

Greenville
NORTH CAROLINA

**CITY OF GREENVILLE
RECREATION AND PARKS**

**GREENVILLE AQUATICS AND
FITNESS CENTER RENOVATIONS**

GREENVILLE, NC

The East Group Project No. 20150152

**100% CONSTRUCTION DOCUMENTS
ISSUED FOR CONSTRUCTION**

July 15, 2016



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Construction Notes

GENERAL CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO SUBMITTING A BID TO EXAMINE THE EXISTING CONDITIONS AND THE EXTENT AND NATURE OF THE WORK REQUIRED. ANY DIFFICULTIES IN COMPLYING WITH THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER PRIOR TO SUBMITTING A BID. NO CONCESSIONS WILL BE MADE ON THE CONTRACTOR'S BEHALF FOR FAILING TO VISIT THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL EQUIPMENT, MATERIALS AND LABOR AS REQUIRED FOR A COMPLETE PROJECT UNLESS CERTAIN PORTIONS OF WORK ARE SPECIFICALLY IDENTIFIED AS "BY OTHERS," "BY OWNER," "NOT IN CONTRACT" OR SIMILAR WORDING.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, INSPECTIONS, TESTS, ETC. AS REQUIRED FOR PROPER EXECUTION AND COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL COMPLY WITH THE OWNER'S REQUIREMENTS (SPECIAL CLEANING PROCEDURES, DUST BARRIERS, ETC.) AND SAFETY REQUIREMENTS (SAFETY TEMPORARY EXITS, FIRE WATCHES, ETC.) FOR CONSTRUCTION PROJECTS. COORDINATE WITH THE OWNER FOR EXACT REQUIREMENTS PERTAINING TO THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING (INCLUDING SAW-CUTTING AND CORE-DRILLING) AND PATCHING AS REQUIRED FOR PROPER EXECUTION AND COMPLETION OF THE WORK. ALL PATCHING SHALL MATCH EXISTING ADJACENT FINISHES UNLESS NOTED OTHERWISE.
- WORK TO BE PERFORMED ABOVE, BELOW, NEAR OR INSIDE OCCUPIED SPACES SHALL BE COORDINATED WITH THE OWNER AND SHALL BE PERFORMED AT THE OWNER'S CONVENIENCE. ALL OR SOME PORTIONS OF THIS WORK MAY BE REQUIRED TO BE PERFORMED AT NIGHT OR ON WEEKENDS TO MINIMIZE DISRUPTION TO THE OWNER'S NORMAL OPERATIONS.
- SHUTDOWN OF EXISTING SYSTEMS FOR THE CONNECTION OF NEW SERVICES SHALL BE COORDINATED WITH THE OWNER AND SHALL BE PERFORMED AT THE OWNER'S CONVENIENCE. ALL OR SOME PORTIONS OF THIS WORK MAY BE REQUIRED TO BE PERFORMED AT NIGHT OR ON WEEKENDS TO MINIMIZE DISRUPTION TO THE OWNER'S NORMAL OPERATIONS.
- IN AREAS WHERE THE EXISTING CEILINGS ARE NOT DEMOLISHED AS PART OF THIS PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING THE EXISTING CEILINGS AS REQUIRED FOR PROPER EXECUTION AND COMPLETION OF THE WORK. SEE ENGINEERING DRAWINGS FOR WORK OUTSIDE OF THE GENERAL PROJECT LIMITS THAT MAY REQUIRE REMOVAL AND REPLACEMENT OF EXISTING CEILINGS.
- THE CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA AND SURROUNDING AREAS FREE FROM THE ACCUMULATION OF WASTE MATERIALS AND DEBRIS CAUSED BY THE WORK.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO EXECUTION OF THE WORK. SOME OR ALL INFORMATION ABOUT EXISTING CONDITIONS SHOWN ON THE DRAWINGS MAY BE BASED SOLELY ON EXISTING RECORD DRAWINGS AND MAY OR MAY NOT HAVE BEEN VERIFIED BY THE ARCHITECT OR ENGINEER.
- EXISTING EQUIPMENT OR ITEMS THAT ARE INDICATED TO BE REMOVED AND TURNED OVER TO OWNER SHALL BE REMOVED WITH DUE CARE AND DILIGENCE, CLEANED AND TURNED OVER TO THE OWNER.
- EXISTING EQUIPMENT OR ITEMS THAT ARE INDICATED TO BE REMOVED AND REINSTALLED/RELOCATED SHALL BE REMOVED WITH DUE CARE AND DILIGENCE, INSPECTED FOR PROPER OPERATION, CLEANED AND PREPARED FOR REINSTALLATION.
- TEMPORARY PARTITIONS SHALL BE CONSTRUCTED AS REQUIRED TO SEPARATE THE CONSTRUCTION AREA FROM OCCUPIED SPACES, WHETHER SHOWN ON THE DRAWINGS OR NOT. COORDINATE LOCATIONS OF PARTITIONS WITH THE OWNER. PARTITIONS SHALL BE CONSTRUCTED USING 3-5/8" METAL STUDS AT 16" ON-CENTER WITH ONE LAYER OF 3/4" MELAMINE BOARD ON EACH SIDE. PARTITION SHALL EXTEND FROM FINISHED FLOOR TO THE UNDER SIDE OF THE CEILING UNLESS OTHERWISE DIRECTED BY THE OWNER. ALL JOINTS AND PENETRATIONS THROUGH THE PARTITION SHALL BE SEALED USING SELF-ADHESIVE TAPE. DOORS LOCATED IN TEMPORARY PARTITIONS SHALL BE HOLLOW METAL OR SOLID-CORE WOOD WITH POSITIVE-LATCHING HARDWARE AND A SELF-CLOSING DEVICE. SEE ENGINEERING DRAWINGS FOR WORK OUTSIDE OF THE GENERAL PROJECT LIMITS THAT MAY REQUIRE TEMPORARY PARTITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADHESIVE TACK MATS AT ALL ENTRANCES TO THE CONSTRUCTION AREA AND FOR MONITORING THE CLEANLINESS OF THE MATS.
- UNLESS OTHERWISE NOTED, DIMENSIONS ARE TO COLUMN CENTERLINE, FACE OF GYPSUM BOARD PARTITION, FACE OF MASONRY WALLS AND FACE OF EXISTING WALLS.
- NEW WORK EXTENDING EXISTING CONDITIONS SHALL ALIGN WITH AND MATCH EXISTING WORK EXCEPT WHERE OTHERWISE DIMENSIONED OR DETAILED.
- ALL SOUND RATED WALLS OR PARTITIONS AND ALL CMU WALLS SHALL EXTEND TO THE UNDERSIDE OF THE STRUCTURE OR DECK ABOVE UNLESS OTHERWISE NOTED. THESE PARTITIONS SHALL BE ENTIRELY SEALED OFF WITH CLOSURE GASKETS AND/OR ACOUSTICAL SEALANT AT BOTTOM, TOP, SIDES AND ANY OTHER ABUTMENT WHERE A SOUND LEAK WOULD OTHERWISE OCCUR. ALL PENETRATIONS SUCH AS PIPING, CONDUITS, DUCTS, ETC., IN SUCH PARTITIONS SHALL BE PACKED AND SEALED ALONG THE PERIMETER OF THE PENETRATION.
- IN THE CASE OF NON-RATED PARTITIONS, CARRY METAL STUDS AND GYPSUM BOARD TO THE UNDERSIDE OF THE STRUCTURE OR DECK UNLESS OTHERWISE NOTED.
- THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE DOES NOT REQUIRE WOOD BLOCKING TO BE FIRE RETARDANT. THE CONTRACTOR IS TO VERIFY, PRIOR TO BIDDING OR OTHER PRICING METHOD USED FOR THE PROJECT, IF THE AUTHORITY HAVING JURISDICTION REQUIRES WOOD BLOCKING FOR THIS PROJECT TO BE FIRE RETARDANT. IF FIRE RETARDANT WOOD IS REQUIRED THE COST IS TO BE INCLUDED IN THE CONTRACT FOR CONSTRUCTION.
- INSTALL CONTINUOUS WOOD 2 X 6 BLOCKING BETWEEN STUDS OR CONTINUOUS 16 GAUGE GALVANIZED METAL HANDRAILS, GRAB HANDRAILS, GRAB BARS, OTHER ACCESSORIES, FIXTURES, BRACKETS, OFCI ITEMS AND MISCELLANEOUS SPECIALTIES UNLESS OTHERWISE NOTED.
- FULLY GROUT CELLS IN CMU TO FACILITATE INSTALLATION OF ALL WALL MOUNTED EQUIPMENT INCLUDING, BABY CHANGING STATION.
- DUE TO MANUFACTURER'S VARIATION WITH SIZE OF EQUIPMENT, CASEWORK, PLUMBING FIXTURES, ETC., ALL DIMENSIONS REFERRING TO THE SPACE WHERE SUCH ITEMS ARE BUILT-IN SHALL BE VERIFIED WITH THE ITEM SUPPLIED.
- A FIRST CLASS WORK-MAN LIKE INSTALLATION IS EXPECTED OF EVERY CRAFT-TRADE.
- CONTRACTOR SHALL VERIFY THE OWNER'S REQUIREMENTS FOR INTERIM LIFE SAFETY MEASURES AND INFECTION CONTROL TO BE ENFORCED DURING CONSTRUCTION PRIOR TO THE START OF CONSTRUCTION. ADDITIONAL INTERIM LIFE SAFETY REQUIREMENTS MAY BE INCLUDED IN THE CONSTRUCTION DOCUMENTS.
- THE OWNER'S SAFETY PERSONNEL HAVE THE AUTHORITY TO ORDER WORK TO BE STOPPED IF, IN THEIR OPINION, VISITORS OR STAFF MEMBERS ARE BEING PLACED AT UNNECESSARY OR UNACCEPTABLE RISK OF CONSTRUCTION HAZARDS.
- ANY CONSTRUCTION SAFETY RELATED DISCREPANCIES SHALL BE CORRECTED PRIOR TO THE OWNER'S OCCUPANCY OF THE PROJECT AREA.
- REMOVE AND REPLACE ANY ABSORBENT MATERIAL THAT BECOMES WET, THAT CANNOT BE TOTALLY DRIED WITHIN 24 HOURS OF INCIDENT, WITH NEW MATERIALS. ABSORBENT MATERIAL INCLUDE, BUT ARE NOT LIMITED TO, GYPSUM BOARD, INSULATION, CARPET, AND CEILING TILE.
- THE CONTRACTOR SHALL COMPLETE THE CLEANING OF THE PROJECT AREA AS REQUIRED IN THE PROJECT MANUAL PRIOR TO TURNING THE AREA OVER TO THE OWNER.
- ALL CONSTRUCTION ACTIVITIES SHALL COMPLY WITH THE NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS, LATEST EDITION, UNLESS A MORE STRINGENT REQUIREMENT IS INCLUDED IN THE LOCAL CODES AND/OR CONTRACT DOCUMENTS.

