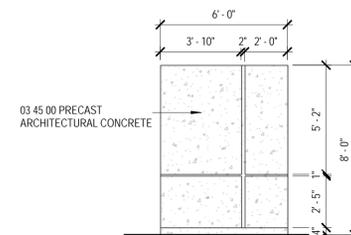
DATE: **SEPTEMBER 26, 2018**



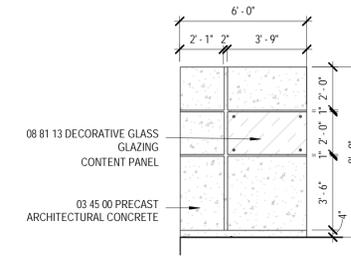
1 WALL K - NORTH ELEV.
1/4" = 1'-0"



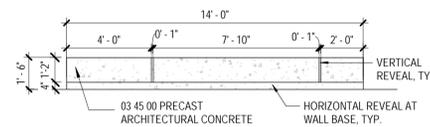
2 WALL K - SOUTH ELEV.
1/4" = 1'-0"



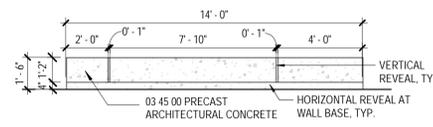
3 WALL E - NORTH ELEV.
1/4" = 1'-0"



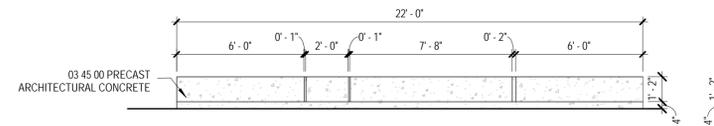
4 WALL E - SOUTH ELEV.
1/4" = 1'-0"



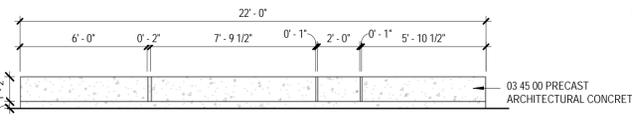
5 WALL L - EAST ELEV.
1/4" = 1'-0"



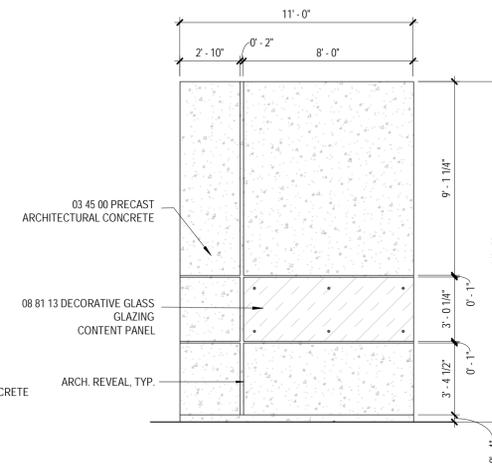
6 WALL L - WEST ELEV.
1/4" = 1'-0"



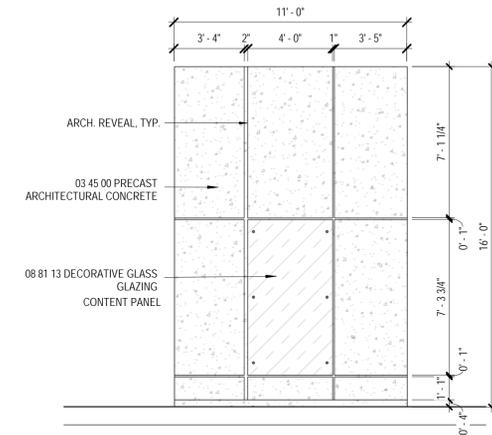
7 WALL D - EAST ELEV.
1/4" = 1'-0"



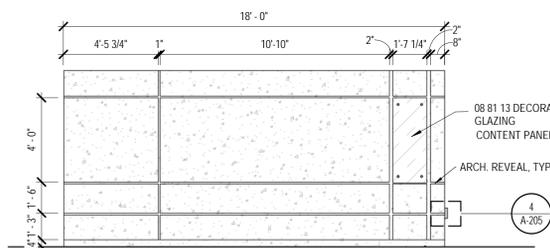
8 WALL D - WEST ELEV.
1/4" = 1'-0"



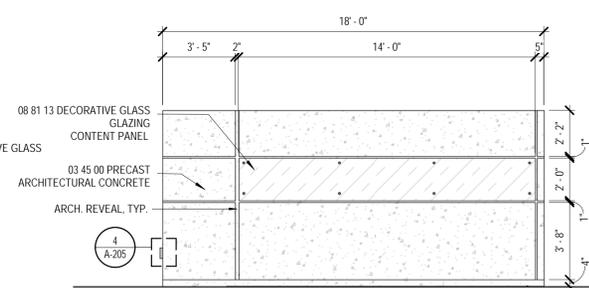
9 WALL C - EAST ELEV.
1/4" = 1'-0"



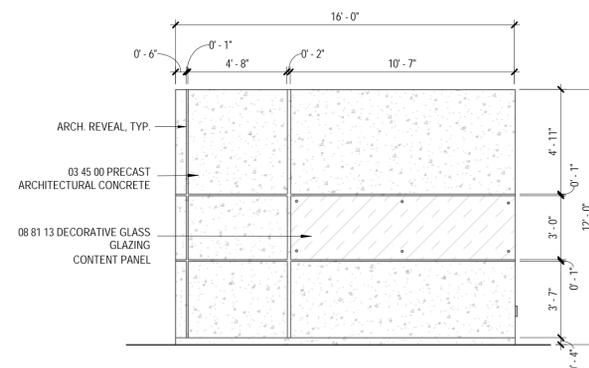
10 WALL C - WEST ELEV.
1/4" = 1'-0"



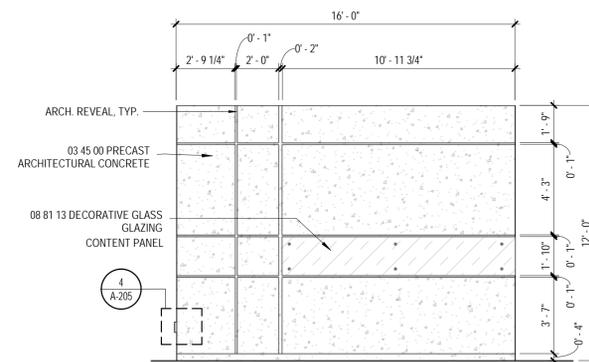
11 WALL B - SOUTH ELEV.
1/4" = 1'-0"



12 WALL B - NORTH ELEV.
1/4" = 1'-0"



13 WALL A - EAST ELEV.
1/4" = 1'-0"



14 WALL A - WEST ELEV.
1/4" = 1'-0"



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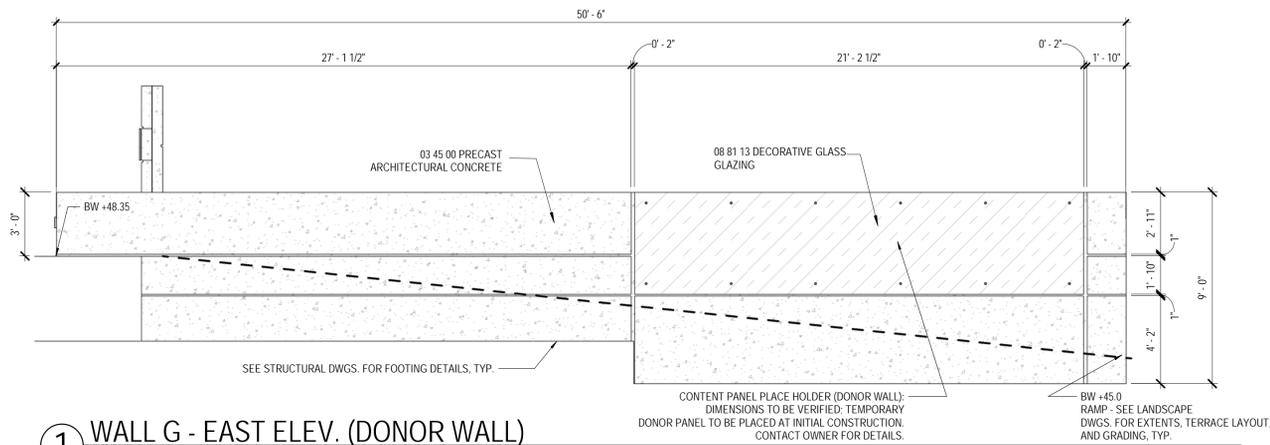
REVISION:

SCALE: 1/4" = 1'-0"

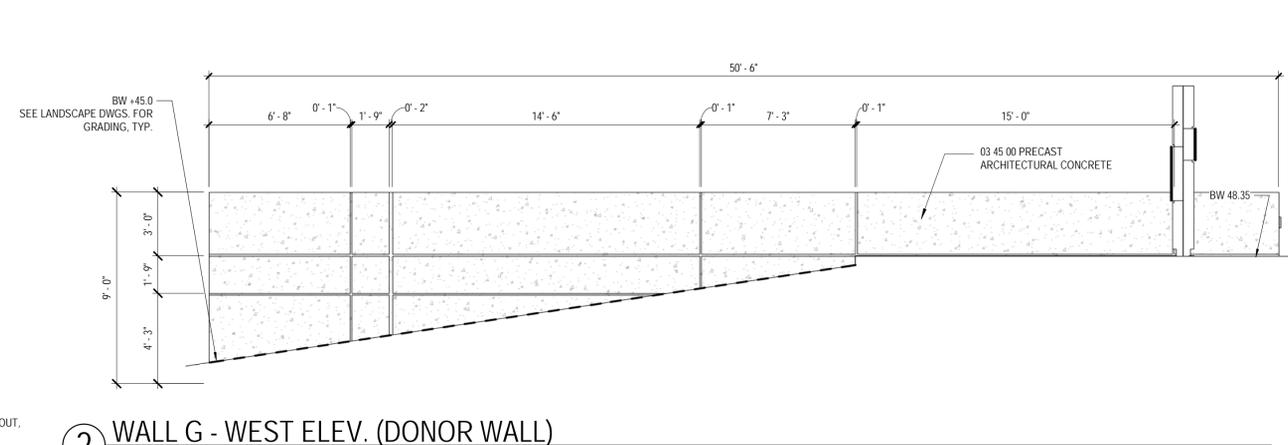
SHEET NAME: WALL ELEVATIONS

SHEET NUMBER: **A-202**

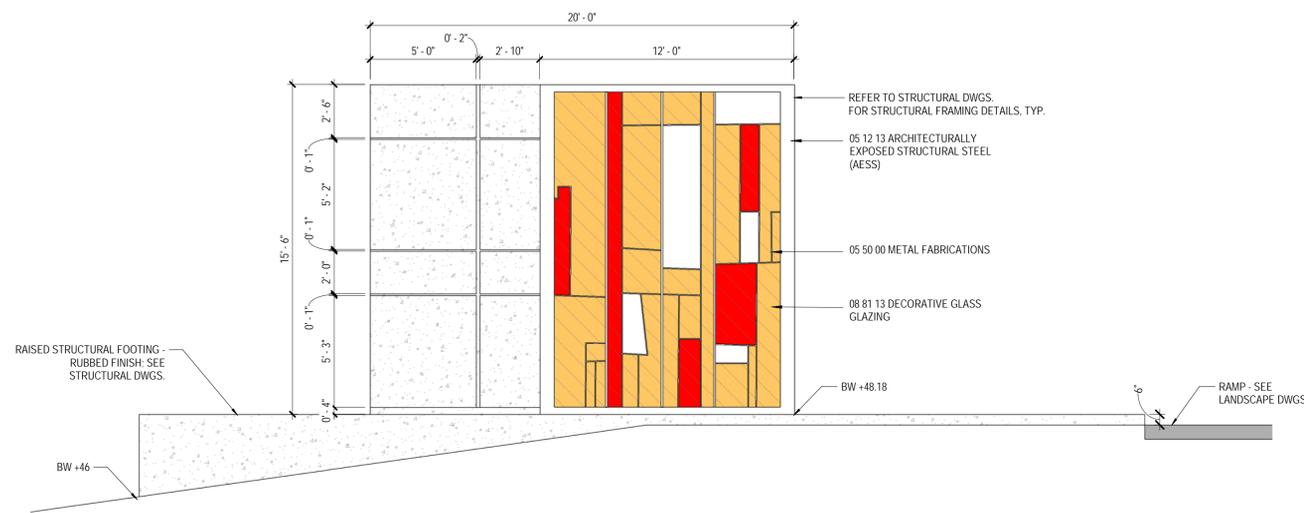
DATE: SEPTEMBER 26, 2018



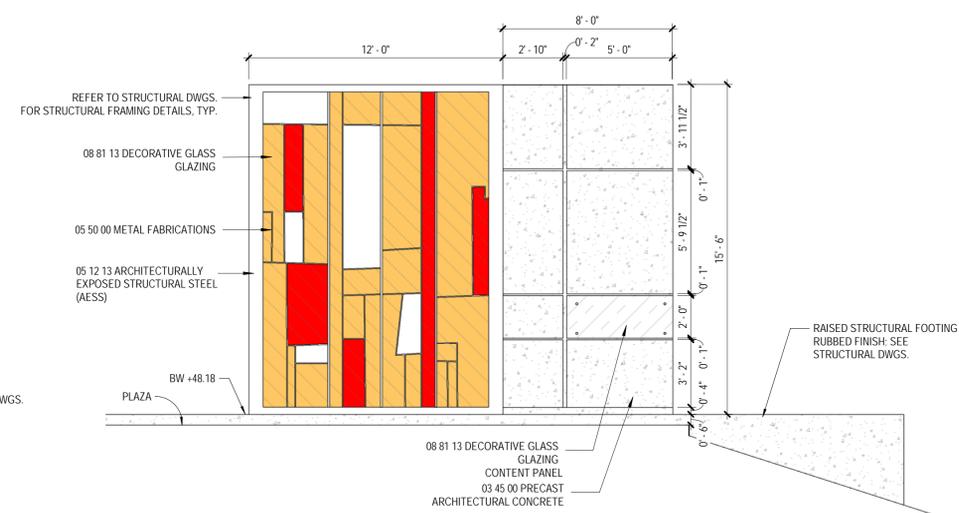
1 WALL G - EAST ELEV. (DONOR WALL)
1/4" = 1'-0"



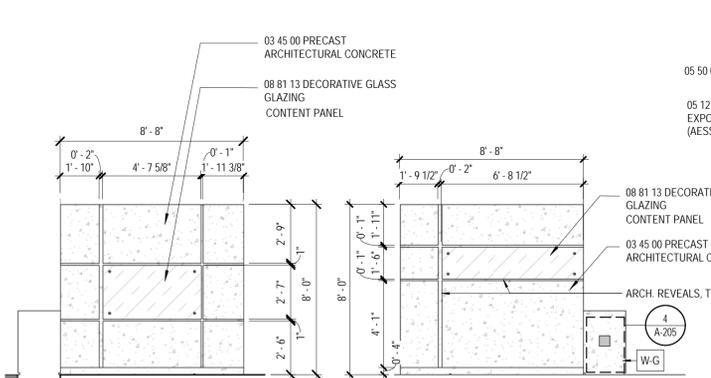
2 WALL G - WEST ELEV. (DONOR WALL)
1/4" = 1'-0"