FINISH NOTES:

- IN AREAS REQUIRING NEW WORK AND PATCHING, EXISTING FINISHES SHOWN IN THE FINISH SCHEDULE AND ON THE PLANS ARE TO BE VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCIES IMMEDIATELY CALLED TO THE ARCHITECT'S ATTENTION. ALL NEW FLOOR, BASE, WAINSCOT, WALL AND CEILING FINISHES SHALL MATCH THE EXISTING FINISHES, UNLESS OTHERWISE NOTED.
- FOR EXISTING CEILING PATCHING, WHERE CEILING IS CUT OUT OR PORTIONS REMOVED FOR REMOVAL OF EXISTING FOR INSTALLATION OF NEW MECHANICAL, ELECTRICAL AND PLUMBING WORK, DISTURBED PORTION SHALL BE PATCHED TO MATCH THE EXISTING CEILING FINISH BY THE RESPONSIBLE TRADE AS DEFINED BY THE GENERAL REQUIREMENTS OF THE SPECIFICATIONS. UNLESS OTHERWISE NOTED, THE ENTIRE CEILING AREA IS TO BE REPAINTED WHERE CEILINGS ARE GYPSUM BOARD OR PLASTER.
- WHERE NEW FINISHES ARE APPLIED TO EXISTING, THE EXISTING FINISHES SHALL BE REMOVED AND/OR THE EXISTING SURFACES PREPARED AS REQUIRED TO RECEIVE NEW FINISHES, UNLESS OTHERWISE NOTED. WHERE REQUIRED TO ACCOMMODATE THE NEW FINISHES, THE MECHANICAL, PLUMBING AND ELECTRICAL TRADES SHALL DISCONNECT AND REMOVE THEIR RESPECTIVE DEVICES AND ITEMS FROM THE EXISTING WALL, CEILING AND/OR FLOOR AND RELOCATE TO THEIR FINAL POSITION IN THE NEW CONSTRUCTION. SUCH DEVICES SHALL INCLUDE BUT NOT BE LIMITED TO ELECTRICAL SWITCHES, PANELS, OUTLETS, THERMOSTATS, GRILLS, PLUMBING FIXTURES, MEDICAL GAS OUTLETS, ETC. THE RESPECTIVE TRADE SHALL ALSO BE RESPONSIBLE FOR ANY PERMANENT CONNECTIONS OF THOSE ITEMS WHICH ARE RELOCATED.
- WHERE WALL SURFACES ARE PATCHED TO MATCH THE EXISTING, THE NEW FINISH (PAINT, VINYL WALL FABRIC, ETC.) SHALL BE APPLIED TO THE NEAREST CORNER OR BREAK IN THE WALL PLANE, UNLESS NOTED OTHERWISE.
- WHERE EXISTING WALLS ARE TO RECEIVE A NEW FINISH, ANY EXISTING PAINTED ITEMS IN OR ON THE WALL (DOORS, DOOR FRAMES, ELECTRICAL PANELS, ETC.) SHALL BE REPAINTED TO MATCH OR COORDINATE WITH THE NEW FINISH.

DEMOLITION NOTES:

- ALL DEMOLITION WORK SHALL BE PERFORMED WITH "DUE CARE AND DILIGENCE" SO AS TO PREVENT THE ARBITRARY DESTRUCTION OR INTERRUPTION OF CONCEALED UTILITIES WHICH ARE INTENDED TO REMAIN IN USE AND THE ROUTING OF WHICH COULD NOT BE PREDETERMINED UNTIL DEMOLITION WAS STARTED. ALL SUCH DISCOVERIES OF UTILITIES DURING THE DEMOLITION PROCESS WHICH ARE IN A LOCATION DIFFERENT FROM THAT INDICATED, CHANGE DIRECTION FROM FLOOR TO FLOOR, ETC. OR ARE UNIDENTIFIED SHALL BE REPORTED TO THE ARCHITECT BEFORE REMOVAL.
- THE DEMOLITION DRAWINGS GENERALLY INDICATE THE REMOVAL OF ITEMS WHICH ARE IN VIEW OR BELIEVED TO BE CONCEALED (SUCH AS EXISTING COLUMNS CONCEALED WITHIN WALLS, ETC.) THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT, IN WRITING, OF THE FOLLOWING CONDITIONS, BEFORE SUCH CONDITIONS ARE DISTURBED AND BEFORE ANY DELAY OR COST IS INCURRED BY THE CONTRACTOR.
 - CONCEALED OR UNKNOWN CONDITIONS ENCOUNTERED WHICH DIFFER MATERIALLY FROM THOSE INDICATED OR REASONABLY IMPLIED BY THE CONTRACT DOCUMENTS.
 - CONCEALED PHYSICAL CONDITIONS IN THE EXISTING STRUCTURE OF AN UNUSUAL NATURE.
- SEE THE PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR THE EXTENT OF CUTTING AND PATCHING REQUIREMENTS NECESSITATED BY THAT PORTION OF THE WORK.
- SEE THE PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL WORK THAT WILL REQUIRE CEILING ACCESS FOR SPECIAL SYSTEMS SUCH AS SMOKE/FIRE ALARM, RANDOM JUNCTION BOXES, ETC. WHICH HAVE NOT BEEN INDICATED ON THE REFLECTED CEILING OR DEMOLITION PLANS.
- EXISTING CONSTRUCTION TO BE REMOVED:
 - THE GENERAL CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DESIGNATED AND/OR SHOWN TO BE REMOVED TO RECEIVE NEW WORK AS HEREIN INDICATED.
 - PLUMBING, MECHANICAL AND ELECTRICAL TRADES SHALL REMOVE ALL DEVICES AND ITEMS PERTAINING TO THEIR RESPECTIVE TRADES FROM ALL EXISTING PARTITIONS, CEILINGS, ETC. BEING REMOVED. COORDINATE DEMOLITION WITH CONCURRENT GENERAL DEMOLITION. UNLESS NOTED TO BE ABANDONED, ALL PLUMBING, MECHANICAL AND ELECTRICAL WHICH PASS THROUGH OR ARE AFFECTED BY THE DEMOLITION SHALL BE MAINTAINED IN A COMPLETE AND FULLY OPERATIONAL CONDITION OR, WHERE NOTED, BE APPROPRIATELY CAPPED OFF. PROVIDE TEMPORARY SYSTEMS AS REQUIRED TO MAINTAIN FULL OPERATION OUTSIDE THE AREA OF DEMOLITION.
- REMOVE PORTIONS OF EXISTING CONSTRUCTION AS DESIGNATED AND/OR SHOWN AND PATCH REMAINING SURFACES TO MATCH THE ADJACENT CONSTRUCTION.
- THE CONTRACTOR SHALL REFER TO THE ROOM FINISH INFORMATION DRAWINGS AND SCHEDULE FOR ADDITIONAL INFORMATION CONCERNING FINISHES WHICH IMPACT THE WORK.
- WHENEVER EXISTING EQUIPMENT, PIPING, DUCTS, ETC. ARE REQUIRED TO BE REMOVED, SUCH REMOVAL SHALL INCLUDE ALL ANCHORS, HANGERS, FOUNDATIONS, ETC. AFTER REMOVAL, ANY AFFECTED CONSTRUCTION AND SURFACES SUCH AS FLOORS, WALLS, BASES AND CEILINGS SHALL BE FINISHED TO MATCH ADJACENT SURFACES, UNLESS OTHERWISE NOTED.
- THE OWNER SHALL HAVE FIRST RIGHT OF REFUSAL FOR ALL EQUIPMENT REMOVED, SUCH AS PLUMBING FIXTURES, ELECTRICAL FIXTURES AND EQUIPMENT, MECHANICAL EQUIPMENT, AIR CONDITIONER UNITS, ETC. ITEMS REFUSED BY THE OWNER SHALL BE REMOVED FROM THE PREMISES.
- EXISTING AREAS, WHETHER WITHIN OR OUTSIDE THE LIMITS OF THE CONTRACT, SHALL BE REPAIRED WHERE ANY DAMAGE HAS OCCURRED DUE TO CONSTRUCTION.
- DURING THE DEMOLITION PROCESS, SHOULD THE CONTRACTOR ENCOUNTER ANY MATERIAL IDENTIFIED AS OR SUSPECTED TO CONTAIN ASBESTOS FIBERS, IT SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT AND THE OWNER. NOTE THAT THE OWNER WILL CONTRACT DIRECTLY WITH A LICENSED ASBESTOS REMOVAL CONTRACTOR FOR THE NECESSARY WORK INVOLVING CONTAINMENT AND/OR REMOVAL OF THE ASBESTOS.

Drawing Index

GENERAL

- G1.1 COVER SHEET
- G1.2 DRAWING INDEX AND CONSTRUCTION NOTES
- G2.1 NORTH CAROLINA BUILDING CODE SUMMARY
- G2.1 LIFE SAFETY PLAN
- G4.1 PHASING PLAN AND TEMPORARY CONSTRUCTION PHASING.

CIVIL

- C1.1 SITE PLAN AND DETAILS

ARCHITECTURAL

- A0.1 ARCHITECTURAL SYMBOLS AND ABBREVIATIONS
- AS.1 PARTIAL FIRST FLOOR REFLECTED CEILING DEMOLITION & NEW WORK PLANS

PLUMBING

- P0.1 LEGEND & GENERAL NOTES
- P.1 PARTIAL FIRST FLOOR RENOVATION PLAN
- P.3.1 MEZZANINE RENOVATION PLAN, DETAILS & SCHEDULES

BASE BID AND ALTERNATES

BASE BID SHALL INCLUDE NEW WATER SERVICE TO NEW MAIN SHUT OFF VALVE INSIDE THE BUILDING AS NOTED ON PLUMBING DRAWINGS. INCLUDED IN BASE BID IS THE SAW CUTTING AND PATCH OF EXISTING PARKING LOT TO FACILITATE INSTALLATION OF NEW SERVICE.

- ALTERNATE NO. 1: INSTALLATION OF DISTRIBUTION PIPING AND VALVES FROM MAIN SHUT OFF VALVE TO EXISTING FIXTURES AND EQUIPMENT. EXISTING PIPING WILL BE ABANDONED IN PLACE. SEE PLUMBING DRAWINGS. INCLUDED IN THIS ALTERNATE IS THE DEMOLITION AND PATCHING OF EXISTING CMU WALLS, NEW CEILING ACCESS PANELS THAT WILL FACILITATE THE NEW PIPING.

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SEAL

SEAL

REV	DATE	DESCRIPTION
0	7/15/16	100% CONSTRUCTION DOCUMENTS - ISSUED FOR CONSTRUCTION

REV PROJECT NO. 20150152

CLIENT PROJECT NO. 6

PROJECT TITLE
**CITY OF GREENVILLE
 RECREATION AND PARKS
 GREENVILLE AQUATICS
 CENTER - RENOVATIONS**

DRAWING TITLE
**DRAWING INDEX AND
 CONSTRUCTION NOTES**

DRAWING NO.
G1.1

BUILDING CODE SUMMARY

NORTH CAROLINA ADMINISTRATIVE CODE AND POLICIES, 2012 - APPENDIX B

NAME OF PROJECT: N/A
ADDRESS: 921 STANTON ROAD, GREENVILLE, NC
ZIP CODE: 27858
PROPOSED USE: FITNESS CENTER
OWNER/AUTHORIZED AGENT: SCOTT GODFREY
PHONE #: (252) 329-4480

Table with columns: LEAD DESIGN PROFESSIONAL, DESIGNER, FIRM, NAME, LICENSE #, TELEPHONE #. Lists architects and engineers involved in the project.

2012 EDITION OF NC CODE FOR: NEW CONSTRUCTION, ADDITION, UPPFIT, RECONSTRUCTION, ALTERATION, REPAIR, RENOVATION.

BUILDING DATA table with columns: FLOOR, EXISTING (SQ FT), RENOVATION (SQ FT), NEW (SQ FT), SUB-TOTAL. Lists floor areas for various levels.

ALLOWABLE AREA section with checkboxes for occupancy types (ASSEMBLY, BUSINESS, FACTORY, HAZARDOUS, etc.) and accessory occupancies.

ALLOWABLE AREA (CONTINUED) section with checkboxes for room types (STATIONARY STORAGE BATTERY SYSTEMS, ROOMS CONTAINING FIRE PUMPS, etc.) and special uses.

Table with columns: STORY NO., DESCRIPTION AND USE, (A) BLDG AREA PER STORY (ACTUAL), (B) TABLE 503.1 AREA, (C) AREA FOR FRONTAGE INCREASE, (D) AREA FOR SPRINKLER INCREASE, (E) ALLOWABLE AREA OR UNLIMITED, (F) MAXIMUM BUILDING AREA.

- List of calculations and code references: 1. FRONTAGE AREA INCREASES FROM SECTION 506.2 ARE COMPUTED THUS: a. PERIMETER WHICH FRONTS A PUBLIC WAY OR OPEN SPACE HAVING 20 FEET MINIMUM WIDTH = (F) b. TOTAL BUILDING PERIMETER = (P) c. RATIO (F/P) = (F/P) d. W = MINIMUM WIDTH OF PUBLIC WAY = (W) e. PERCENTAGE OF FRONTAGE INCREASE I = 100(F/P - 0.25) x W/30 = (%)

ALLOWABLE HEIGHT table with columns: TYPE OF CONSTRUCTION, TYPE, FEET, INCREASE FOR SPRINKLERS, SHOWN ON PLANS, CODE REFERENCE.

FIRE PROTECTION REQUIREMENTS table with columns: BUILDING ELEMENT, FIRE SEPARATION DISTANCE (FEET), RATING, DETAIL # AND SHEET #, DESIGN # FOR RATED ASSEMBLY, DESIGN # FOR RATED PENETRATION, DESIGN # FOR RATED JOINTS.

LIFE SAFETY SYSTEM REQUIREMENTS section with checkboxes for EMERGENCY LIGHTING, EXIT SIGNS, FIRE ALARM, SMOKE DETECTION SYSTEMS, PANIC HARDWARE.

LIFE SAFETY PLAN REQUIREMENTS section with checkboxes for LIFE SAFETY PLAN SHEET #, FIRE AND/OR SMOKE RATED WALL LOCATIONS, ASSUMED AND REAL PROPERTY LINE LOCATIONS, etc.

The Building Exit Network is not affected by this project. No exits or exit access corridors are being altered.

ACCESSIBILITY PARKING (SECTION 1106) table with columns: LOT OR PARKING AREA, TOTAL # OF PARKING SPACES REQUIRED, PROVIDED, # OF ACCESSIBLE SPACES PROVIDED (REGULAR WITH 5' ACCESS AISLE, VAN SPACES WITH 132" AISLE, 8' AISLE), TOTAL # ACCESSIBLE PROVIDED.

Parking requirements are not affected by this project. No change in parking count.

STRUCTURAL DESIGN section with DESIGN LOADS: IMPORTANCE FACTORS (WIND, SNOW, SEISMIC), LIVE LOADS (ROOF, MEZZANINE, FLOOR), GROUND SNOW LOAD, WIND LOAD, SEISMIC DESIGN CATEGORY.

There are no structural modifications or newly imposed loads on the structure frame. Information taken from previous project by STANFORD WHITE dated 11-4-2011, project no. 0951-01-02-09, information provided to The East Group by the City of Greenville, NC.

SEISMIC DESIGN PARAMETERS section including OCCUPANCY CATEGORY, SPECTRAL RESPONSE ACCELERATION, SITE CLASSIFICATION, DATA SOURCE, BASIC STRUCTURAL SYSTEM, SEISMIC BASE SHEAR, ANALYSIS PROCEDURE, ARCHITECTURAL, MECHANICAL, COMPONENTS ANCHORED?

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1) table with columns: USE, WATER CLOSETS (MALE, FEMALE), URINALS, LAVATORIES (MALE, FEMALE), SHOWERS/TUBS, DRINKING FOUNTAINS (REGULAR, ACCESSIBLE).

Plumbing fixture requirements are not affected by this project. No net change in fixture count.

SPECIAL APPROVALS section for LOCAL JURISDICTION, DOI, OSC, DPI, DHHS, ICC, ETC., DESCRIBE BELOW.

ENERGY SUMMARY section with ENERGY REQUIREMENTS (CLIMATE ZONE, METHOD OF COMPLIANCE), THERMAL ENVELOPE (ROOF/CEILING ASSEMBLY, EXTERIOR WALLS, WALLS BELOW GRADE, FLOORS OVER UNCONDITIONED SPACE, FLOORS SLAB ON GRADE).

Interior work not affecting the project envelope.

MECHANICAL SUMMARY section with MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT: METHOD OF COMPLIANCE, ENERGY CODE, ASHRAE 90.1, THERMAL ZONE, INTERIOR DESIGN CONDITIONS, BUILDING HEATING LOAD, BUILDING COOLING LOAD, MECHANICAL SPACE CONDITIONING SYSTEM.

This project does not delete or add any mechanical equipment.

ELECTRICAL SUMMARY section with ELECTRICAL SYSTEM AND EQUIPMENT: METHOD OF COMPLIANCE, ENERGY CODE, ASHRAE 90.1, LIGHTING SCHEDULE (LAMP TYPE, NUMBER OF LAMPS, BALLAST TYPE, TOTAL WATTAGE PER FIXTURE), ADDITIONAL PRESCRIPTIVE COMPLIANCE.

No electrical equipment is affected by this project.

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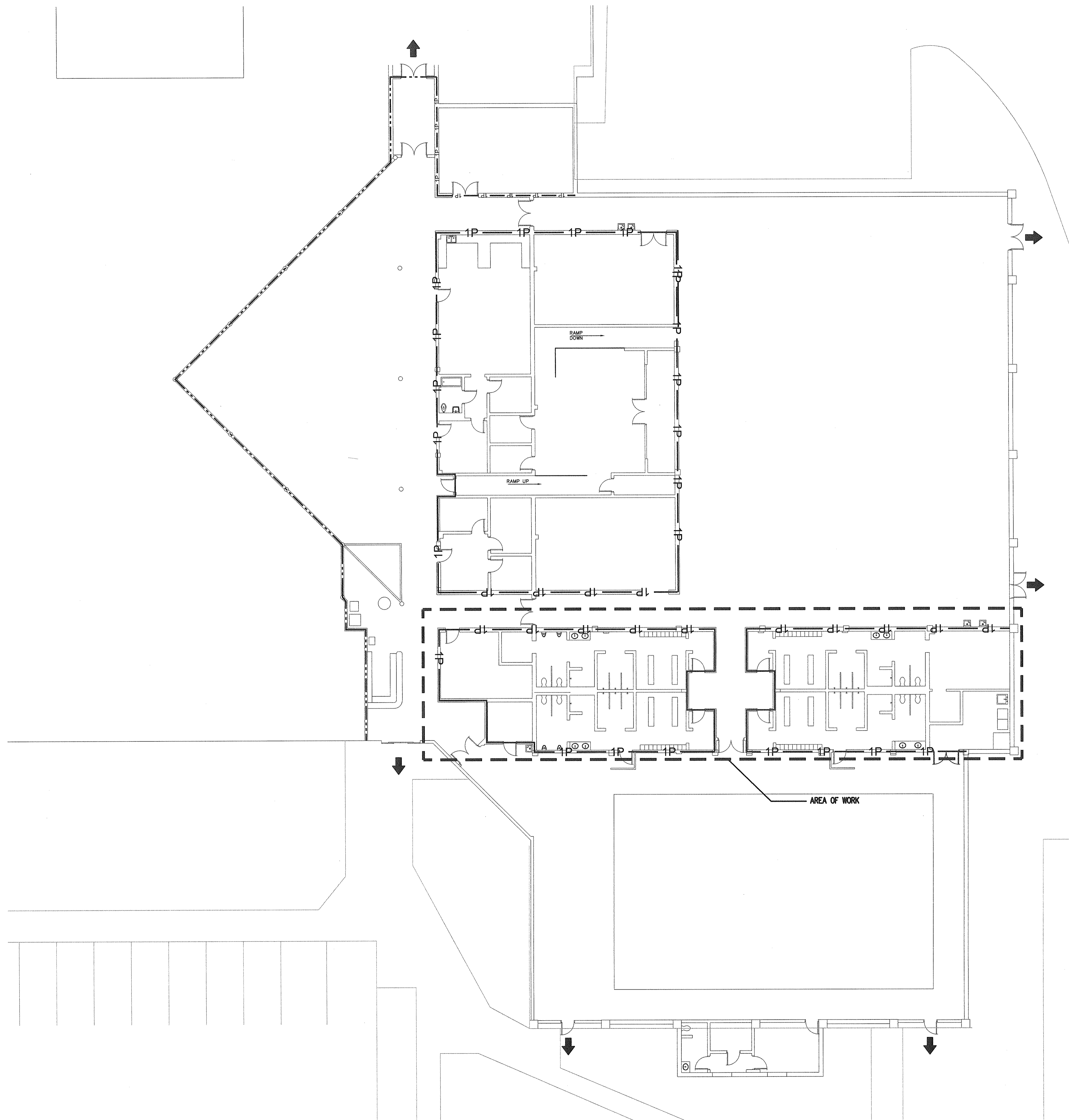
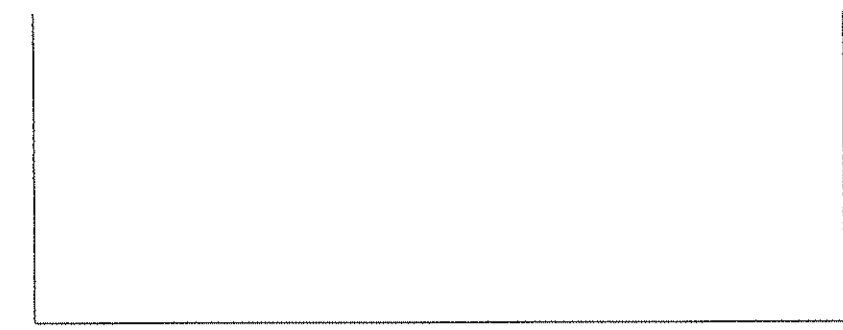
Professional Engineer Seal for PROCOPIO SERRANO, License No. 50213, State of North Carolina, Greenville, NC.