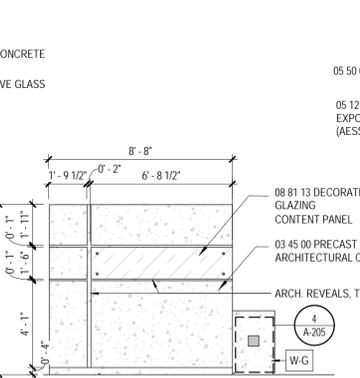
3 WALL H - NORTH ELEV.
1/4" = 1'-0"



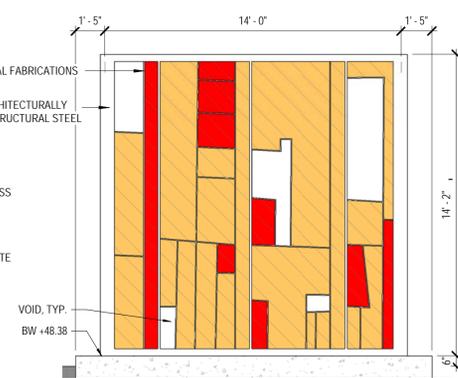
4 WALL H - SOUTH ELEV.
1/4" = 1'-0"



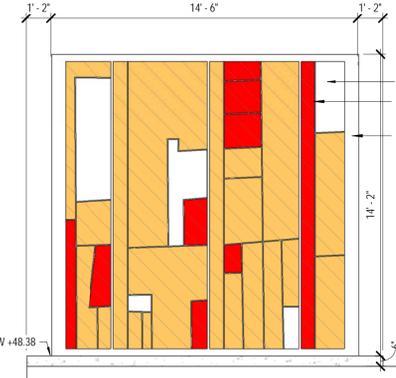
5 WALL F - NORTH ELEV.
1/4" = 1'-0"



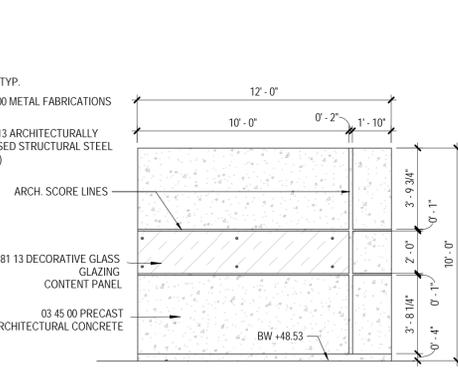
6 WALL F - SOUTH ELEV.
1/4" = 1'-0"



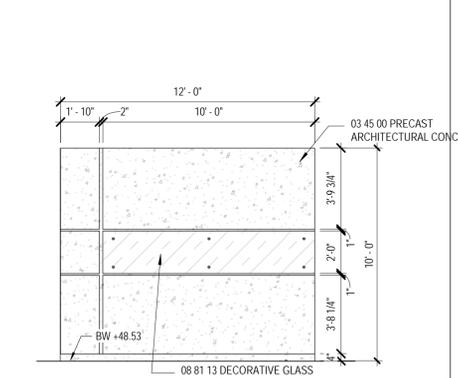
7 WALL I - EAST ELEV.
1/4" = 1'-0"



8 WALL I - WEST ELEV.
1/4" = 1'-0"



9 WALL J - NORTH ELEV.
1/4" = 1'-0"



10 WALL J - SOUTH ELEV.
1/4" = 1'-0"



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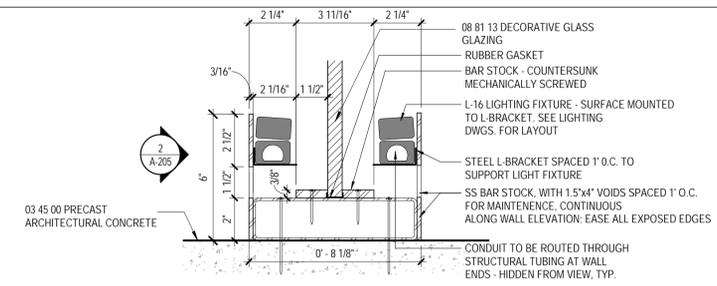
**NOT FOR
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REVISION:

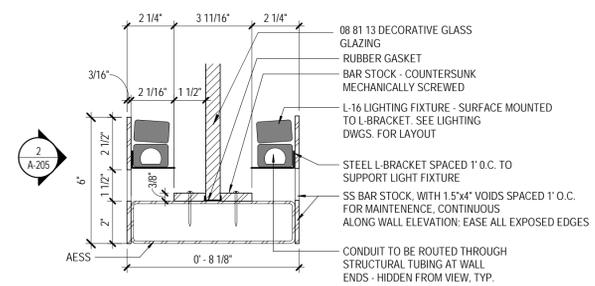
SCALE:
SHEET NAME: **GATEWAY TOWER DETAILS**

SHEET NUMBER: **A-203**

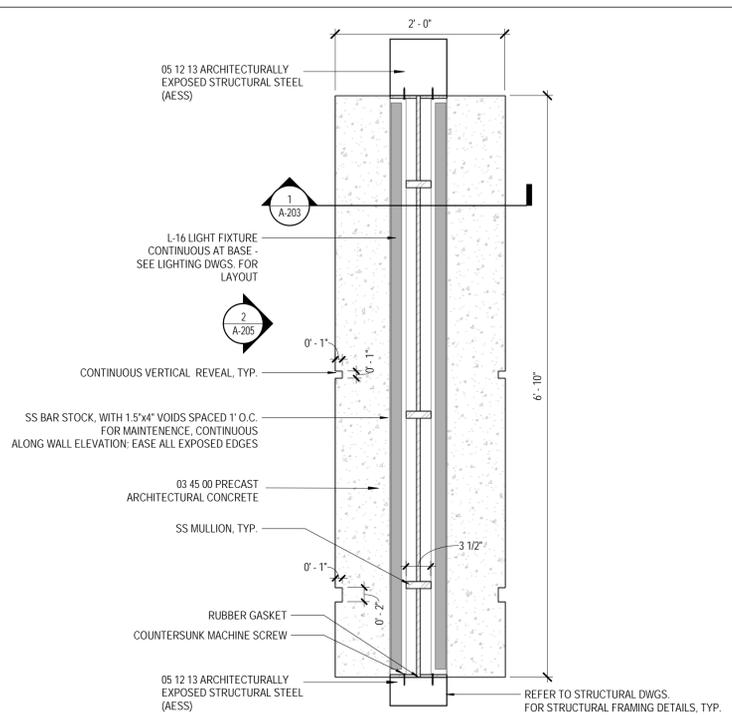
DATE: SEPTEMBER 26, 2018



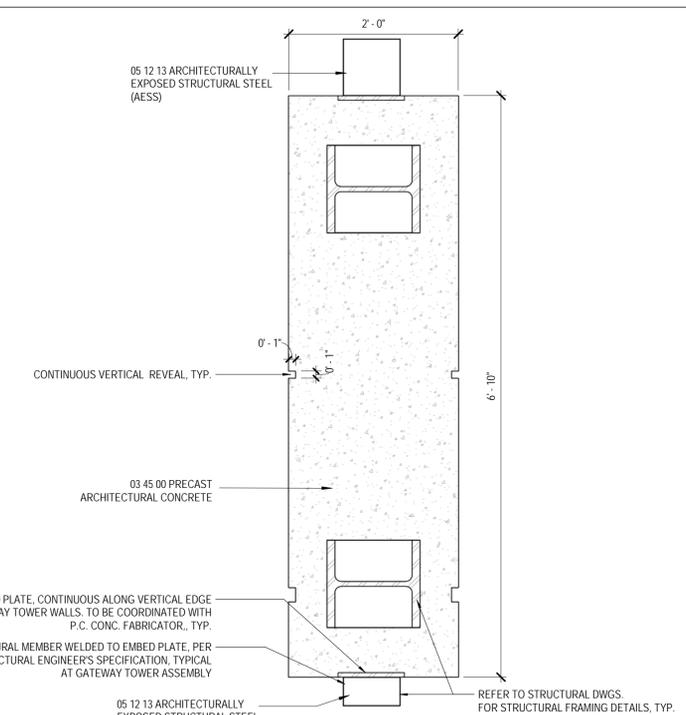
1 GATEWAY TOWER - GLASS WALL BASE
DETAIL AT TOP OF P.C. CONC.
3" = 1'-0"



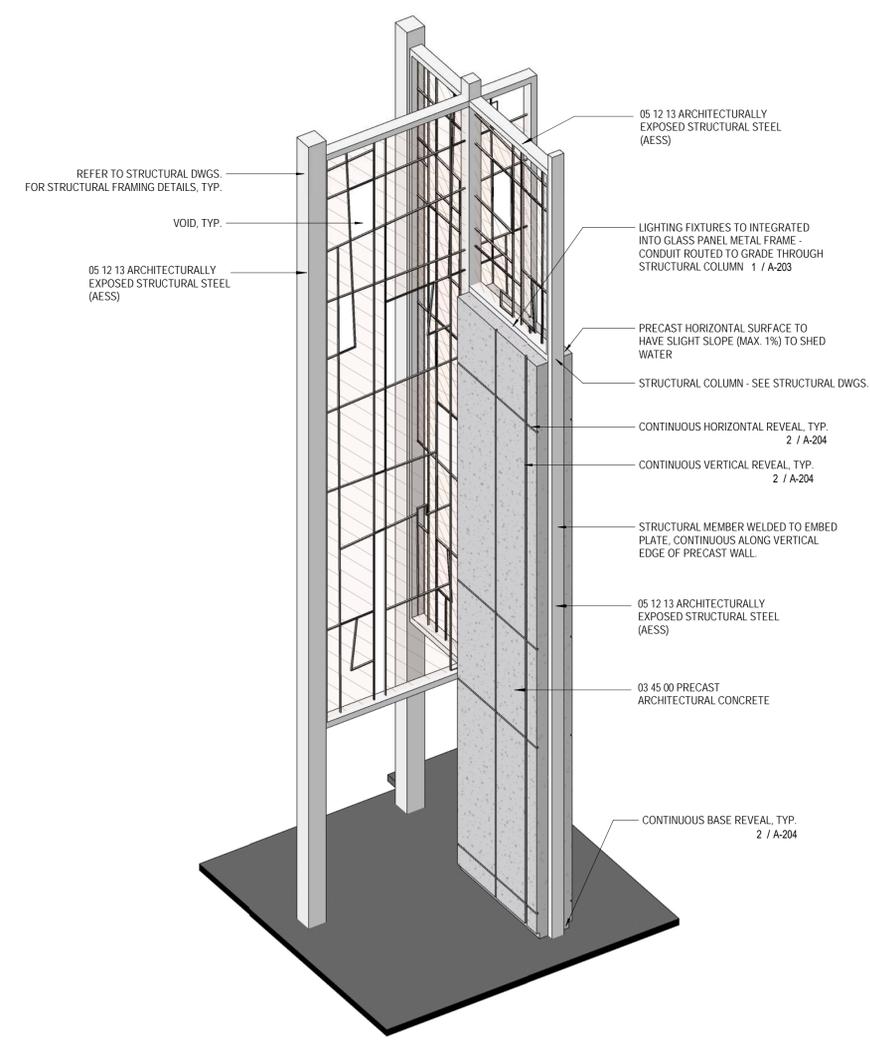
2 GATEWAY TOWER - GLASS PANEL BASE
DETAIL
3" = 1'-0"



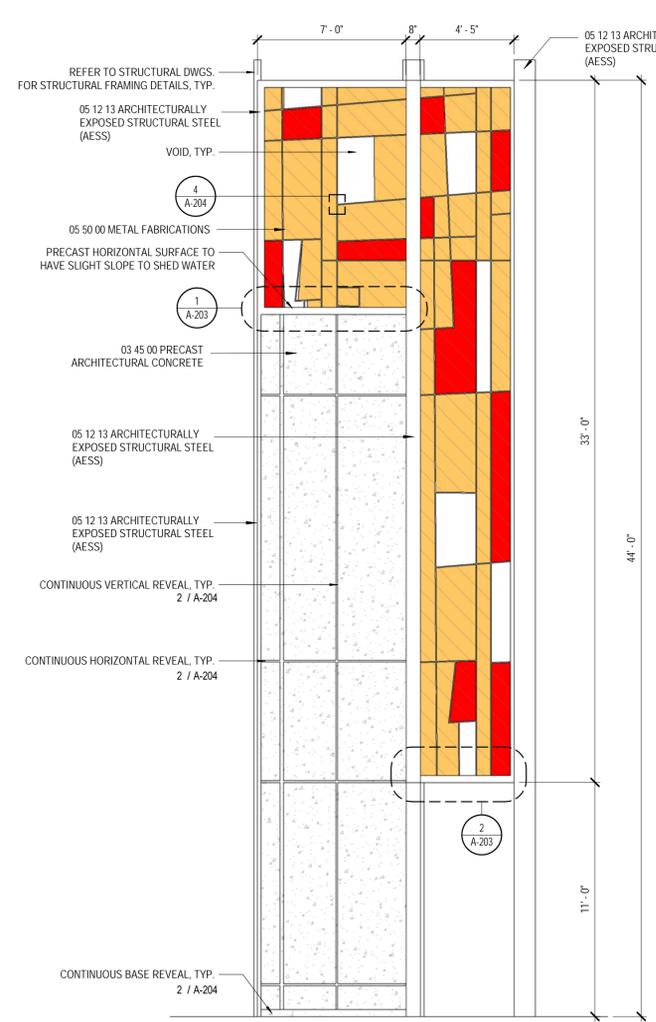
3 GATEWAY TOWER - TOP OF P.C. CONC.
WALL PLAN DETAIL
1" = 1'-0"