Professional Engineer Seal for SCOTT GODFREY, License No. 13124, State of North Carolina, Greenville, NC. Date: 7/15/16.

Revision table with columns: REV, DATE, DESCRIPTION. Shows revisions to construction documents.

PROJECT INFO: PROJECT NO. 20150152, CLIENT PROJECT NO. 6, PROJECT TITLE: CITY OF GREENVILLE RECREATION AND PARKS GREENVILLE AQUATICS CENTER - RENOVATIONS

DRAWING TITLE: NORTH CAROLINA BUILDING CODE SUMMARY, Drawing No. G1.2



Legend

- • • SMOKE PARTITION
- 1P — 1 HOUR FIRE PARTITION
- 1B — 1 HOUR FIRE BARRIER
- • — 1 HOUR FIRE RESISTANT RATED SMOKE BARRIER
- • • — 2 HOUR FIRE BARRIER
- • • • — 2 HOUR FIRE RESISTANT RATED SMOKE BARRIER
- ← 60" CLEAR EXIT WIDTH
- ← BUILDING OR HORIZONTAL EXIT
- ▶ FIRE EXTINGUISHER
- ↑ EXIT SIGN WITH DIRECTIONAL ARROW
- X'-X" PATH OF EXIT TRAVEL AND TRAVEL DISTANCE
- ▨ SUITE HATCH
- ▩ NON SPRINKLERED AREA

THE EXISTING ASSEMBLY RATINGS SHOWN ON THIS DRAWING HAVE BEEN PROVIDED BY THE OWNER. THE EAST GROUP HAS NOT VERIFIED THE ACCURACY OF THE ASSEMBLY RATINGS OUTSIDE THE LIMITS OF THIS PROJECT.

- General Notes**
- PER EXISTING DRAWINGS, ALL EXISTING WALLS ALONG CORRIDORS ARE A MINIMUM 1 HR FIRE PARTITION RATING.
 - SMOKE COMPARTMENTS AND RATED WALLS SHOWN IN EXISTING BUILDING ARE BASED UPON INFORMATION SHOWN ON OWNER PROVIDED RECORD DRAWINGS.
 - MAINTAIN TEMPORARY EXITING DURING CONSTRUCTION. PROVIDE TEMPORARY PARTITIONS AS REQUIRED.

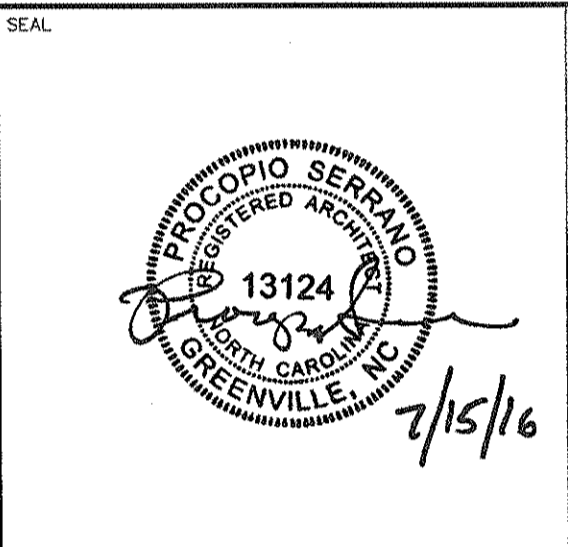
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 NC Landscape Architectural License No. C-427

Greenville
 NORTH CAROLINA

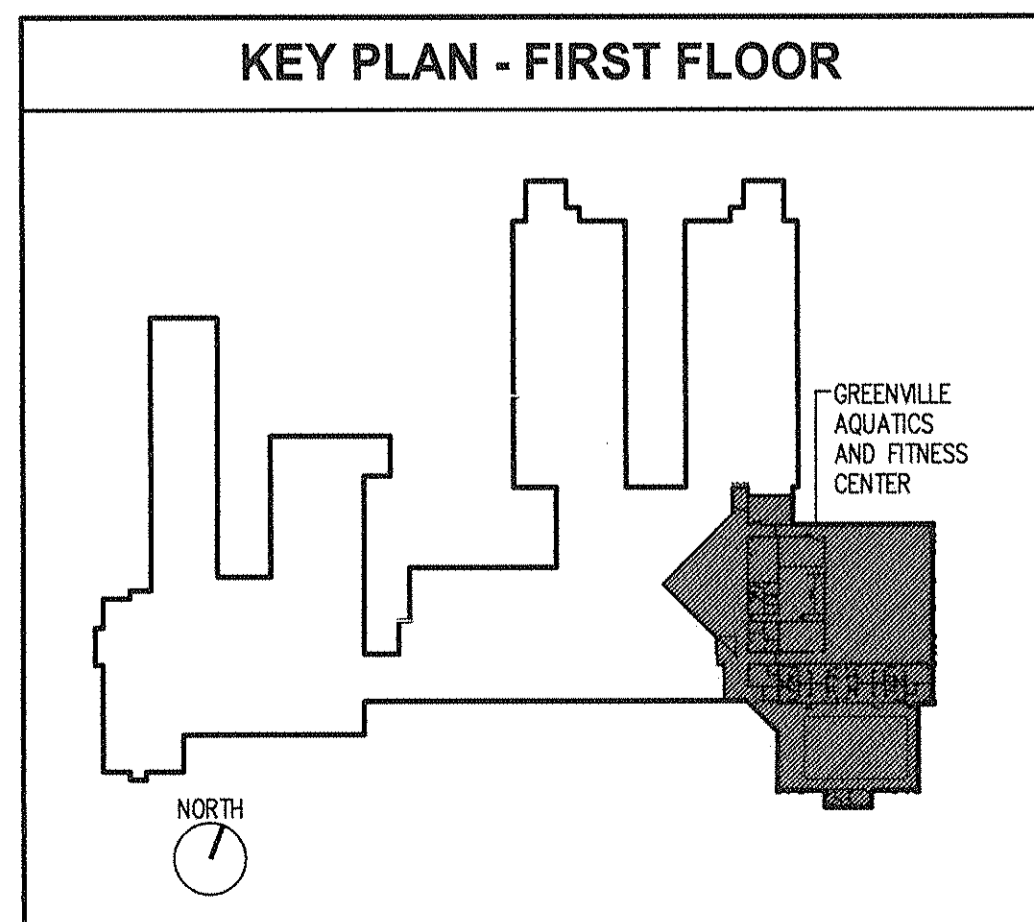


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0	7/15/16	100% CONSTRUCTION DOCUMENTS—ISSUED FOR CONSTRUCTION

BASE BID AND ALTERNATES

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1. ALTERNATE NO. 1: INSTALLATION OF DISTRIBUTION PIPING AND VALVES FROM MAIN SHUT OFF VALVE TO EXISTING FIXTURES AND EQUIPMENT. EXISTING PIPING WILL BE ABANDONED IN PLACE. SEE PLUMBING DRAWINGS. INCLUDED IN THIS ALTERNATE IS THE DEMOLITION AND PATCHING OF EXISTING CMU WALLS, NEW CEILING ACCESS PANELS THAT WILL FACILITATE THE NEW PIPING.



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 PROJECT TITLE
**CITY OF GREENVILLE
 RECREATION AND PARKS
 GREENVILLE AQUATICS
 CENTER — RENOVATIONS**

DRAWING TITLE
LIFE SAFETY PLAN

DRAWING NO.
G2.1

1 LIFE SAFETY PLAN
 3/32"=1'-0"

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TEMPORARY CONSTRUCTION NOTES.	LEGEND
<p>ALL SIDEWALKS AND MEANS OF EGRESS MUST BE PROTECTED AND KEPT IN USE AT ALL TIMES DURING PROJECT DURATION.</p> <p>PARKING SHOWN AS LAYDOWN AREA WILL BE ASSIGNED FOR CONSTRUCTION ONLY DURING THE DURATION OF THE PROJECT.</p> <p>FENCING AND GATES SHALL BE LIMITED DURING PEAK STAGES OF CONSTRUCTION AND SHALL BE REMOVED ONCE MATERIAL IS NO LONGER STORED OVERNIGHT. A LOCKABLE STORAGE SHALL BE LIMITED TO THE LAYDOWN AREA FOR THE DURATION OF THE PROJECT.</p> <p>CONTACT OWNER WHEN AREAS AROUND THE BUILDING NEED TO BE BLOCKED OFF 48 HOURS IN ADVANCE.</p> <p>ALL TEMPORARY GATES SHALL HAVE AN OWNER PROVIDED SURFACE MOUNTED KNOX BOX 3200 SERIES MODEL 3261 OR APPROVED EQUAL. COORDINATE WITH OWNER AND LOCAL FIRE DEPARTMENT TO VERIFY THE SYSTEM USED.</p> <p>G.C. TO KEEP A CLEAR AISLE INSIDE FENCE FOR EMERGENCY VEHICLES AT ALL TIMES.</p> <p>TRAFFIC MODIFYING ACTIVITIES TO OCCUR OUTSIDE OF CONSTRUCTION FENCING TO BE APPROVED BY THE OWNER.</p> <p>ALL EXISTING CONCRETE CURBS, ASPHALT, STRIPPING, ETC. INSIDE FENCING AREA SHALL BE PROTECTED OR REPAIRED TO RETURN TO CURRENT CONDITION AT THE END OF THE PROJECT.</p> <p>ALL EXISTING LANDSCAPING SHALL BE PROTECTED DURING THE DURATION OF THE PROJECT.</p> <p>5 PARKING SPACES SHALL BE ASSIGNED FOR CONTRACTOR PARKING AT THE PARKING LOT</p> <p>ALL EGRESS SHALL BE FROM THE SOUTH EAST ENTRANCE TO THE GYMNASIUM. FLOOR SHALL BE PROTECTED THROUGH OUT THE DURATION OF THE PROJECT. ALL PERSONNEL SHALL BE CLEARLY IDENTIFIED WITH BADGES AND IDS VISIBLE TO ALL FACILITY PERSONNEL.</p>	<p>NOTE:</p> <p>THIS SHEET IS FOR CONSTRUCTION PHASING COORDINATION. SEE DEMOLITION AND NEW WORK PLANS FOR FULL EXTENT OF BASE BID AND ALTERNATES. SEE SPECIFICATIONS FOR ADDITIONAL REQUIRED MEASURES.</p>

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PROF. SEPTIMIO SERENO
 REGISTERED ARCHITECT
 13124
 GREENVILLE, NC
 7/15/16

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TEG PROJECT NO. 20150152

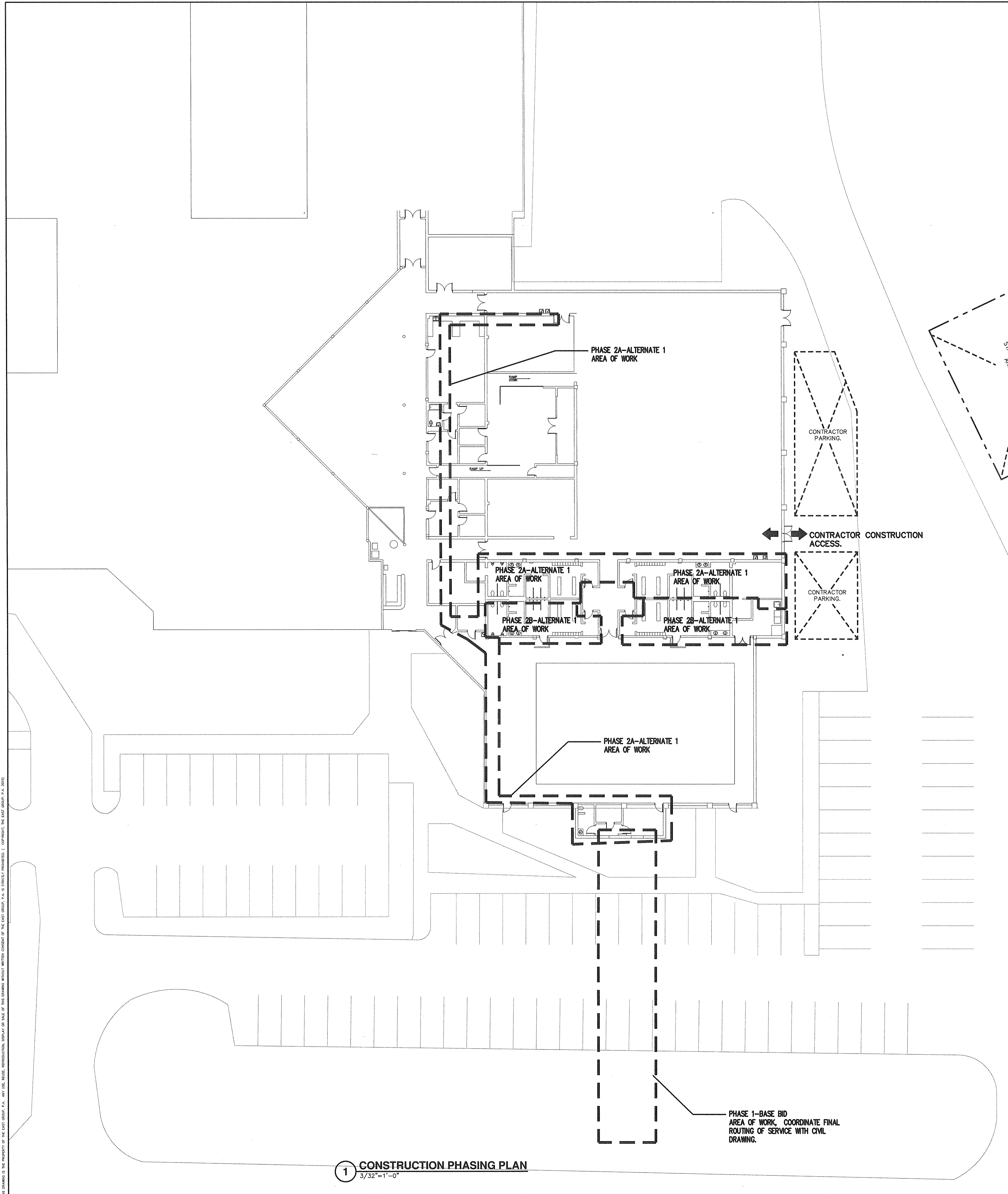
CLIENT PROJECT NO. 6

PROJECT TITLE
**CITY OF GREENVILLE
 RECREATION AND PARKS
 GREENVILLE AQUATICS
 CENTER - RENOVATIONS**

DRAWING TITLE
**PHASING PLAN AND
 TEMPORARY
 CONSTRUCTION
 STAGING.**

DRAWING NO.

G4.1



CONSTRUCTION PHASING

PHASE 1: ALL WORK ON BASE BID SHALL BE PART OF PHASE 1.

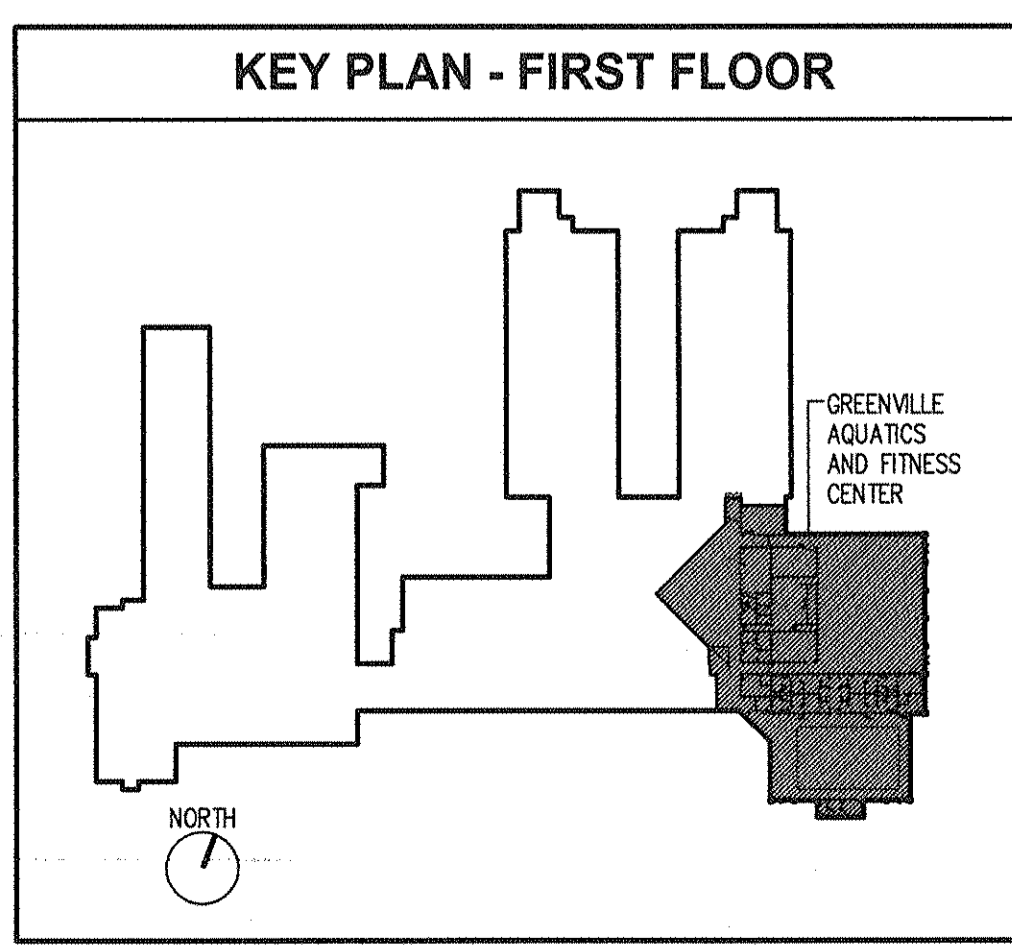
PHASE 2A: ALL WORK IN MENS LOCKER ROOM AND WOMENS LOCKER ROOM, ASSOCIATED WITH ALTERNATE 1 SHALL BE DONE IN PHASE 2A.

PHASE 2B: ALL WORK IN MENS POOL LOCKER ROOM AND WOMENS POOL LOCKER ROOM, ASSOCIATED WITH ALTERNATE 1 SHALL BE DONE IN PHASE 2B.

BASE BID AND ALTERNATES

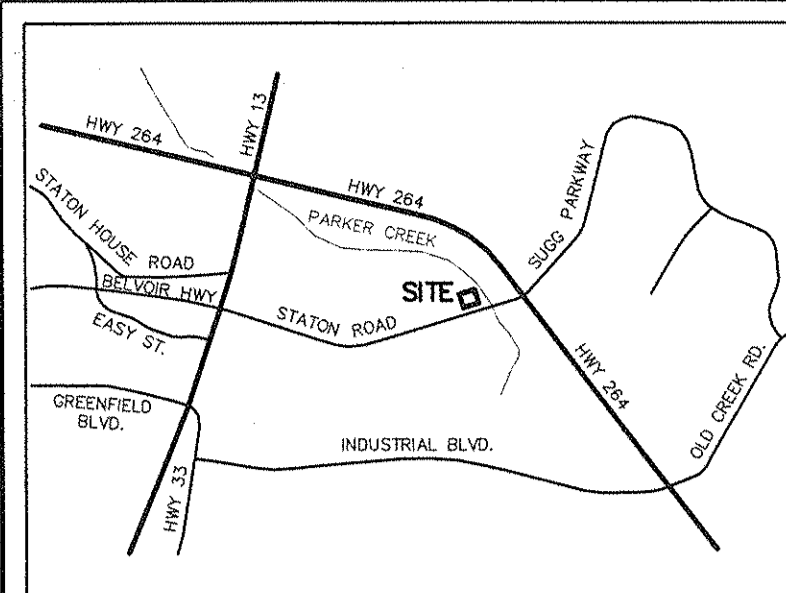
BASE BID SHALL INCLUDE NEW WATER SERVICE TO NEW MAIN SHUT OFF VALVE INSIDE THE BUILDING AS NOTED ON PLUMBING DRAWINGS. INCLUDED IN BASE BID IS THE SAW CUTTING AND PATCH OF EXISTING PARKING LOT TO FACILITATE INSTALLATION OF NEW SERVICE.