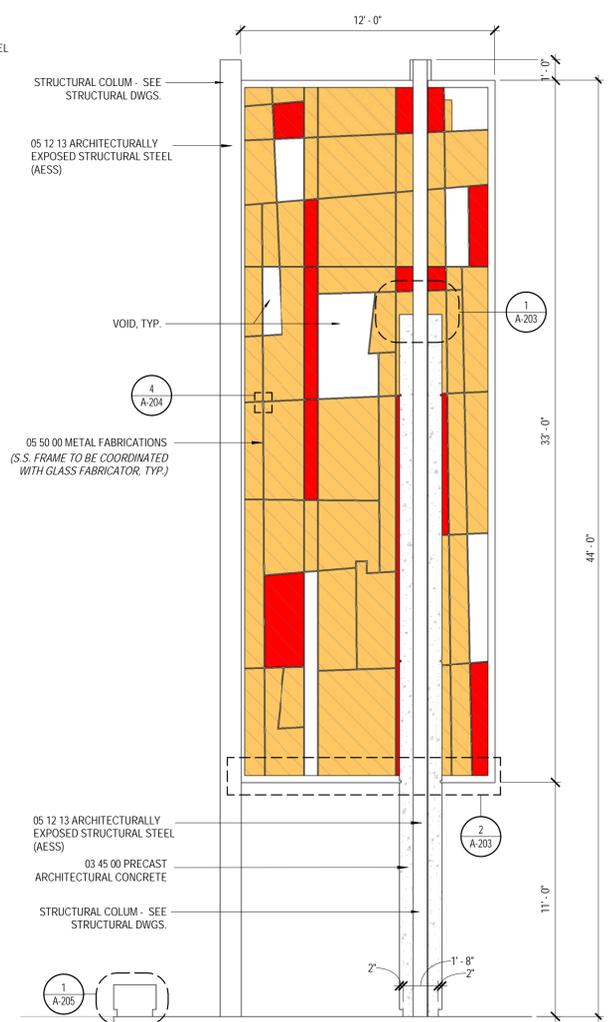
4 GATEWAY TOWER - PLAN DETAIL
1" = 1'-0"



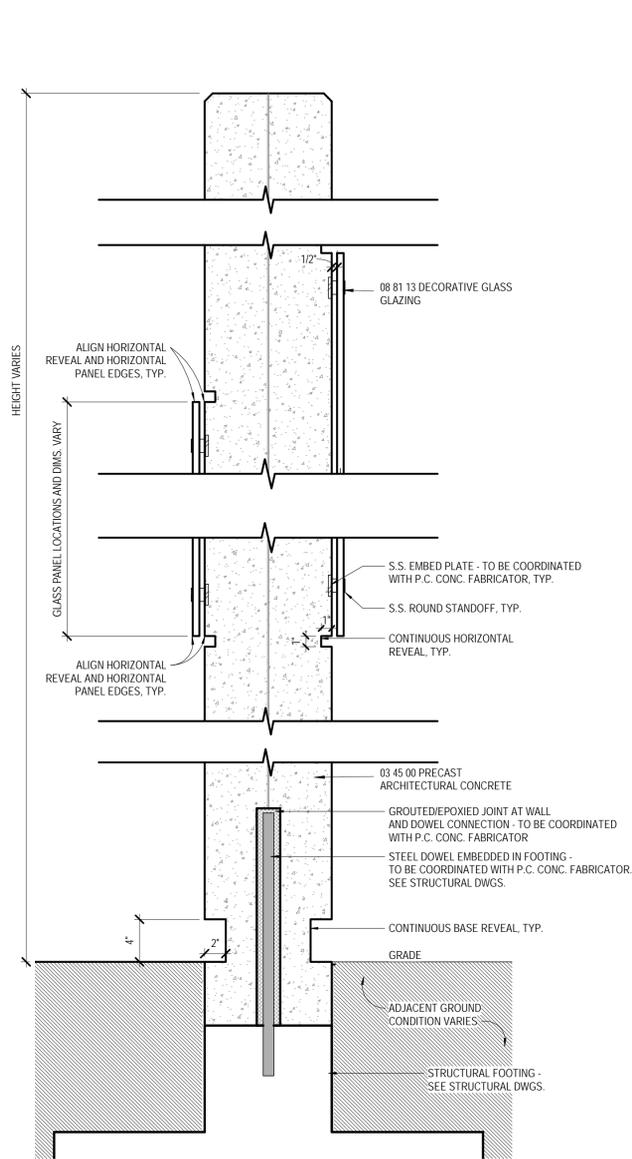
5 GATEWAY TOWER - SW AXON



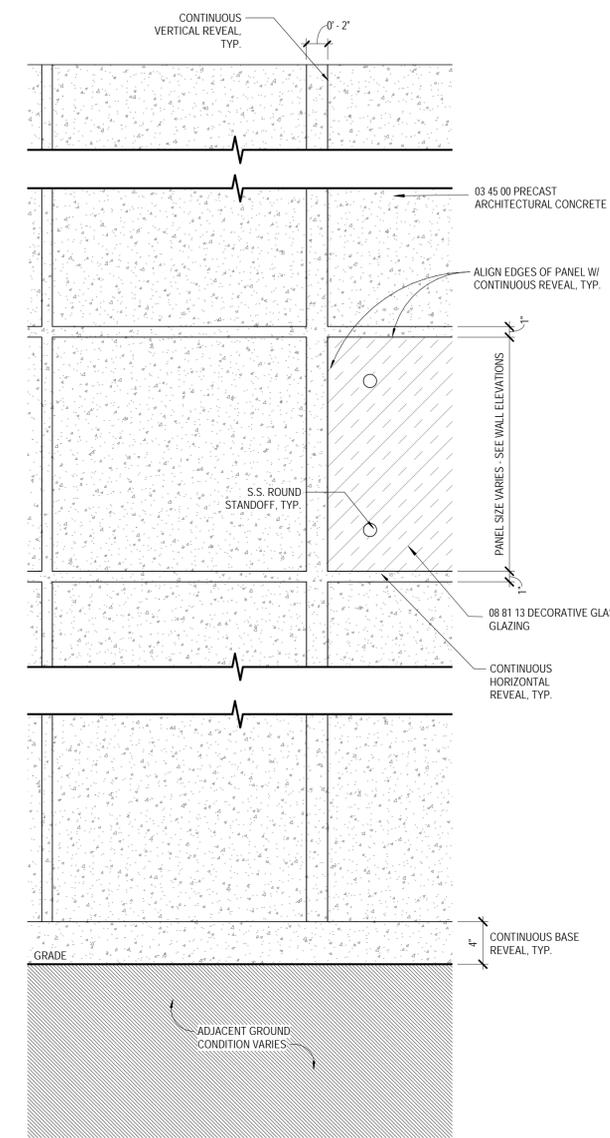
6 GATEWAY TOWER - WEST ELEV.
1/4" = 1'-0"



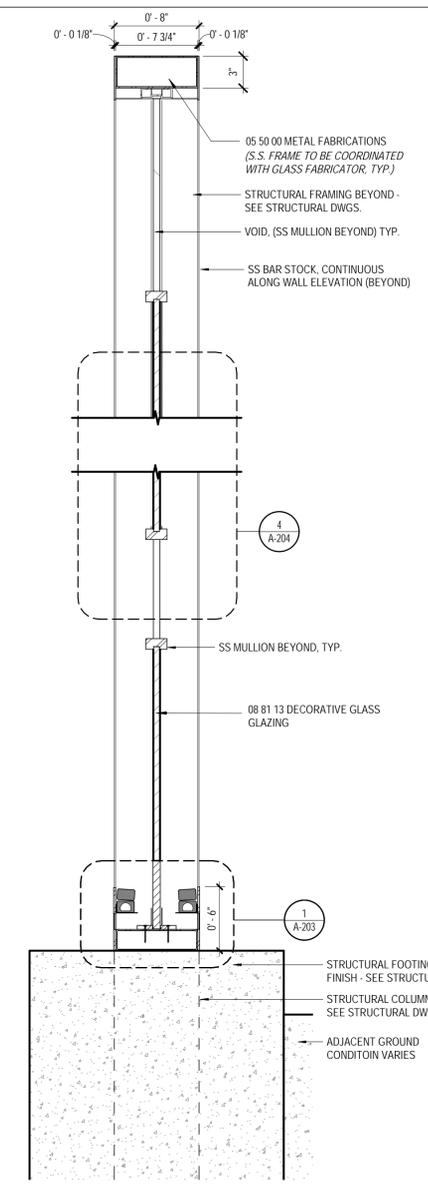
7 GATEWAY TOWER - SOUTH ELEV.
1/4" = 1'-0"



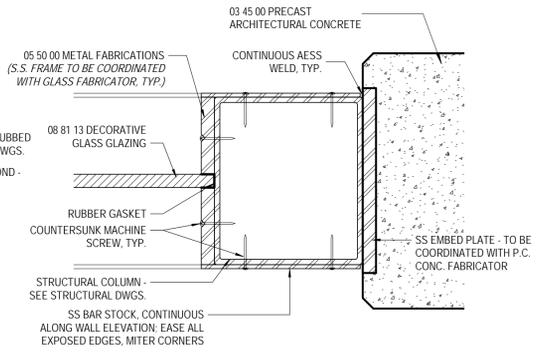
1 PRECAST WALL - TYPICAL SECTION
1 1/2" = 1'-0"



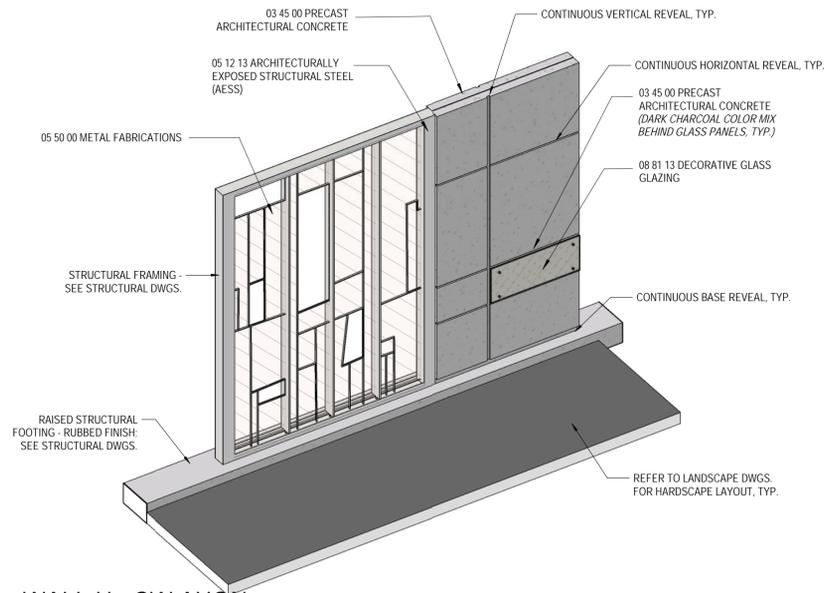
2 PRECAST WALL - TYPICAL ELEV. ENLARGEMENT
1 1/2" = 1'-0"



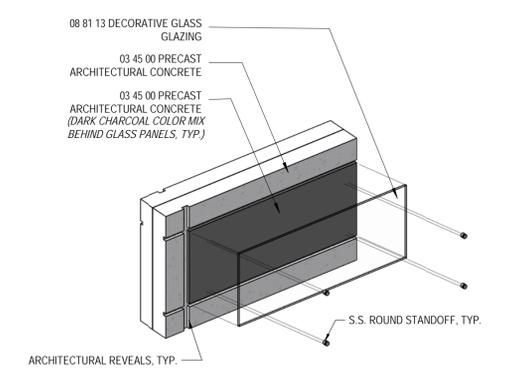
3 GLASS PANEL FEATURE - TYPICAL ASSEMBLY
1 1/2" = 1'-0"



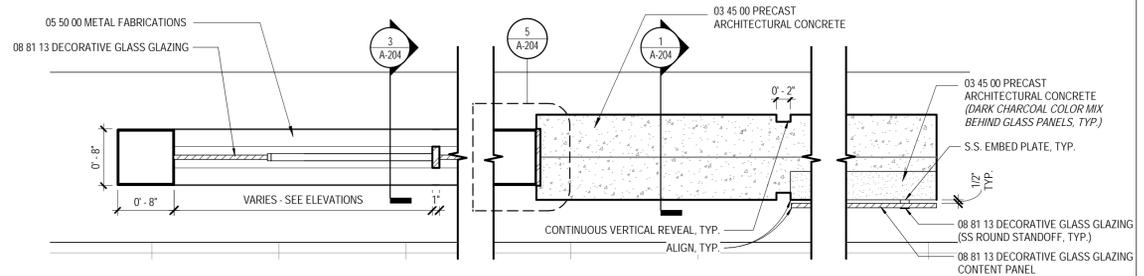
5 WALL H - STEEL FRAME AT P.C. CONC. PLAN DETAIL
3" = 1'-0"



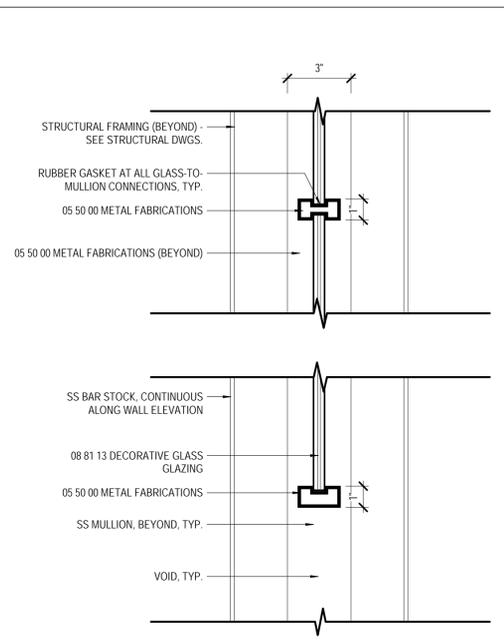
6 WALL H - SW AXON



7 CONTENT PANEL - ASSEMBLY



8 WALLS H & I - TYPICAL PLAN ASSEMBLY
1" = 1'-0"



4 GLASS STRUCTURE ASSEMBLY
3" = 1'-0"

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REVISION:

SCALE:
SHEET NAME: **ARCHITECTURAL DETAILS**

SHEET NUMBER: **A-204**

DATE: **SEPTEMBER 26, 2018**

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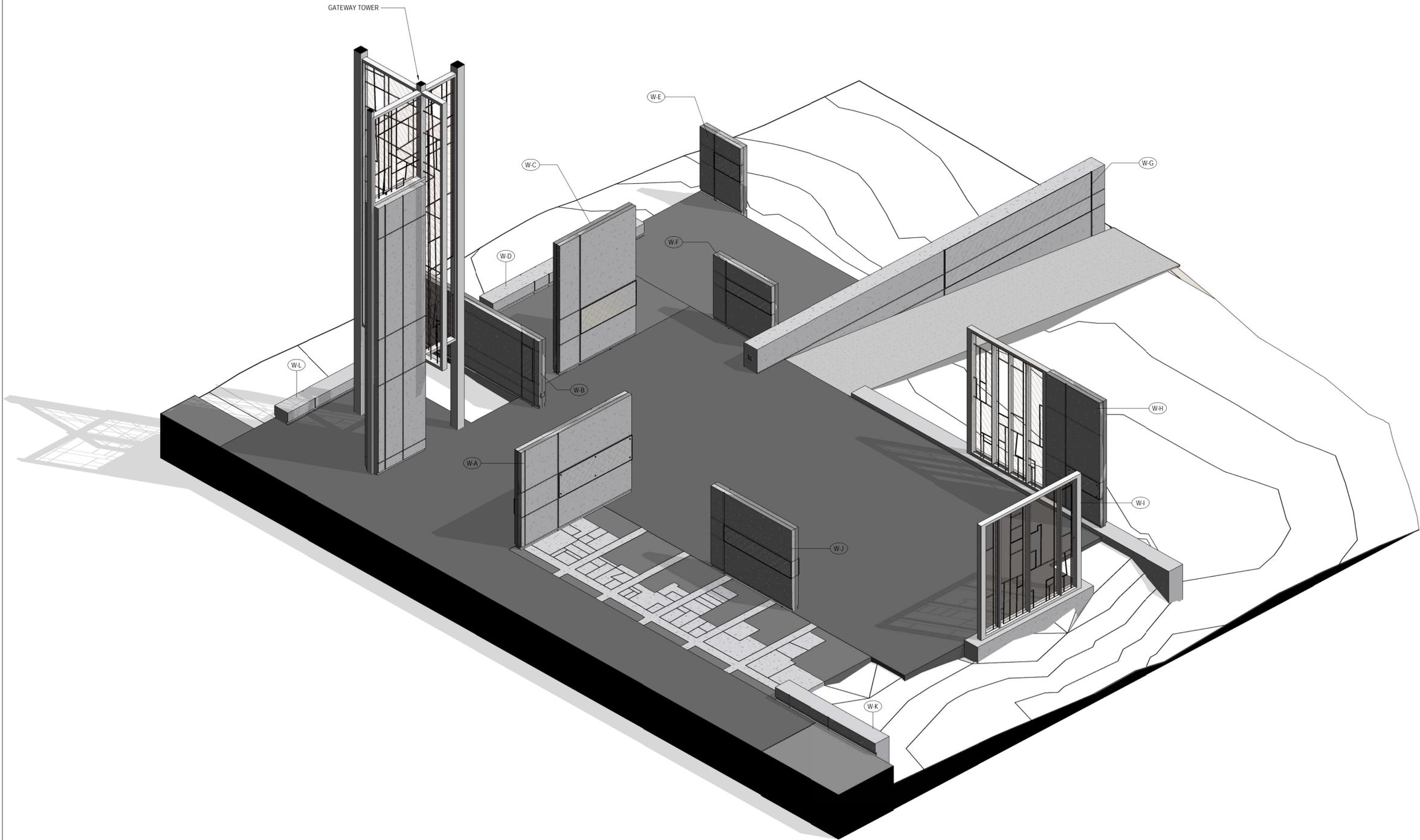
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REVISION:

SCALE:
SHEET NAME:
ILLUSTRATIVE AXON

SHEET NUMBER:
A-300
DATE:
SEPTEMBER 26, 2018



ILLUSTRATIVE AXON NOTES:
1. SEE LANDSCAPE DWGS. FOR TERRACE, RAMP, AND HARDSCAPE LAYOUT, TYP.
2. SEE CIVIL DWGS. FOR ALL GRADING; TOPOGRAPHY SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.

1 SITE AXON - FROM SOUTHEAST

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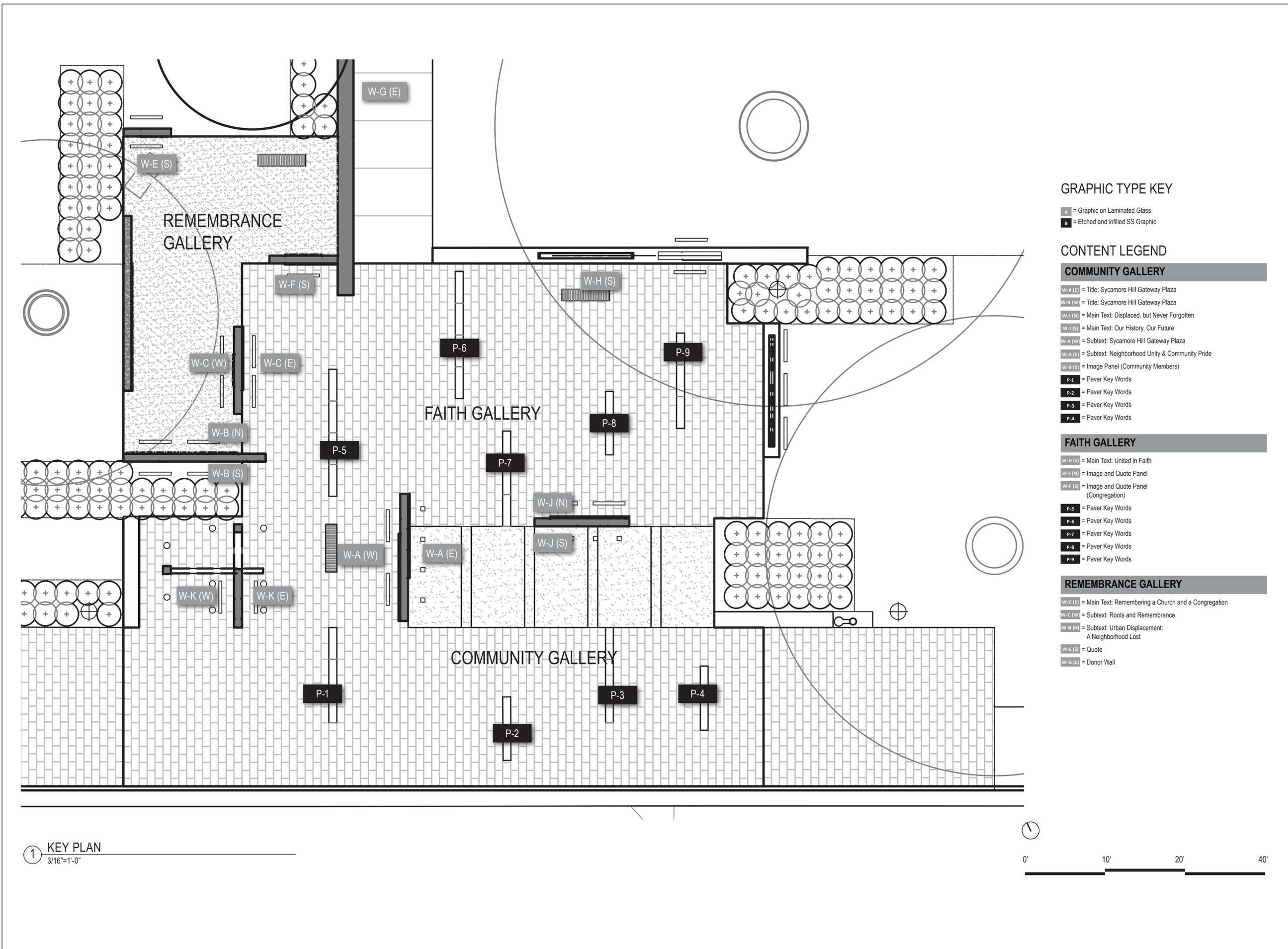
SCALE: AS NOTED

SHEET NAME: **INTERPRETIVE SITE PLAN**

SHEET NUMBER:

A-501

DATE: SEPTEMBER 26 2018



1 KEY PLAN
3/16"=1'-0"

GRAPHIC TYPE KEY

- = Graphic on Laminated Glass
- = Etched and infilled SS Graphic

CONTENT LEGEND

COMMUNITY GALLERY

- W-K (E) = Title: Sycamore Hill Gateway Plaza
- W-K (W) = Title: Sycamore Hill Gateway Plaza
- W-J (N) = Main Text: Displaced, but Never Forgotten
- W-J (S) = Main Text: Our History, Our Future
- W-A (W) = Subtext: Sycamore Hill Gateway Plaza
- W-A (E) = Subtext: Neighborhood Unity & Community Pride
- W-B (S) = Image Panel (Community Members)
- P-1 = Paver Key Words
- P-2 = Paver Key Words
- P-3 = Paver Key Words
- P-4 = Paver Key Words

FAITH GALLERY

- W-H (S) = Main Text: United in Faith
- W-J (N) = Image and Quote Panel
- W-F (S) = Image and Quote Panel (Congregation)
- P-5 = Paver Key Words
- P-6 = Paver Key Words
- P-7 = Paver Key Words
- P-8 = Paver Key Words
- P-9 = Paver Key Words

REMEMBRANCE GALLERY

- W-C (E) = Main Text: Remembering a Church and a Congregation
- W-C (W) = Subtext: Roots and Remembrance
- W-B (N) = Subtext: Urban Displacement: A Neighborhood Lost
- W-E (S) = Quote
- W-G (E) = Donor Wall

MATERIALS



EG.1: INSET STAINLESS STEEL LETTERFORMS IN GRANITE



EG.2: FORMS + SURFACES VIVIGRAPHIX SPECTRA LAMINATED GRAPHIC OR APPROVED EQUAL

TYPOGRAPHY

ABCDEFGHIJKLMNOPQRSTUVWXYZ abcdefghijklmnopqrstuvwxyz

1234567890

PRIMARY FONT
ACUMIN PRO-CONDENSED MEDIUM

ABCDEFGHIJKLMNOPQRSTUVWXYZ abcdefghijklmnopqrstuvwxyz

1234567890

PRIMARY FONT
ADOBE CASLON SEMIBOLD ITALIC



MAIN TEXT PANELS (SAMPLE)

TITLE FONT: ACUMIN PRO
CONDENSED MEDIUM
312/336 PT
+10 TRACKING

TITLE ACCENT FONT: ADOBE
CASLON SEMI-BOLD ITALIC
312/336 PT
+10 TRACKING

BODY TEXT FONT:
ACUMIN PRO
CONDENSED MEDIUM
60/78 PT
+5 TRACKING

SUBTEXT PANELS (SAMPLE)

TITLE FONT: ACUMIN PRO
CONDENSED MEDIUM
276/312 PT
+10 TRACKING

TITLE ACCENT FONT: ADOBE
CASLON SEMI-BOLD ITALIC
276/312 PT
+10 TRACKING

BODY TEXT FONT:
ACUMIN PRO
CONDENSED MEDIUM
52/72 PT
+5 TRACKING

LABEL FONT:
ACUMIN PRO
CONDENSED MEDIUM
36/48 PT
+5 TRACKING

FEATURE QUOTE

QUOTE FONT: ADOBE
CASLON SEMI-BOLD ITALIC
120/152 PT
+10 TRACKING

QUOTE ATTRIBUTION:
ADOBE CASLON SEMI-BOLD
SMALL CAPS, TITLE CASE
120/152 PT
+10 TRACKING

IMAGE(S) WITH CAPTION,
SMALL QUOTE

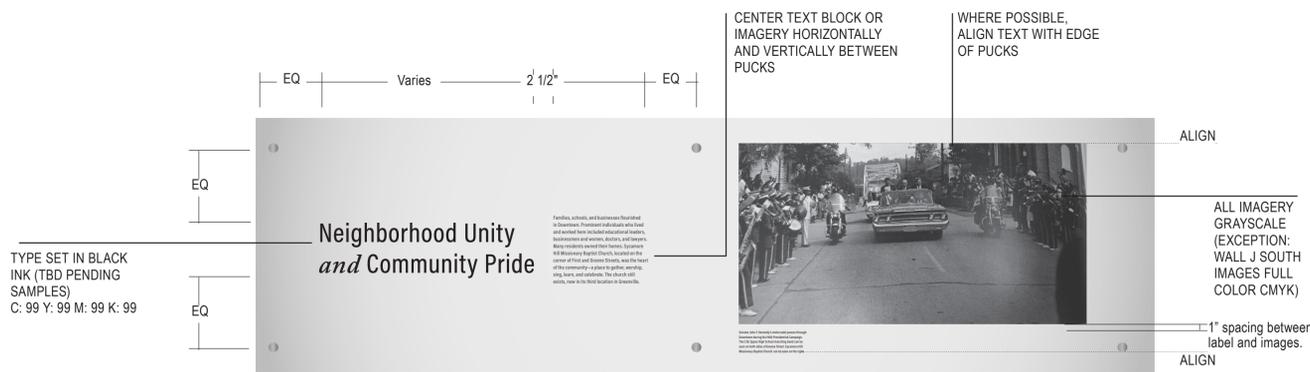
QUOTE FONT: ADOBE
CASLON SEMI-BOLD ITALIC
69/78 PT
+10 TRACKING

QUOTE ATTRIBUTION:
ADOBE CASLON SEMI-BOLD
SMALL CAPS, TITLE CASE
48 PT
+10 TRACKING

1 TYPE HIERARCHY AND MOUNTING HEIGHTS
1/2"=1'-0"



2 GRAPHIC PANEL STANDARDS
3/8"=1'-0"



3 GRAPHIC PANEL LAYOUT GUIDELINES
3/8"=1'-0"

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REVISION:

SCALE: AS NOTED

SHEET NAME: **INTERPRETIVE SYSTEM**

SHEET NUMBER:

A-502

DATE: SEPTEMBER 26 2018

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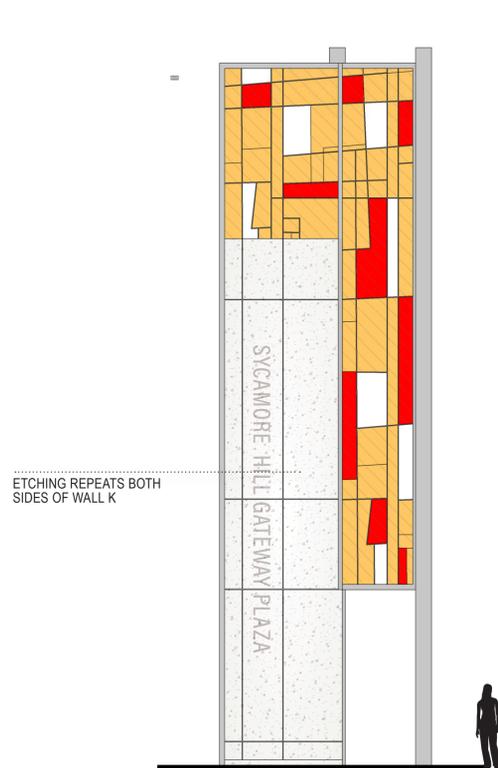
SCALE: AS NOTED

SHEET NAME: **COMMUNITY GALLERY
INTERPRETIVE PANEL ELEVATIONS**

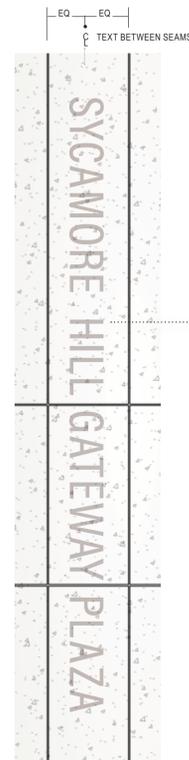
SHEET NUMBER:

A-503

DATE: SEPTEMBER 26 2018



1 COMMUNITY - WALL K EAST
3/16"=1'-0"

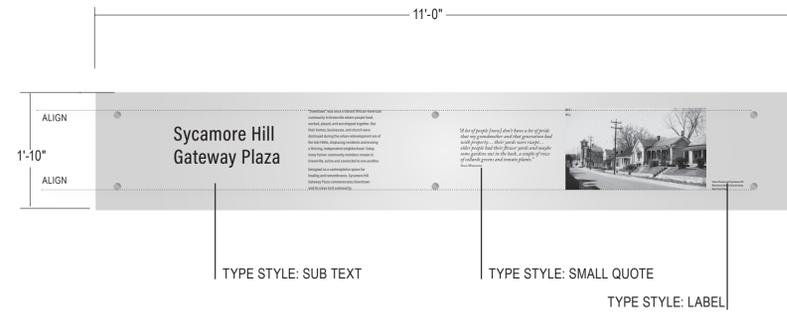


2 COMMUNITY - WALL K EAST - DETAIL
3/8"=1'-0"

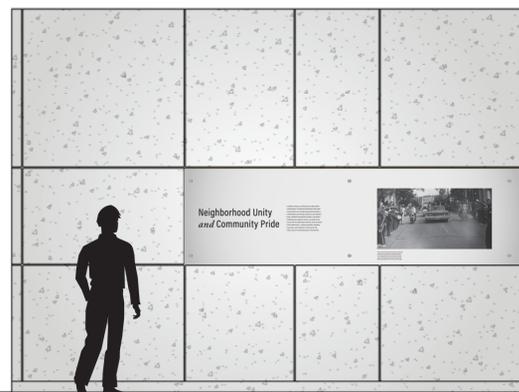
14.5" CAP HEIGHT TEXT
FORM CAST IN PRE-CAST
CONCRETE, 1" DEPTH
FONT: ACUMIN PRO
CONDENSED MEDIUM
TYPESET AS SHOWN TO
AVOID SEAMS



3 COMMUNITY - WALL A WEST
3/8"=1'-0"



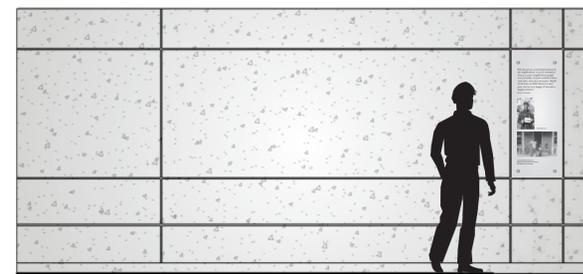
4 COMMUNITY - WALL A WEST - DETAIL
3/4"=1'-0"



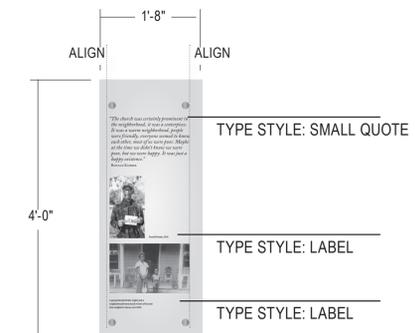
5 COMMUNITY - WALL A EAST
3/16"=1'-0"



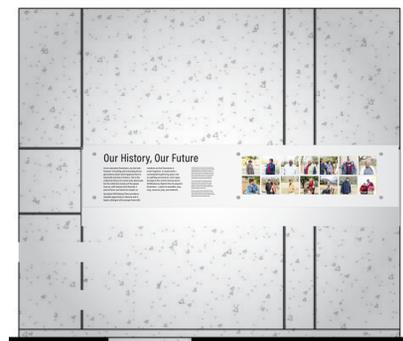
6 COMMUNITY - WALL A EAST - DETAIL
3/4"=1'-0"



7 COMMUNITY - WALL B SOUTH
3/8"=1'-0"



8 COMMUNITY - WALL B SOUTH - DETAIL
3/4"=1'-0"



9 COMMUNITY - WALL J SOUTH
3/8"=1'-0"



10 COMMUNITY - WALL J SOUTH - DETAIL
3/4"=1'-0"

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REVISION:

SCALE: AS NOTED

SHEET NAME: **FAITH GALLERY
INTERPRETIVE PANEL ELEVATIONS**

SHEET NUMBER:

A-504

DATE: SEPTEMBER 26 2018



① FAITH - WALL H SOUTH
3/8"=1'-0"



② FAITH - WALL H SOUTH - DETAIL
3/4"=1'-0"



③ FAITH - WALL J NORTH
3/8"=1'-0"



④ FAITH - WALL J NORTH - DETAIL
3/4"=1'-0"



⑤ FAITH - WALL F SOUTH
3/8"=1'-0"



⑥ FAITH - WALL F SOUTH - DETAIL
3/4"=1'-0"

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REVISION:

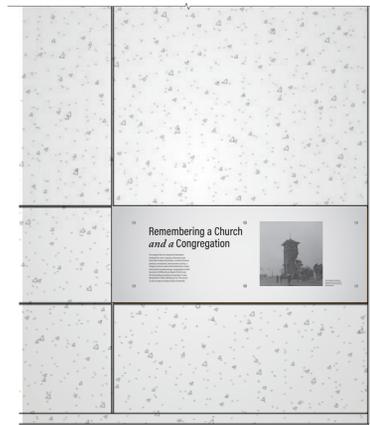
SCALE: AS NOTED

SHEET NAME:
**REMEMBRANCE GALLERY
INTERPRETIVE PANEL ELEVATIONS**

SHEET NUMBER:

A-505

DATE: SEPTEMBER 26 2018



① REMEMBRANCE - WALL C EAST
3/8"=1'-0"



② REMEMBRANCE - WALL C EAST - DETAIL
3/4"=1'-0"



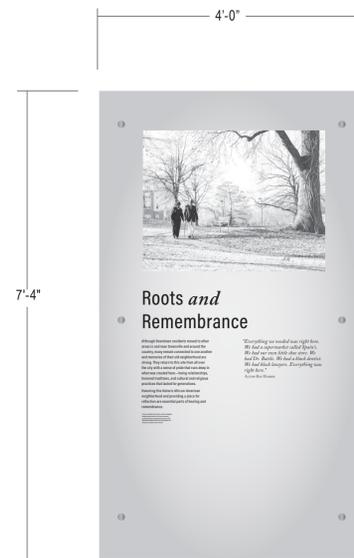
③ REMEMBRANCE - WALL B NORTH
3/8"=1'-0"



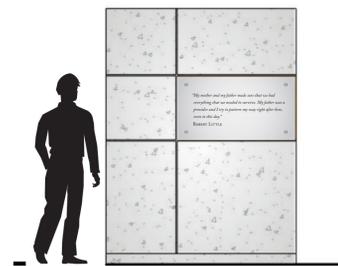
④ REMEMBRANCE - WALL B NORTH - DETAIL
3/4"=1'-0"



⑤ REMEMBRANCE - WALL C WEST
3/8"=1'-0"



⑥ REMEMBRANCE - WALL C WEST - DETAIL
3/4"=1'-0"



⑦ REMEMBRANCE - WALL E SOUTH
3/8"=1'-0"



⑧ REMEMBRANCE - WALL E SOUTH - DETAIL
3/4"=1'-0"

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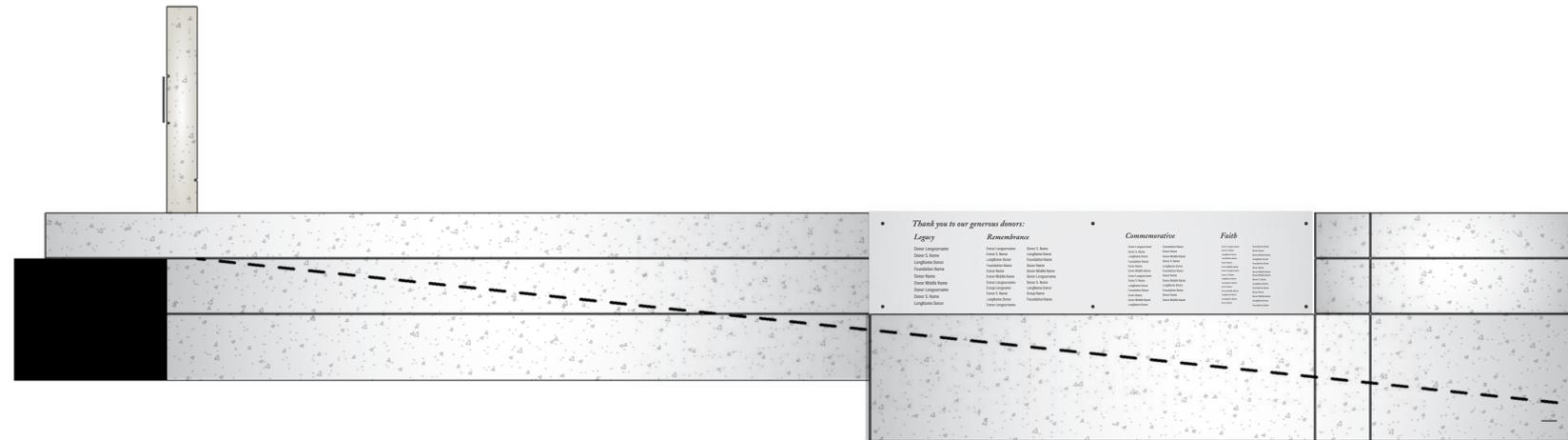
SCALE: AS NOTED

SHEET NAME:
**REMEMBRANCE GALLERY
DONOR WALL ELEVATION**

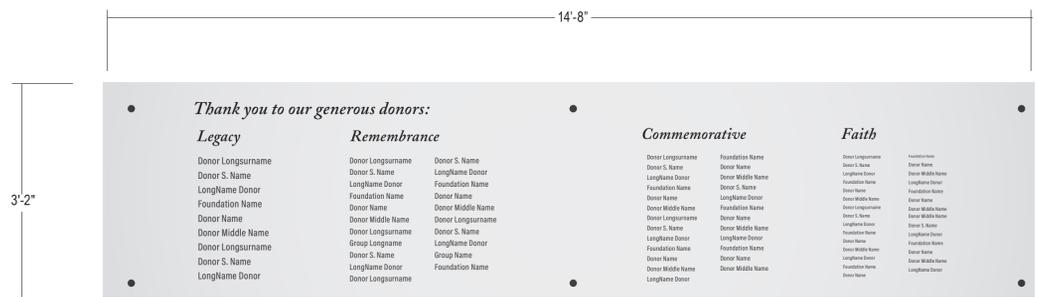
SHEET NUMBER:

A-506

DATE: SEPTEMBER 26 2018



1 DONOR - WALL G EAST
3/8"=1'-0"



2 DONOR - WALL G EAST - DETAIL
3/4"=1'-0"

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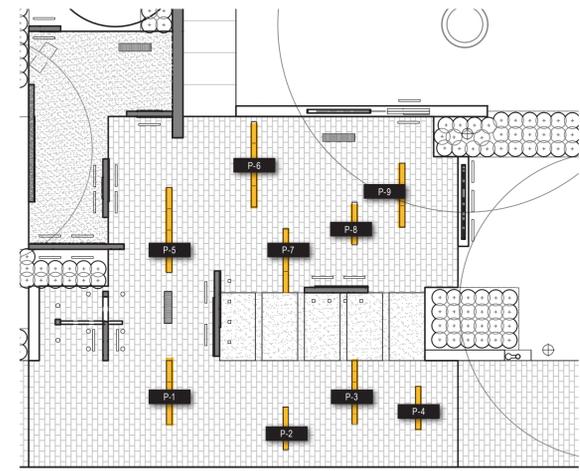
REVISION:

SCALE: AS NOTED

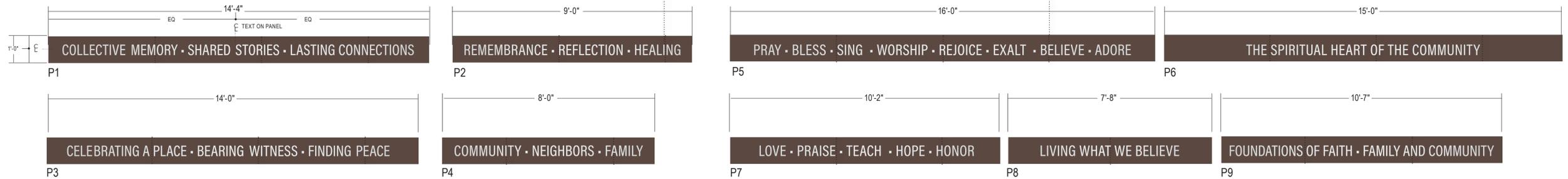
SHEET NAME: **INTERPRETIVE PAVERS**

SHEET NUMBER: **A-507**

DATE: SEPTEMBER 26 2018

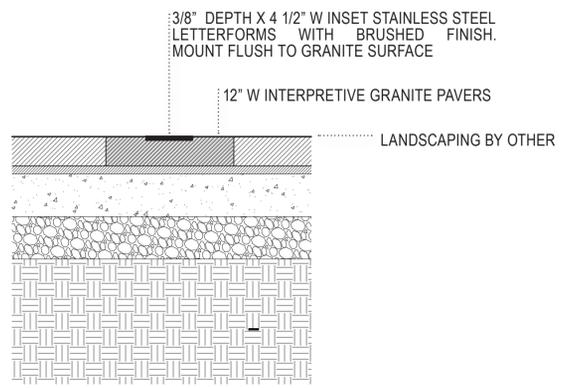


1 INTERPRETIVE GRANITE PAVERS | KEY PLAN
1/16"=1'-0"



2 INTERPRETIVE GRANITE PAVERS | COMMUNITY
1/2"=1'-0"

3 INTERPRETIVE GRANITE PAVERS | FAITH
1/2"=1'-0"



3 INTERPRETIVE GRANITE PAVERS | SECTION
1 1/2"=1'-0"



Structural Engineers
415 Hillsborough St., Ste 101
Raleigh, NC 27603
919.782.1833 - lynchmykins.com
Corp No. C-4360

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REVISION:	MARK:	ISSUE:	DATE:

SCALE:

SHEET NAME:

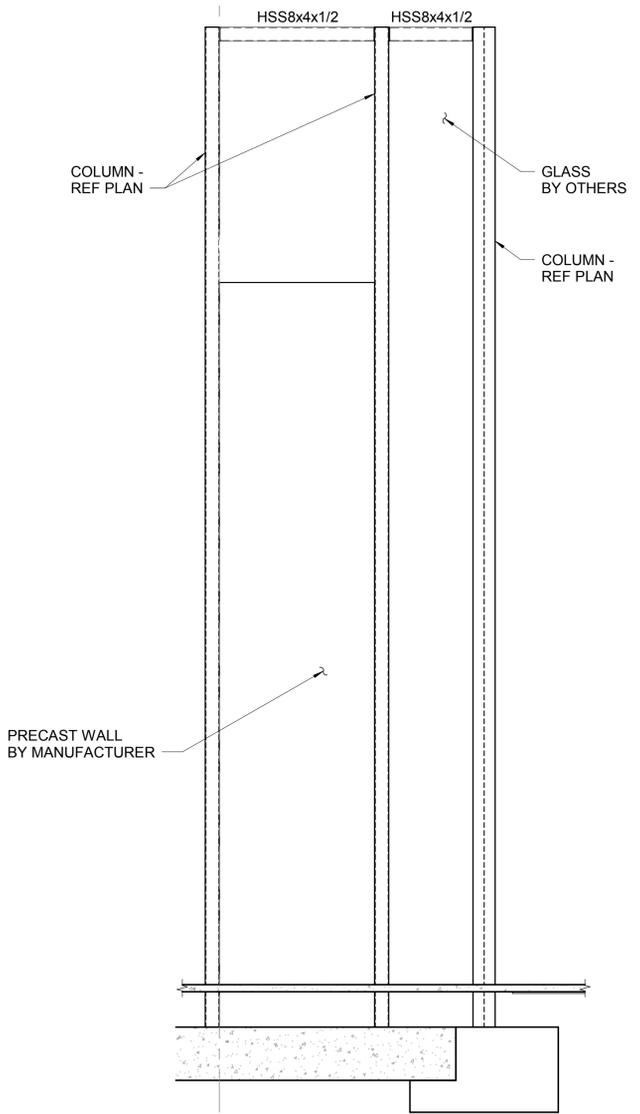
ELEVATIONS

SHEET NUMBER:

S201

DATE: SEPTEMBER 26 2018

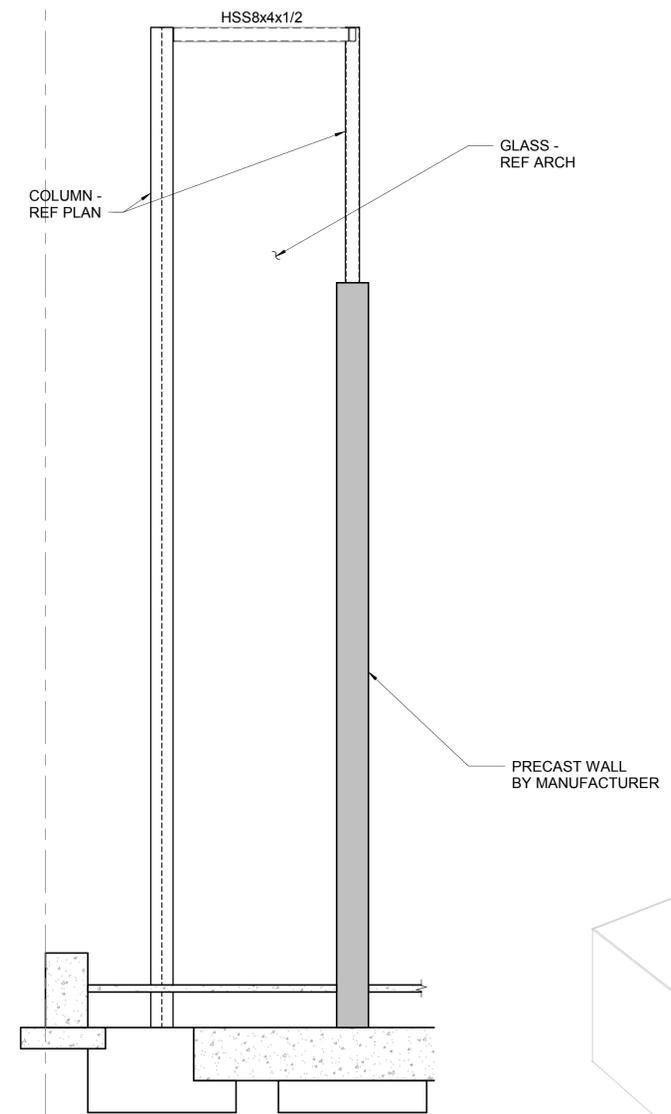
3



1 ELEVATION 1
1/4" = 1'-0"

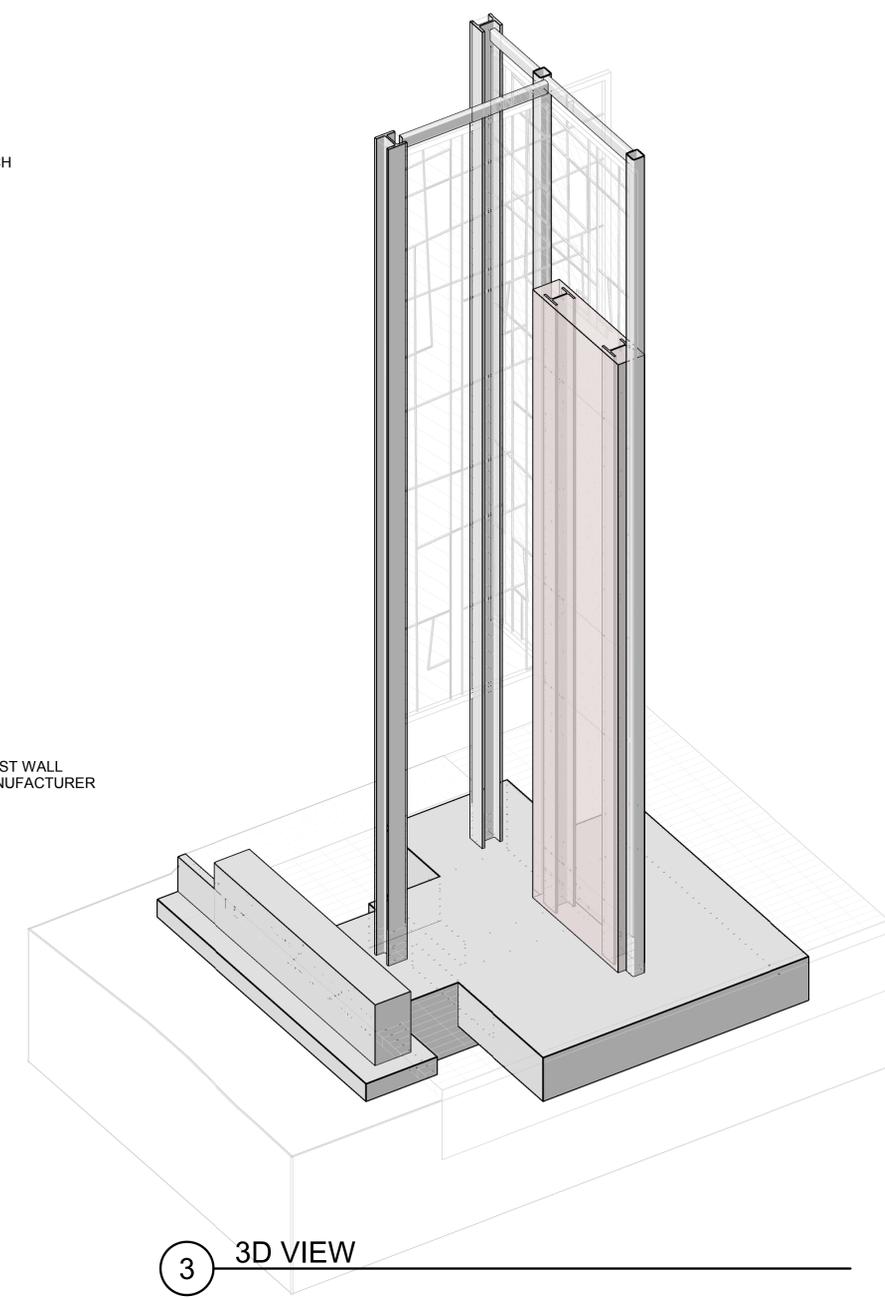
- NOTES:**
- ALL EXPOSED STEEL SHALL BE STAINLESS STEEL.
 - ALL WELDS SHALL BE AESS.

A



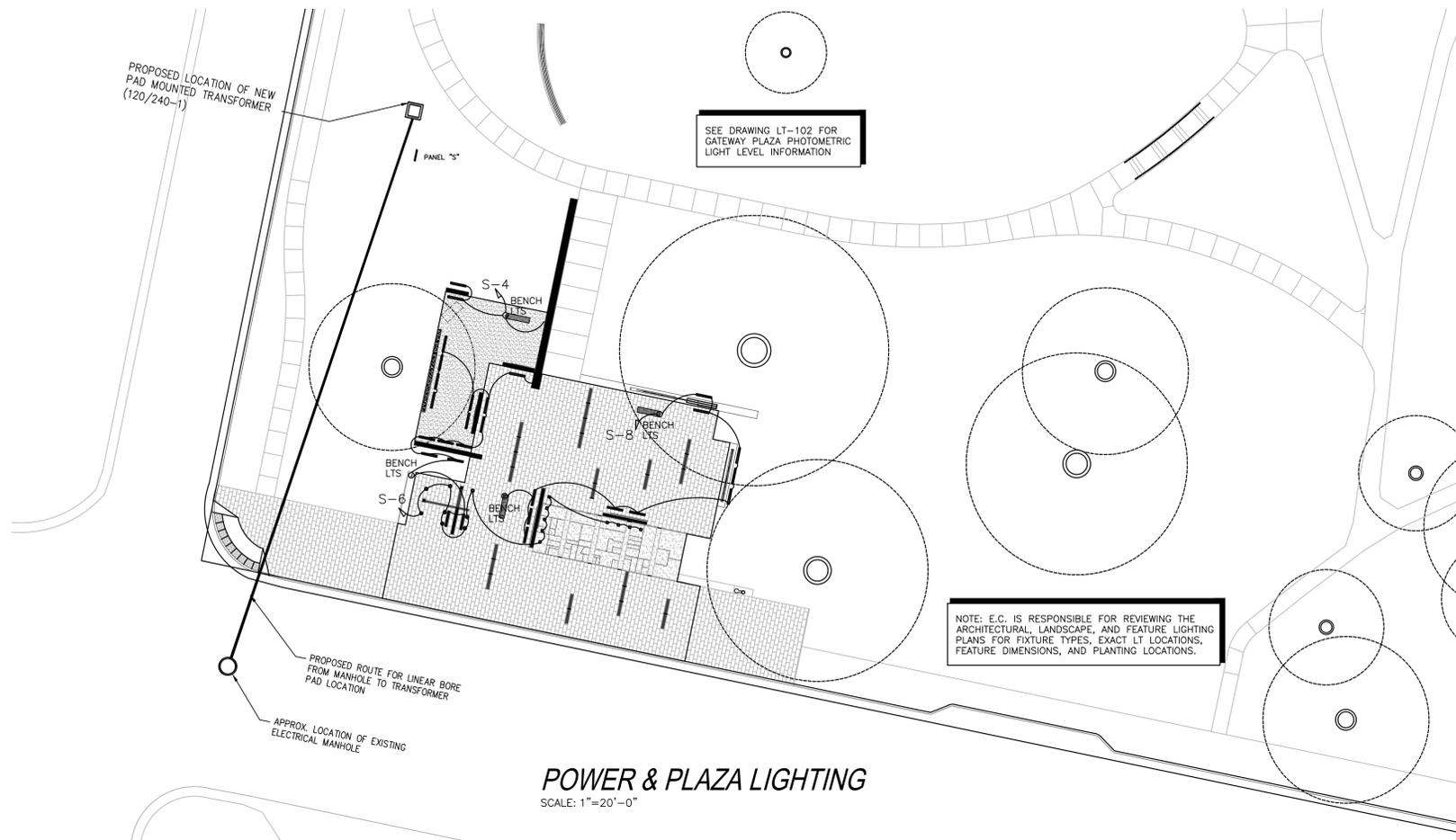
2 ELEVATION 2
1/4" = 1'-0"

3 3D VIEW



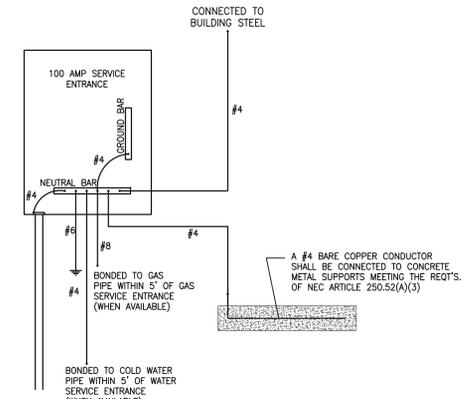
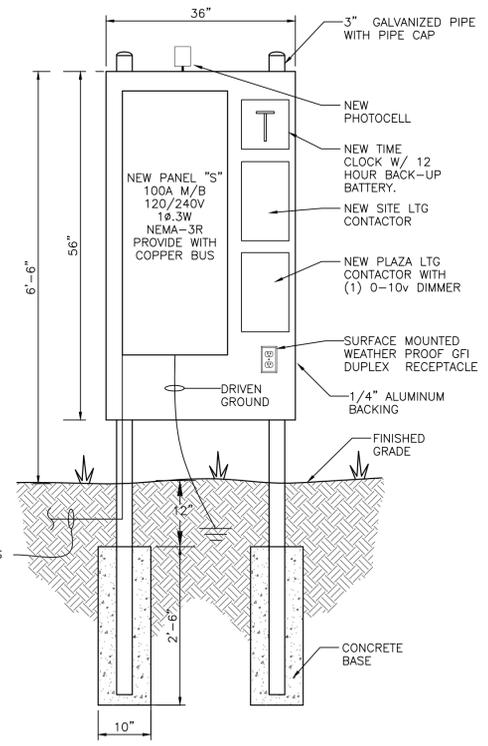
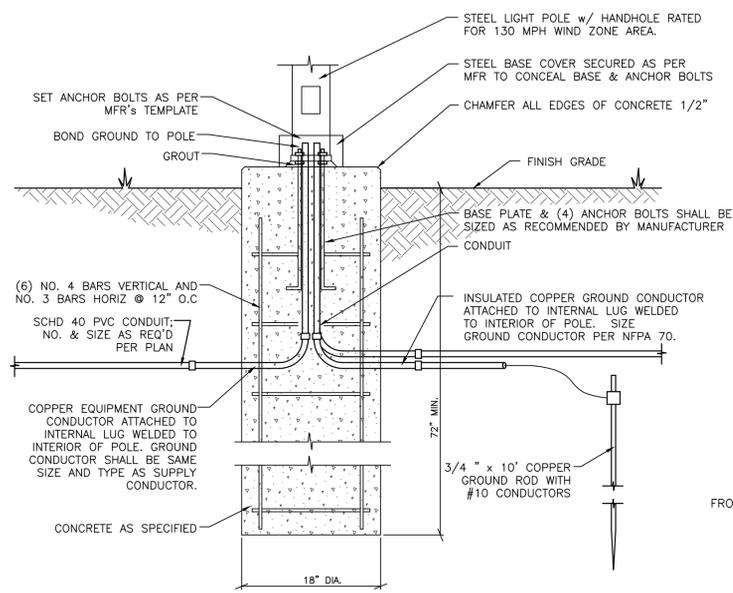
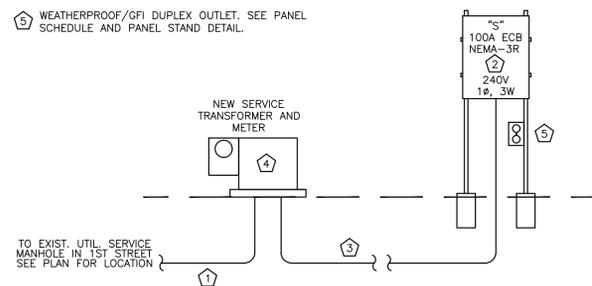
ELECTRICAL NOTES:

- DO NOT SCALE THESE DRAWINGS; REFER TO LARGEST SCALE ARCHITECTURAL PLANS.
- THESE DRAWINGS ARE DIAGRAMMATIC ONLY AND ARE NOT INTENDED TO SHOW MINOR DETAILS AND EXACT LOCATIONS. DESIGN ADJUSTMENTS SHALL BE ANTICIPATED BY THE CONTRACTOR TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH CURRENT NEC/NFPA 70. CONTRACTOR SHALL NOTIFY ENGINEER REGARDING ANY CODE DISCREPANCIES SHOWN ON PLAN. ANY PERMIT OR INSPECTION FEES ARE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
- CONTRACTOR SHALL INSTALL, GROUND AND BOND SYSTEM PER THE CURRENT NEC.
- E.C. IS RESPONSIBLE FOR FIELD VERIFYING EXACT CONDUIT ROUTING WITH EXISTING SITE CONDITIONS, AVOID EXISTING TREES AND BUSHES. KEEP TRENCHING FAR ENOUGH AWAY FROM EXISTING TREES TO PREVENT CUTTING MAJOR ROOT SYSTEMS.
- MINIMUM WIRE SIZE SHALL BE #12 AWG., MINIMUM CONDUIT SIZE SHALL BE 1".
- CONDUCTORS SHALL BE TYPE THHN, THWN, OR THW. BRANCH CIRCUIT CONDUCTOR SHALL NOT BE SMALLER THAN No. 12 AWG., EXCEPT WHERE SPECIFICALLY NOTED OTHERWISE. HOME RUNS ORIGINATING MORE THAN 80' AT 120V FROM PANEL LOCATION SHALL BE No. 10 AWG MINIMUM SIZE. WIRES No. 10 AWG AND SMALLER SHALL BE SOLID; WIRES No. 8 AWG AND LARGER SHALL BE STRANDED. PROVISIONS OF SECTION 210-5 COLOR CODE, NEC, SHALL BE STRICTLY COMPLIED WITH AND BE CONSISTENT THROUGHOUT ENTIRE SYSTEM.
- ALL CIRCUITS SHALL BE PROVIDED WITH AN INSULATED EQUIPMENT GROUND CONDUCTOR SIZED IN ACCORDANCE WITH CURRENT NEC TABLE 250-122. HASHMARK FOR GROUNDING CONDUCTOR IS NOT INDICATED ON THESE DRAWINGS. RACEWAY SHALL NOT BE USED AS EQUIPMENT GROUND.
- ALL EMPTY CONDUIT SHALL HAVE A PULL STRING/WIRE.
- SERVICE ENTRANCE CONDUCTORS SHALL BE IN CONDUIT (RIGID OR PVC). EXTERIOR CONDUIT EXPOSED ABOVE SLAB SHALL BE RIGID. ALL UNDERGROUND CONDUIT SHALL BE UL LISTED SCHD 40 PVC CONFORMING TO ARTICLES 352 & 300 OF THE NEC. WHERE SCHD 40 PVC IS INSTALLED BELOW GRADE OR UNDER CONC SLABS, THE ELBOWS REQUIRED TO TURN THE RACEWAY UP INTO CABINETS, EQUIPMENT, ETC., SHALL BE OF RIGID STEEL AND SHALL CONTINUE AS RIGID STEEL TO THE CABINET, EQUIPMENT, ETC. ALL BRANCH AND FEEDER CIRCUITS SHALL BE IN CONDUIT.
- ALL JUNCTION OR DEVICE BOXES SHALL HAVE A COVER.
- ALL 1P-20A CIRCUITS SHALL BE IN 1" CONDUIT U.N.O. USE SCH. 40 PVC BELOW GRADE.
- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH ALL VOLUMES OF THE NCSBC, INSPECTORS HAVING JURISDICTION, AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
- EACH PIECE OF ELECTRICAL GEAR, EQUIPMENT, ETC., SHALL BEAR A "UL" LABEL.
- INSTALL ENGRAVED PHENOLIC LABELS ON ALL ELECTRICAL GEAR, DISCONNECTS, ETC. FASTEN WITH SCREW FASTENERS.
- E.C. SHALL INSTALL NEMA-3R PROTECTED EQUIPMENT/DEVICES AT ALL EXTERIOR LOCATIONS INDICATED ON THESE DRAWINGS.
- VERIFY LOCATION/TYPE OF ALL FIXTURES, PANEL BOXES, OUTLET PLACEMENT, ETC. BY HOLDING AN ELECTRICAL WALK THROUGH ON THE SITE ONCE GRADING IS COMPLETE.
- E.C. SHALL INSTALL COMPLY WITH ANSI A117.1 FOR OUTLET AND CONTROL SWITCH MOUNTING HEIGHTS FOR ADA ACCESSIBILITY.
- ELECTRICIAN SHALL VERIFY VOLTAGE DROP WITH ACTUAL CONDUIT ROUTING LENGTHS PRIOR TO PULLING CONDUCTORS. FOR 1P-20A CIRCUITS (1,000W MAX. LOAD) USE #12 WIRE UP TO 100'-0", #10 WIRE UP TO 200'-0" AND #8 WIRE UP TO 300'-0".



ELECTRICAL RISER NOTES:

- NEW U/G SERVICE ENTRANCE. SEE PLAN FOR MORE INFORMATION.
- SET PANEL STAND AND GROUND SERVICE ENTRANCE PER GROUNDING DETAIL THIS SHEET. VERIFY TRANSFORMER AND PANEL LOCATION WITH ARCHITECTURAL AND CIVIL SITE PLANS
- 2-#3 & 1#8G in 1.25"Ø
- NEW TRANSFORMER AND METER BASE BY E.C.
- WEATHERPROOF/GFI DUPLEX OUTLET. SEE PANEL SCHEDULE AND PANEL STAND DETAIL.



NOTE:

- THIS DRAWING ONLY SHOWS GROUNDING ELECTRODE CONDUCTORS AND BONDING JUMPERS. ALL CONDUITS SHALL ALSO HAVE EQUIPMENT GROUNDING CONDUCTORS SIZED PER NEC AND DRAWINGS.
- BONDING OF GAS PIPE IS TO EQUALIZE POTENTIAL OF GAS PIPE ONLY, AS REQ'D BY N.E.C. & VOLUME VI OF NCSBC.

GREENVILLE TOWN COMMON SYCAMORE HILL GATEWAY PLAZA
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REVISION:

SCALE: SEE PLAN

SHEET NAME: **GATEWAY PLAZA POWER & PLAZA LTG PLAN**

SHEET NUMBER: **E-101**

DATE: SEPTEMBER 26 2018

ES17044

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FOR REVIEW

102-A2 Regency Blvd. Greenville, NC 27834
E-Mail Address: general@engsource.com
Voice (252) 439-0338 • Fax (252) 439-0462 • Fim # C-1973

LIGHT FIXTURE SCHEDULE

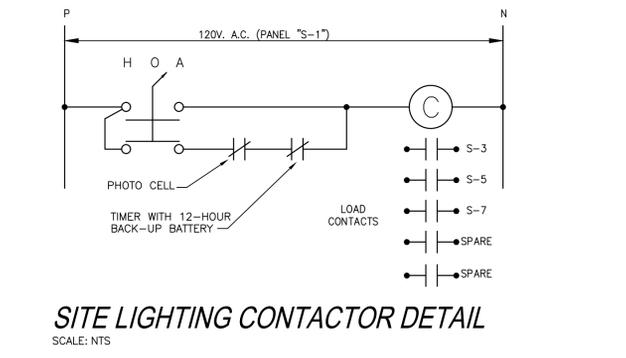
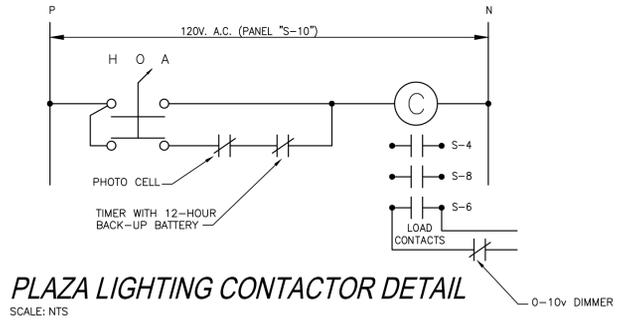
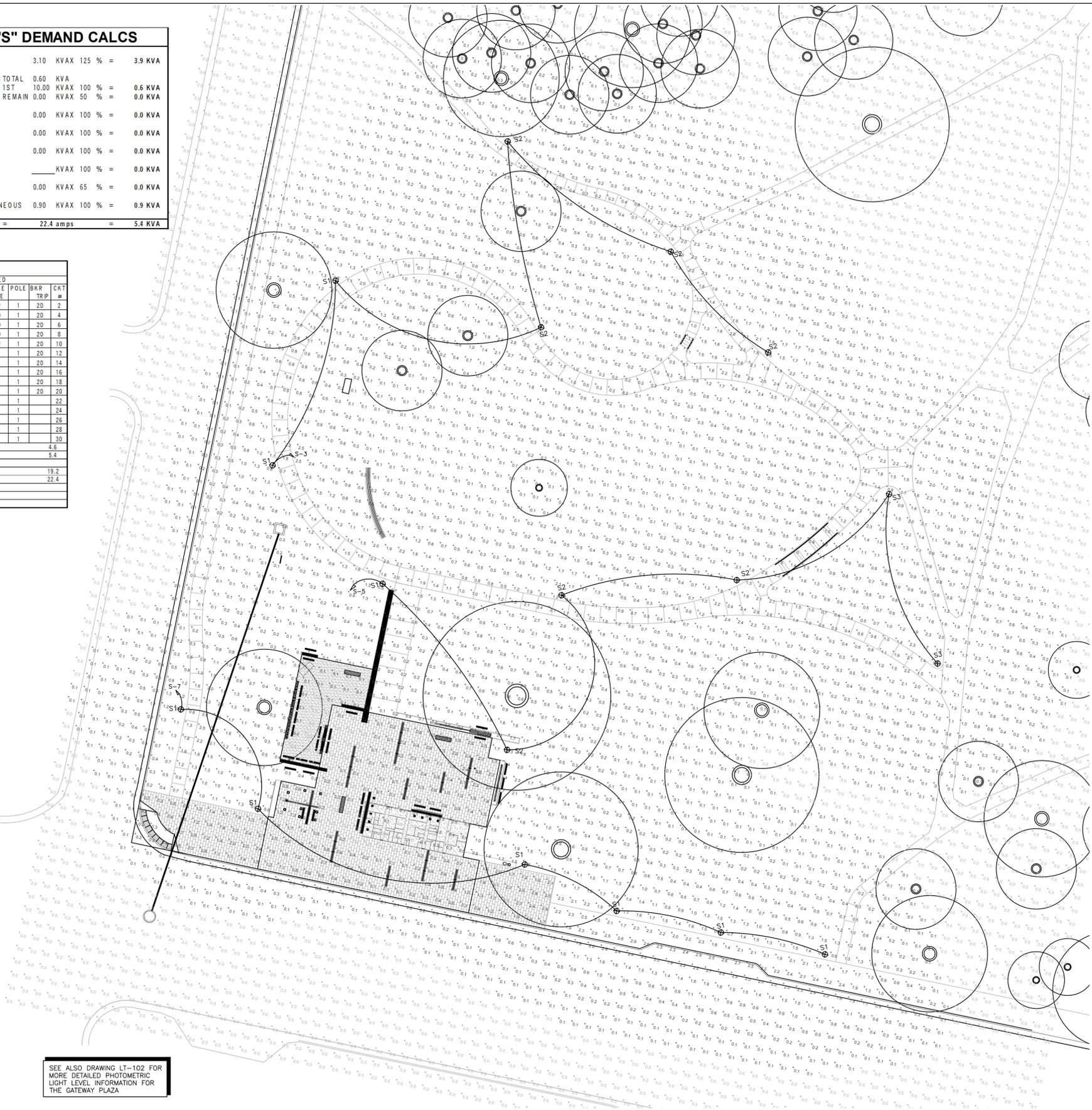
TYPE	DESCRIPTION	LAMPS	VOLTS	WATTS	B.F.
S1	POLE MOUNTED LED DARK SKY APPROVED @ 16'-0" HEIGHT, TYPE 2 DISTRIBUTION PATTERN, & 3000K DIODES. PROVIDE SELUX QUADRO H2 LED PEDESTRIAN LIGHT MODEL: QH2L-R2-1-5G350-30 OR APPROVED EQUAL (COLOR BY ARCHITECT)	LED	MVOLT	35W	-
S2	POLE MOUNTED LED DARK SKY APPROVED @ 16'-0" HEIGHT, TYPE 3 DISTRIBUTION PATTERN, & 3000K DIODES. PROVIDE SELUX QUADRO H2 LED PEDESTRIAN LIGHT MODEL: QH2L-R3-1-5G350-30 OR APPROVED EQUAL (COLOR BY ARCHITECT)	LED	MVOLT	49W	-
S3	POLE MOUNTED LED DARK SKY APPROVED @ 16'-0" HEIGHT, TYPE 5 DISTRIBUTION PATTERN, & 3000K DIODES. PROVIDE SELUX QUADRO H2 LED PEDESTRIAN LIGHT MODEL: QH2L-R5-1-5G350-30 OR APPROVED EQUAL (COLOR BY ARCHITECT)	LED	MVOLT	49W	-

"S" DEMAND CALCS

LIGHTING	3.10	KVAX	125 %	=	3.9 KVA
RECEPTAC TOTAL	0.60	KVA			
1ST	10.00	KVAX	100 %	=	0.6 KVA
REMAIN	0.00	KVAX	50 %	=	0.0 KVA
MOTORS	0.00	KVAX	100 %	=	0.0 KVA
A/C	0.00	KVAX	100 %	=	0.0 KVA
HEATING	0.00	KVAX	100 %	=	0.0 KVA
FUTURE		KVAX	100 %	=	0.0 KVA
KITCHEN	0.00	KVAX	65 %	=	0.0 KVA
MISCELLANEOUS	0.90	KVAX	100 %	=	0.9 KVA
TOTAL	=	22.4 amps	=	5.4 KVA	

PANELBOARD SCHEDULE - 'S'

CIR #	TRIP	POLE	WIRE SIZE	COND SIZE	DESCRIPTION	PHASE												COND WIRE SIZE	BKR	CKT #
						WIRE: 3				MOUNTING: SURFACE				AIC: 10,000						
LTG	REC	MTR	A/C	H/G	HTG	HTG	MISC	A	B	C	H	G	MISC	DESCRIPTION	COND WIRE SIZE	POLE	TRIP	CKT #		
1	12	1	12	3/4"	SITE LTG CONTACTOR														2	
3	20	1	10	1"	WALKING PATH LTS	0.3													4	
5	20	1	10	1"	WALKING PATH LTS	0.3													6	
7	20	1	8	1"	POLE LIGHTS @ STREET	0.3													8	
9	20	1	12	3/4"	PLAZA LTG CONTACTOR														10	
11	20	1			SPARE														12	
13	20	1			SPARE														14	
15	20	1			SPARE														16	
17	20	1			SPARE														18	
19	20	1			SPARE														20	
21	1				SPACE														22	
23	1				SPACE														24	
25	1				SPACE														26	
27	1				SPACE														28	
29	1				SPACE														30	
LIGHTING (KVA):						3.1	0.9	0.0	0.0	0.0	0.0	0.0	0.6	CONNECTED LOAD (KVA):				4.6		
RECEPTACLES (KVA):						0.6					DEMAND LOAD (KVA):				5.4					
MOTORS (KVA):						0.0	PHASE A				2.4	20.0	CONNECTED LOAD (AMPS):				19.2			
A/C (KVA):						0.0	PHASE B				2.2	18.3	DEMAND LOAD (AMPS):				22.4			
HEATING (KVA):						0.0	KVA				AMPS									
KITCHEN (KVA):						0.0														
MISCELLANEOUS (KVA):						0.9														
NOTE: NEMA-3R LOCKABLE ENCLOSURE																				



SEE ALSO DRAWING LT-102 FOR MORE DETAILED PHOTOMETRIC LIGHT LEVEL INFORMATION FOR THE GATEWAY PLAZA

SITE LIGHTING PLAN

SCALE: 1"=20'-0"

Project No: ES17044

ENGINEERING
SOURCE OF NC, PA.