1. ALTERNATE NO. 1: INSTALLATION OF DISTRIBUTION PIPING AND VALVES FROM MAIN SHUT OFF VALVE TO EXISTING FIXTURES AND EQUIPMENT. EXISTING PIPING WILL BE ABANDONED IN PLACE. SEE PLUMBING DRAWINGS. INCLUDED IN THIS ALTERNATE IS THE DEMOLITION AND PATCHING OF EXISTING CMU WALLS, NEW CEILING ACCESS PANELS THAT WILL FACILITATE THE NEW PIPING.

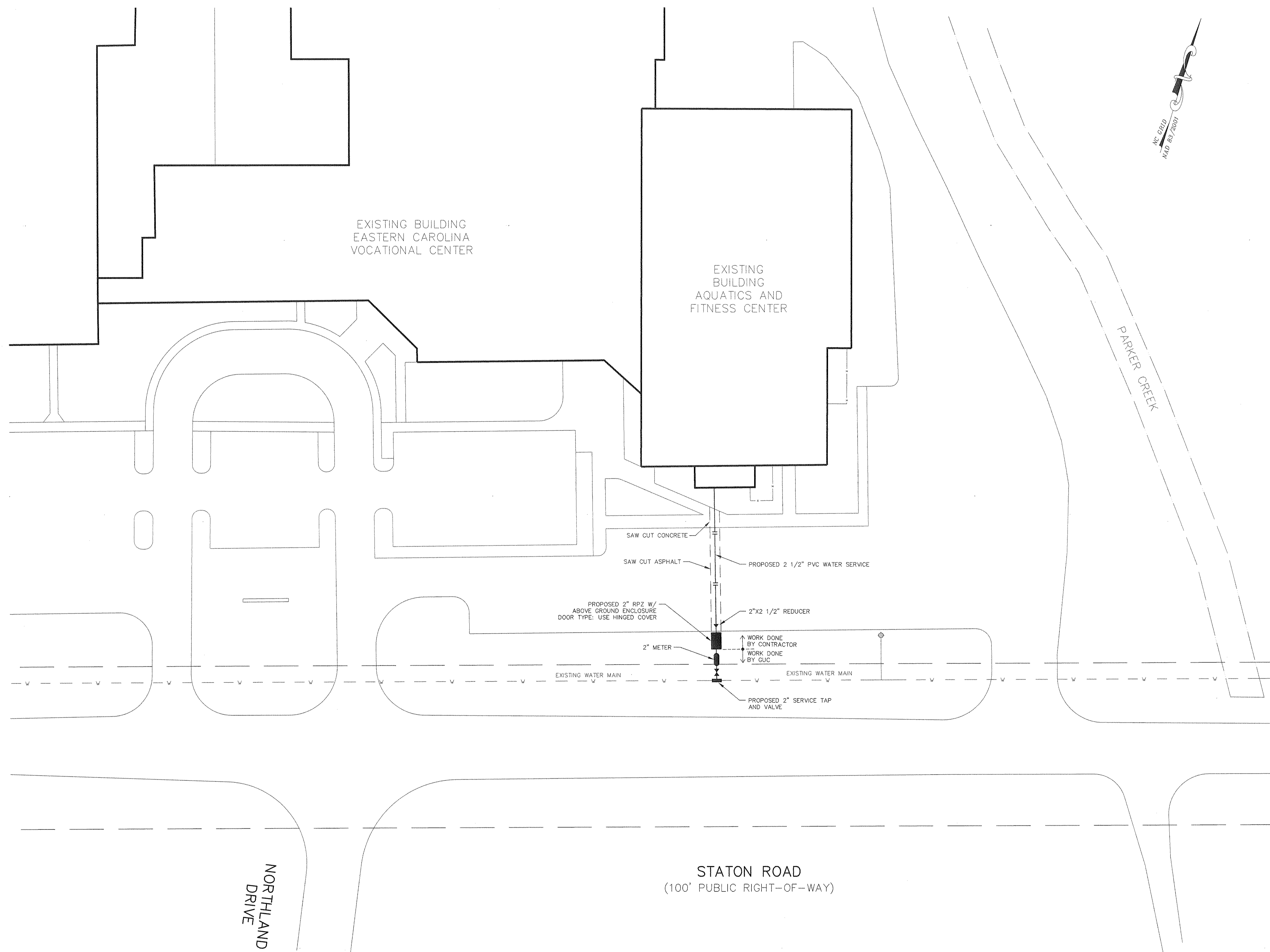


1 CONSTRUCTION PHASING PLAN
 3/32"=1'-0"

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VICINITY MAP
NOT TO SCALE



UTILITY NOTES:

- LOCATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND COORDINATE CONNECTION WITH PROPER AUTHORITIES. CALL NC ONE-CALL CENTER, INC. AT 811 48 HOURS BEFORE ANY EXCAVATION IS BEGUN.
- AS OF JAN. 1, 1986, ANYONE DIGGING WITH MECHANIZED EQUIPMENT IN HIGHWAY RIGHT-OF-WAY, PRIVATE UTILITY EASEMENTS, OR PUBLIC SPACES WILL BE REQUIRED BY NORTH CAROLINA LAW TO GIVE NOTICE OF THE PROPOSED EXCAVATION TO ALL EXISTING AREA UTILITIES AT LEAST 2 WORKING DAYS BEFORE STARTING TO DIG. THE UTILITY OWNER IS TO LOCATE ITS FACILITIES IN THE AREA OF THE PROPOSED EXCAVATION. UTILITY MEMBERS OF NC ONECALL CAN BE CONTACTED AT 811.
- CONTRACTOR SHALL NOTIFY UTILITIES ENGINEER 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION. CONTRACTOR TO COORDINATE ALL EXISTING UTILITY TIE INS WITH THE UTILITY ENGINEER.
- CONTRACTOR SHALL MAINTAIN COMPREHENSIVE (DEPTH AND HORIZONTAL LOCATIONS) FIELD "AS-BUILT'S" FOR ALL INSTALLATIONS AND SUBMIT TO THE ENGINEER.
- ALL PERMITS AND FEES REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

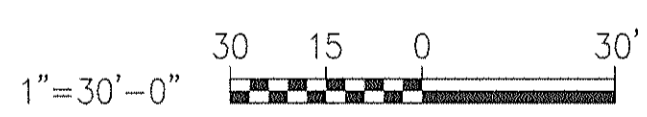
NOTES:

- WATER SERVICE CONNECTION INSTALLED BY GUC UPON PAYMENT OF FEES BY THE DEVELOPER.
- WORK PERFORMED BY GUC INCLUDES THE SERVICE TAP AND METER PLACEMENT. WORK PERFORMED BY CONTRACTOR INCLUDES PLACEMENT OF RPZ AND SERVICE LINE TO BUILDING.
- DO NOT INTERRUPT SERVICE FROM THE EXISTING METER UNTIL THE NEW METER IS COMPLETED AND ACCEPTED.
- THE CHANGEOVER FROM THE EXISTING METER TO THE NEW METER MUST BE ACCOMPLISHED DURING A SINGLE WEEKEND.

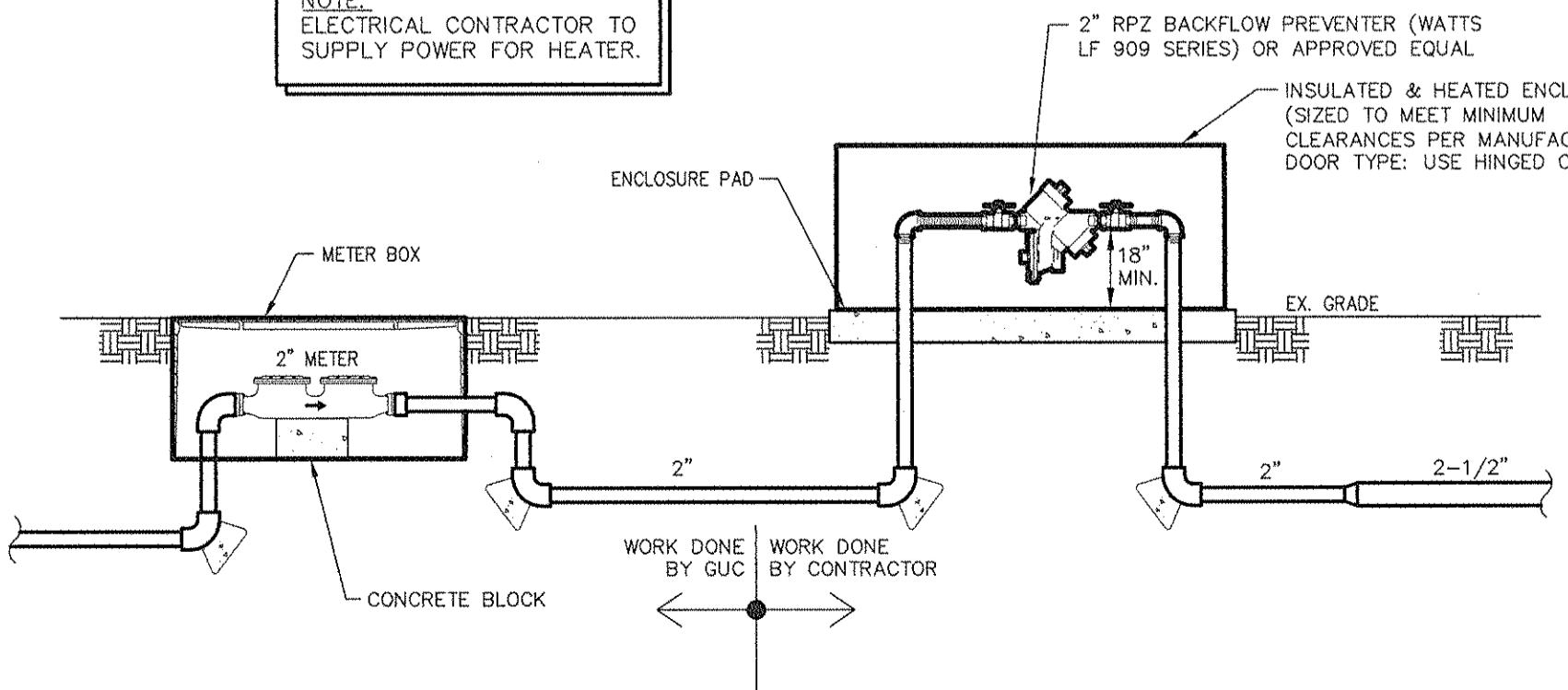
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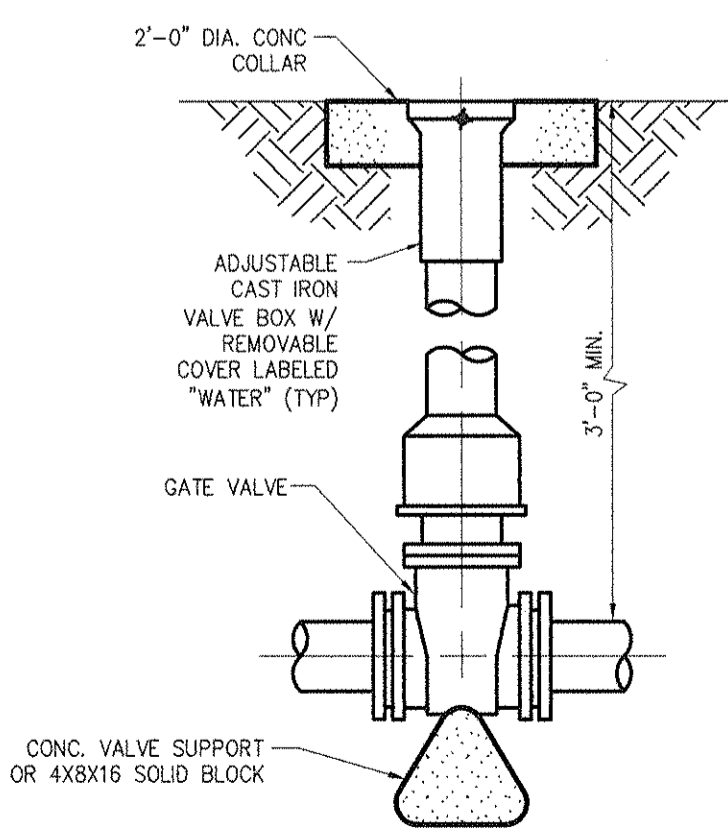
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NOTE: ELECTRICAL CONTRACTOR TO SUPPLY POWER FOR HEATER.