FOR REVIEW

102-A2 Regency Blvd. Greenville, NC 27834
E-Mail Address: general@engsource.com
Voice (252) 439-0338 * Fax (252) 439-0462 * Fm # C-1973

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DESIGN TEAM:

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THE EAST GROUP
GALLAGHER & ASSOCIATES
BREE & ASSOCIATES
LIGHT DEFINES FORMS INC
ENGINEERING SOURCE

REVISION:

SCALE: SEE PLAN

SHEET NAME: **GATEWAY PLAZA SITE LIGHTING PLAN**

SHEET NUMBER: **E-102**

DATE: SEPTEMBER 26 2018

**GREENVILLE
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PLAZA**

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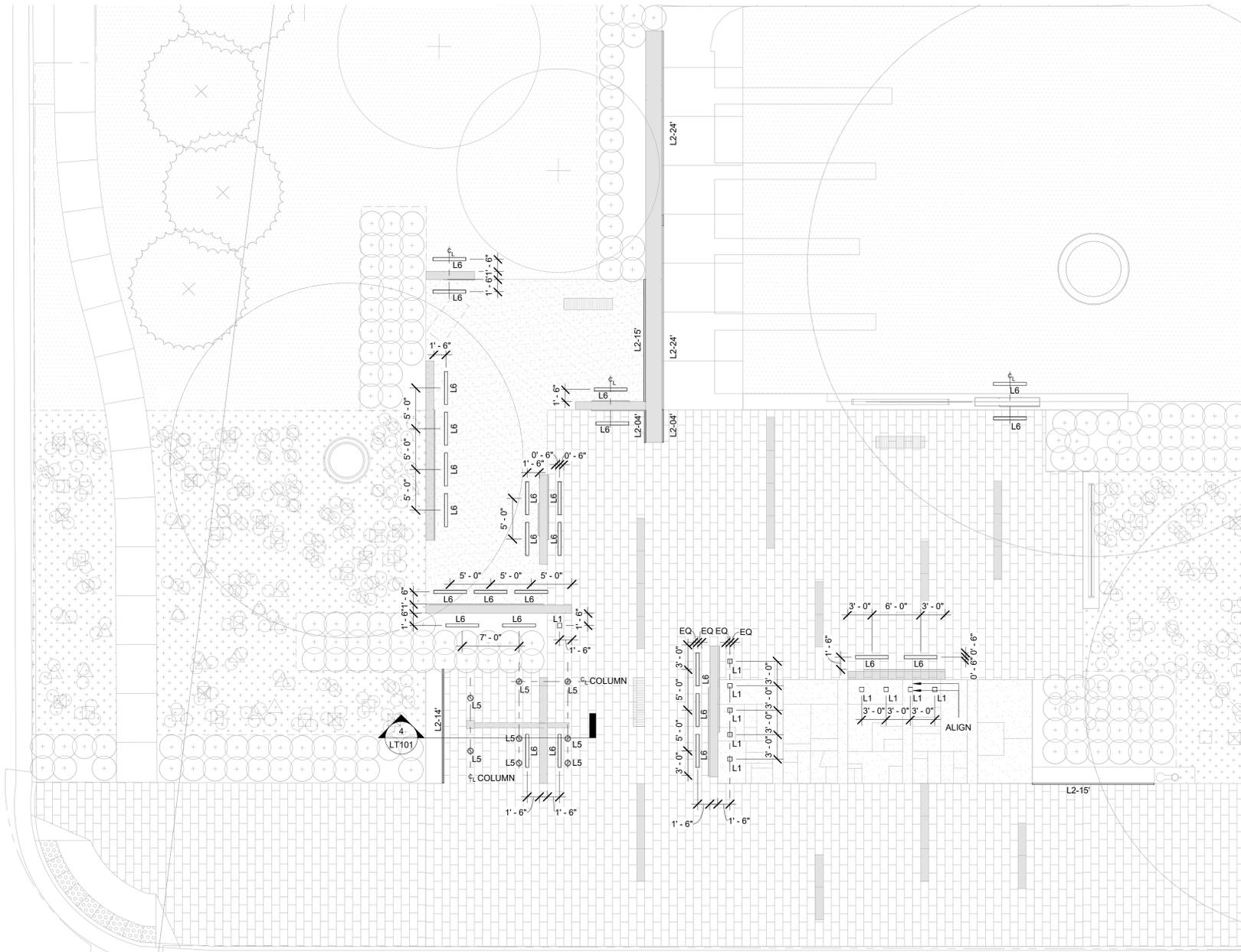
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1 IN-GRADE LIGHTING LAYOUT
1/8" = 1'-0"

LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	BASIS OF DESIGN MANUFACTURER	MODEL	LIGHT SOURCE	ESTIMATED LOAD	CONTROL INTENT	LOAD TYPE
L1	RECESSED LED 6" SQUARE INGRADE UPLIGHT - WASH	BEGA	77023	INTEGRAL LED 3000K	11 VA	SUNSET TO SUNRISE	0-10V LED
L2-04'	RECESSED LINEAR LED RIBBON LIGHT - IP68 RATED WARM WHITE	ACOLYTE	NL-67-24-30-B	INTEGRAL LED 3000K	12 VA	SUNSET TO SUNRISE	NON-DIM
L2-14'	RECESSED LINEAR LED RIBBON LIGHT - IP68 RATED WARM WHITE	ACOLYTE	NL-67-24-30-B	INTEGRAL LED 3000K	42 VA	SUNSET TO SUNRISE	NON-DIM
L2-15'	RECESSED LINEAR LED RIBBON LIGHT - IP68 RATED WARM WHITE	ACOLYTE	NL-67-24-30-B	INTEGRAL LED 3000K	45 VA	SUNSET TO SUNRISE	NON-DIM
L2-24'	RECESSED LINEAR LED RIBBON LIGHT - IP68 RATED WARM WHITE	ACOLYTE	NL-67-24-30-B	INTEGRAL LED 3000K	72 VA	SUNSET TO SUNRISE	NON-DIM
L3	RECESSED OR BOLLARD MOUNTED LED STEP LIGHT	BEGA	22272-K3-[FINISH]	INTEGRAL LED 3000K	7 VA	SUNSET TO SUNRISE	NON-DIM
L5	RECESSED LED 9" ROUND UPLIGHT	BEGA	84115-K3	INTEGRAL LED 3000K	19 VA	SUNSET TO SUNRISE	0-10V LED
L6	RECESSED LINEAR LED 6" SLOT INGRADE WALLWASHER	BEGA	77646-K3	INTEGRAL LED 3000K	40 VA	SUNSET TO SUNRISE	0-10V LED
L16-01'	SURFACE MOUNTED LINEAR LED GRAZING WASHLIGHT	ECOSENSE	TROV L50-E-12"-10-30-90-MULT-9X29	INTEGRAL LED 3000K	10 VA	SUNSET TO SUNRISE	NON-DIM
L16-04'	SURFACE MOUNTED LINEAR LED GRAZING WASHLIGHT	ECOSENSE	TROV L50-E-48"-10-30-90-MULT-9X29	INTEGRAL LED 3000K	40 VA	SUNSET TO SUNRISE	NON-DIM
L16A-01'	SURFACE MOUNTED LINEAR LED GRAZING WASHLIGHT	ECOSENSE	TROV L50-E-12"-06-30-90-MULT-9X29	INTEGRAL LED 3000K	6 VA	SUNSET TO SUNRISE	NON-DIM
L16A-04'	SURFACE MOUNTED LINEAR LED GRAZING WASHLIGHT	ECOSENSE	TROV L50-E-48"-06-30-90-MULT-9X29	INTEGRAL LED 3000K	24 VA	SUNSET TO SUNRISE	NON-DIM

REVISION:

SCALE: 1/8" = 1'-0"

SHEET NAME:

IN-GRADE LIGHTING LAYOUT

SHEET NUMBER:

LT100

DATE: SEPTEMBER 26, 2018

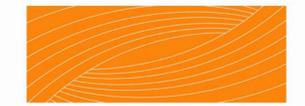
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REVISION:

SCALE: 1/8" = 1'-0"

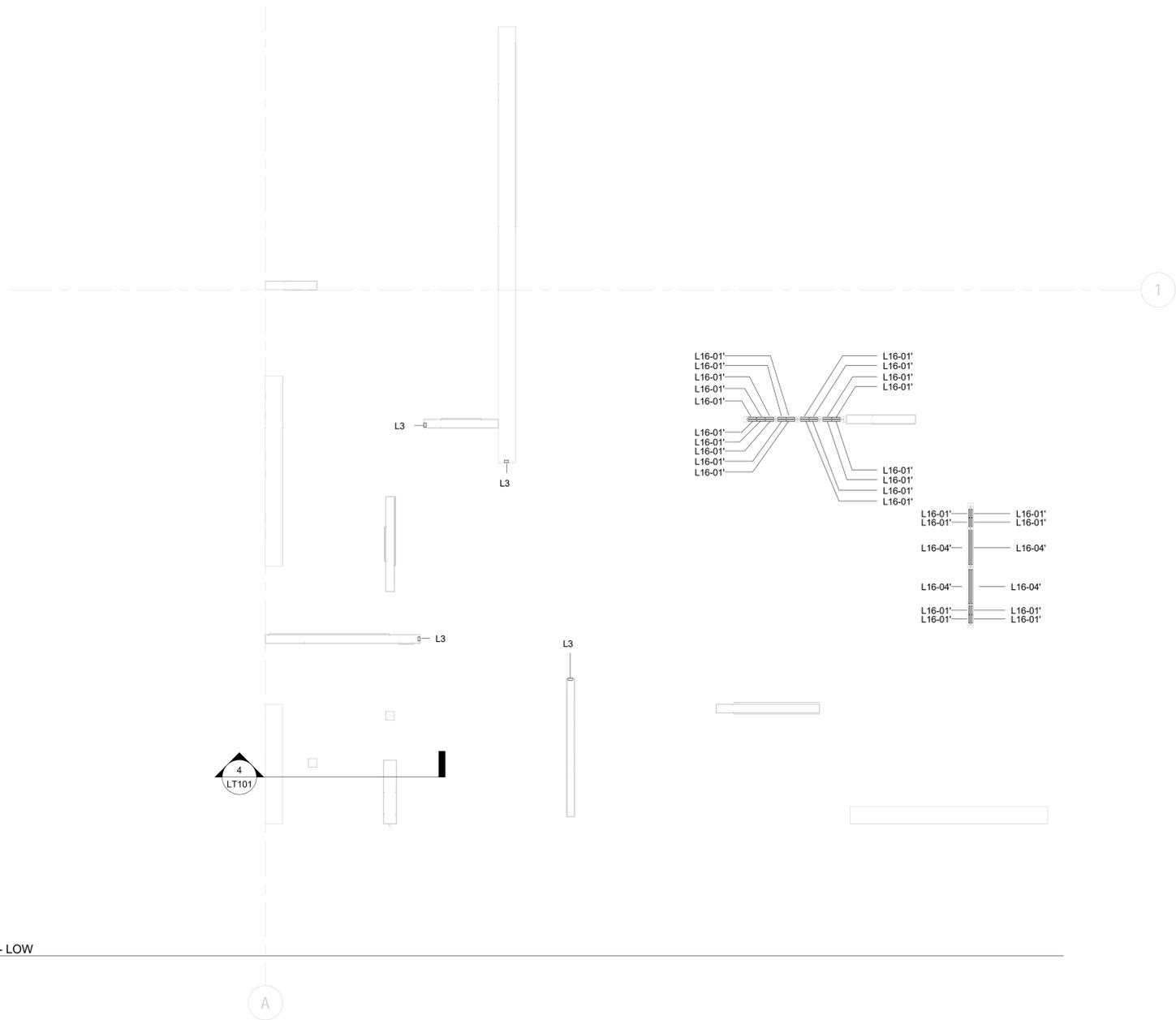
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ARCHITECTURAL LIGHTING
LAYOUT

SHEET NUMBER:

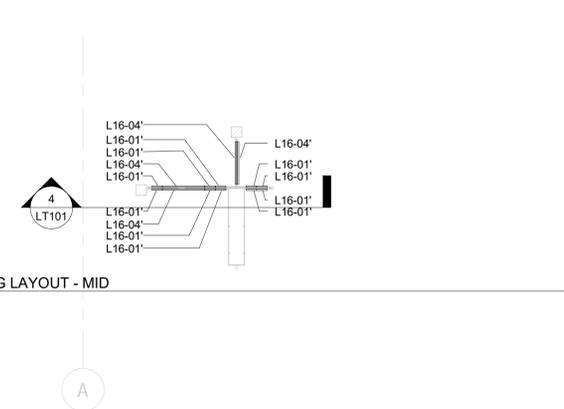
LT101

DATE: SEPTEMBER 26, 2018

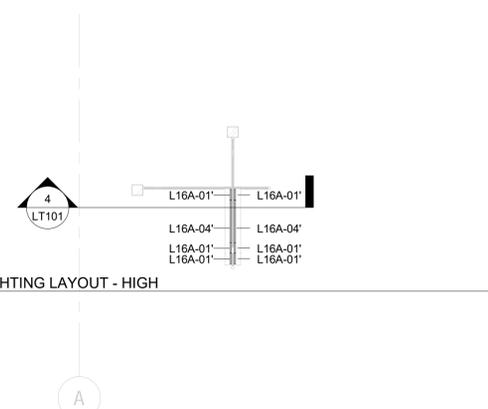
1 WALL LIGHTING LAYOUT - LOW
1/8" = 1'-0"



2 TOWER LIGHTING LAYOUT - MID
1/8" = 1'-0"



3 TOWER LIGHTING LAYOUT - HIGH
1/8" = 1'-0"



4 SECTION AT TOWER
1/8" = 1'-0"