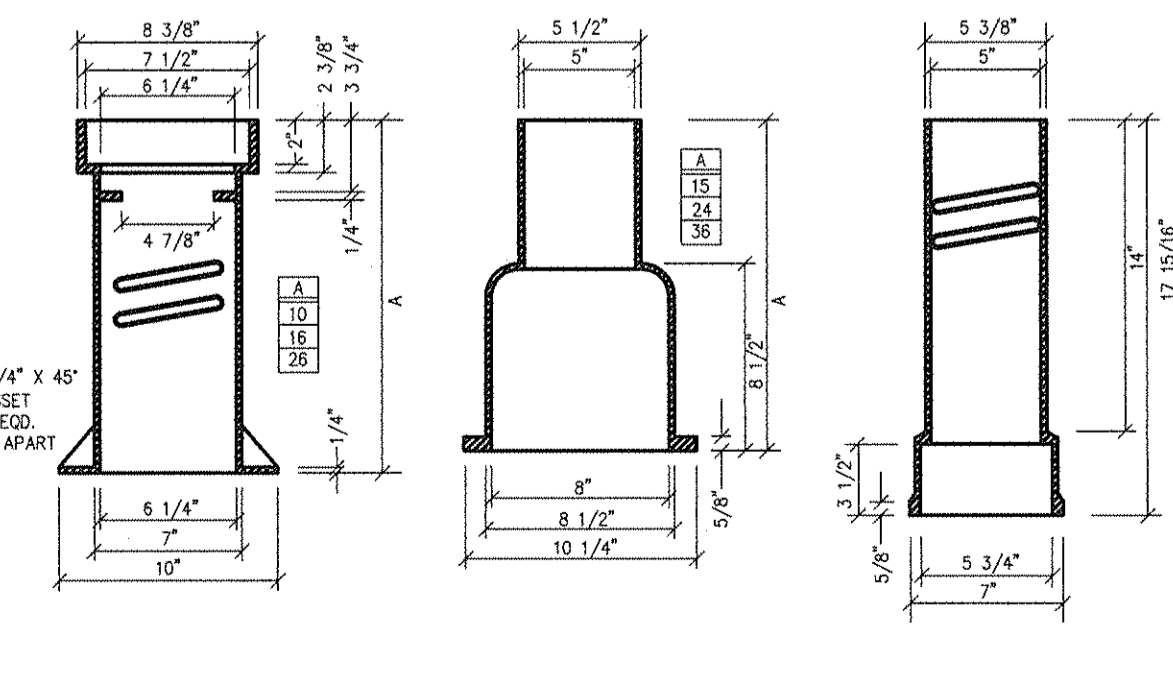


1 TYP. 2" WATER SERVICE DETAIL
C1.1 N.T.S.

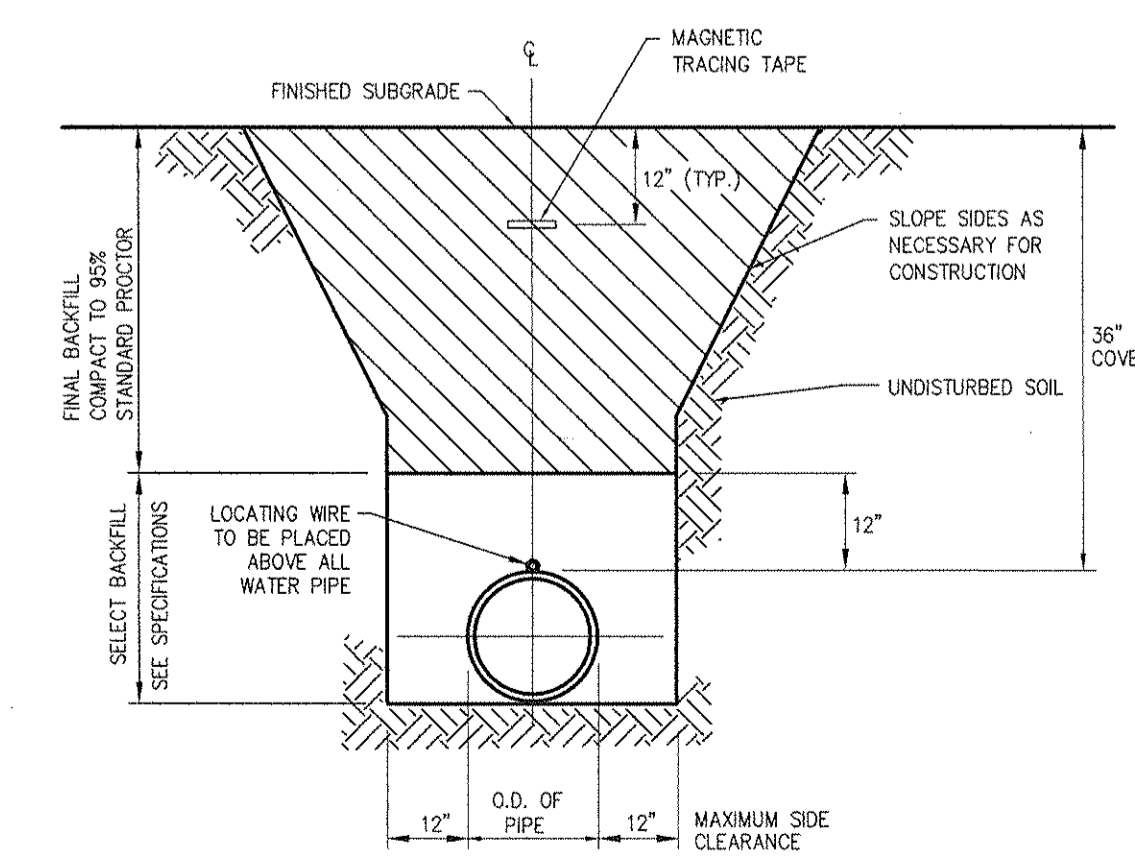


2 GATE VALVE DETAIL
C1.1 N.T.S.

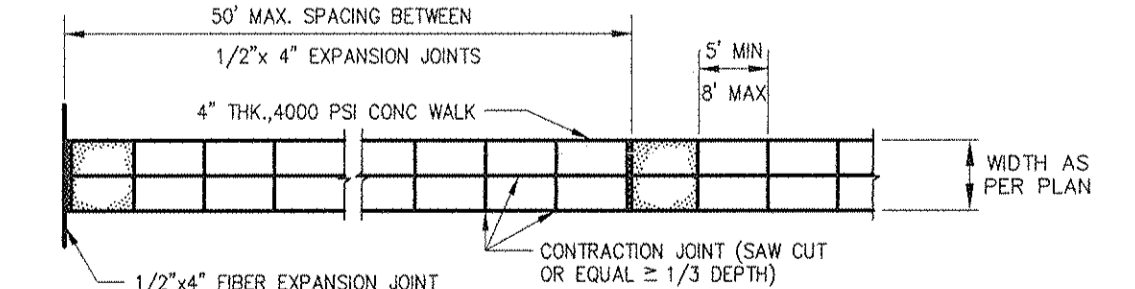
SUF. EXTENSION TYPE	COMPLETE		TOP & COVER		BOTTOM	
	INS. WT.	LS. WT.	INS. WT.	LS. WT.	INS. WT.	LS. WT.
481-A	18-24	60	10	35	15	25
562-A	24-36	90	16	45	24	35
584-A	36-48	120	22	60	36	45
584-A	48-60	150	28	75	45	60



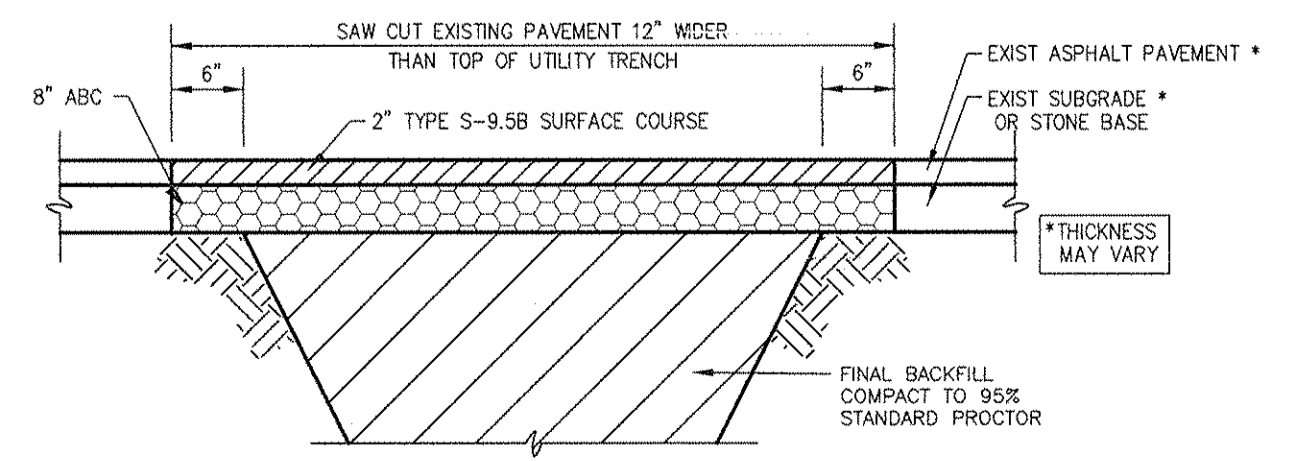
3 VALVE BOX DETAIL
C1.1 N.T.S.



4 WATER PIPE TRENCH DETAIL
C1.1 N.T.S.

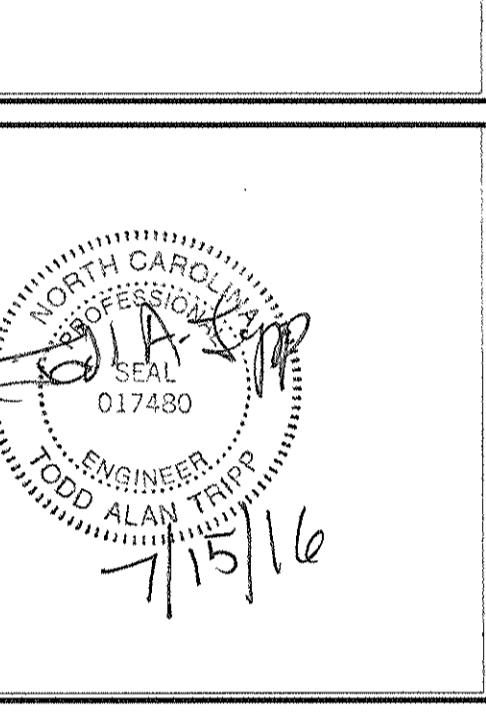


5 SIDEWALK DETAIL
C1.1 N.T.S.



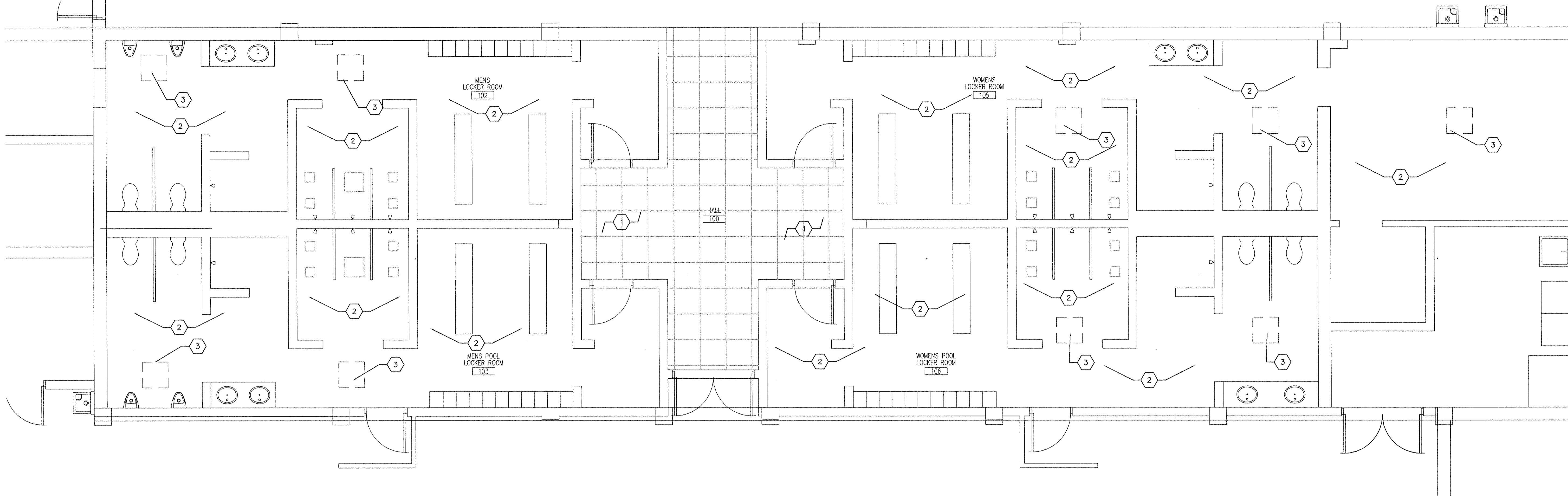
6 PAVEMENT REPAIR DETAIL
C1.1 N.T.S.

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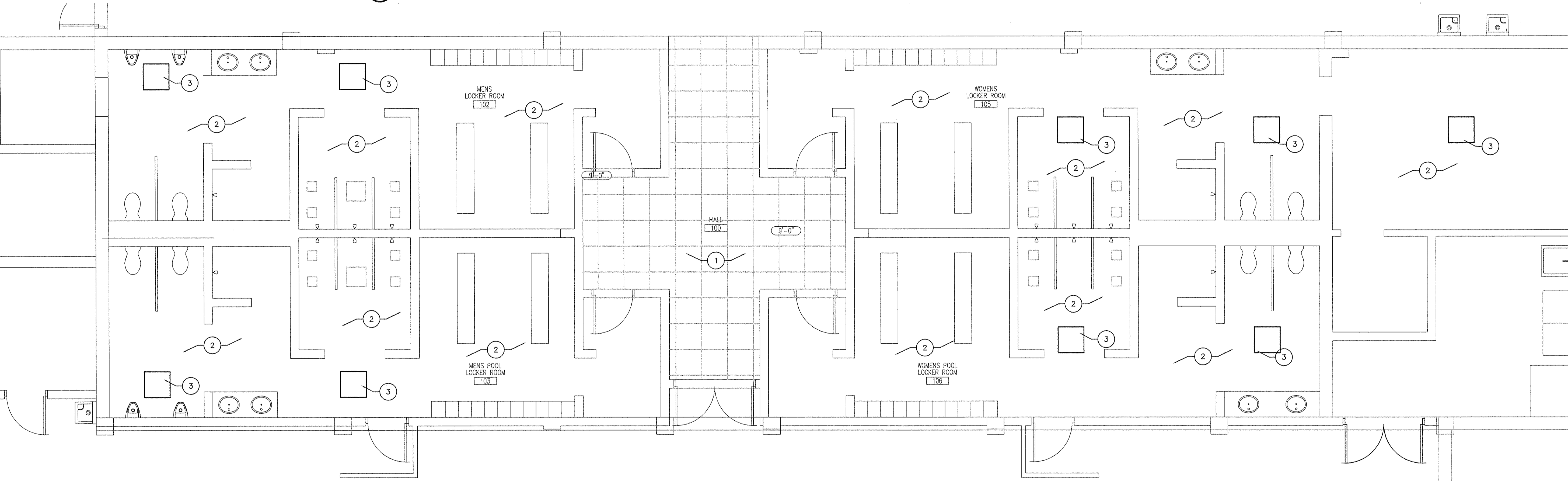


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PROJECT NO. 20150152
 CLIENT PROJECT NO. 6
 PROJECT TITLE
**CITY OF GREENVILLE
 RECREATION AND PARKS
 GREENVILLE AQUATICS
 CENTER - RENOVATIONS**
 DRAWING TITLE
**SITE PLAN
 AND DETAILS**
 DRAWING NO.
C1.1



1 PARTIAL FIRST FLOOR DEMOLITION REFLECTED CEILING PLAN
1/4"=1'-0"



2 PARTIAL FIRST FLOOR NEW WORK REFLECTED CEILING PLAN
1/2"=1'-0"

- General Demolition Notes**
- REFER TO SHEET G1.1 FOR ADDITIONAL DEMOLITION NOTES.
 - REPAIR DAMAGE AND HOLES LEFT AFTER REMOVAL OF COMPONENTS AND DEMOLITION ACTIVITY. MATCH EXISTING ADJACENT FINISH OR PREPARE FOR NEW FINISH.
 - DEMOLITION ACTIVITIES THAT CAUSE NOISE OR VIBRATION DETRIMENTAL TO OWNER ACTIVITY SHALL BE CONDUCTED AT TIMES COORDINATED WITH THE OWNER.
 - IN AREAS WHERE EXISTING FINISHES ARE TO BE REPLACED WITH NEW FINISHES, FULLY PREPARE SUBSTRATE TO RECEIVE NEW FINISH IN ACCORDANCE WITH FINISH MANUFACTURERS' REQUIREMENTS.
 - SEE P,M,&E DRAWINGS FOR ADDITIONAL DEMOLITION ITEMS.
 - THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON ALL SYSTEM COMPONENTS REMOVED DURING DEMOLITION. SYSTEM COMPONENTS REJECTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
 - CEILING AREAS NOTED FOR REMOVAL SHALL BE REMOVED AS REQUIRED TO PERFORM ABOVE-CEILING WORK DESCRIBED ON THE FIRE PROTECTION, MECHANICAL, AND ELECTRICAL DRAWINGS.
 - AFTER COMPLETION OF ABOVE-CEILING WORK, ALL DISTURBED CEILING AREAS SHALL BE REPLACED OR PATCHED TO MATCH ORIGINAL HEIGHT, MATERIALS, INSTALLATION, AND FINISH.
 - ALL EXISTING WALLS ARE CMU, UNLESS NOTED OTHERWISE.
 - REMOVE EXISTING SECTIONS OF CMU WALL TO FACILITATE THE INSTALLATION OF NEW WATER DISTRIBUTION SYSTEM. REPLACEMENT TO NEW AND EXISTING PLUMBING FIXTURES. - SEE PLUMBING.

- Keyed Demolition Notes**
- DEMOLISH PORTION OF GYP. BD. CEILING IN PREPARATION FOR NEW ACCESS DOORS. SEE NEW WORK PLAN. COORD. WITH MECHANICAL AND PLUMBING FOR EXACT LOCATIONS.
 - EXISTING GYPSUM BOARD CEILING TO REMAIN. PATCH ALL CEILING PENETRATIONS AS REQUIRED FOR NEW ABOVE CEILING WORK.
 - EXISTING CEILING GRID TO REMAIN. PATCH AND REPLACE ALL CEILING GRID AND TILE AS REQUIRED FOR ABOVE CEILING WORK.

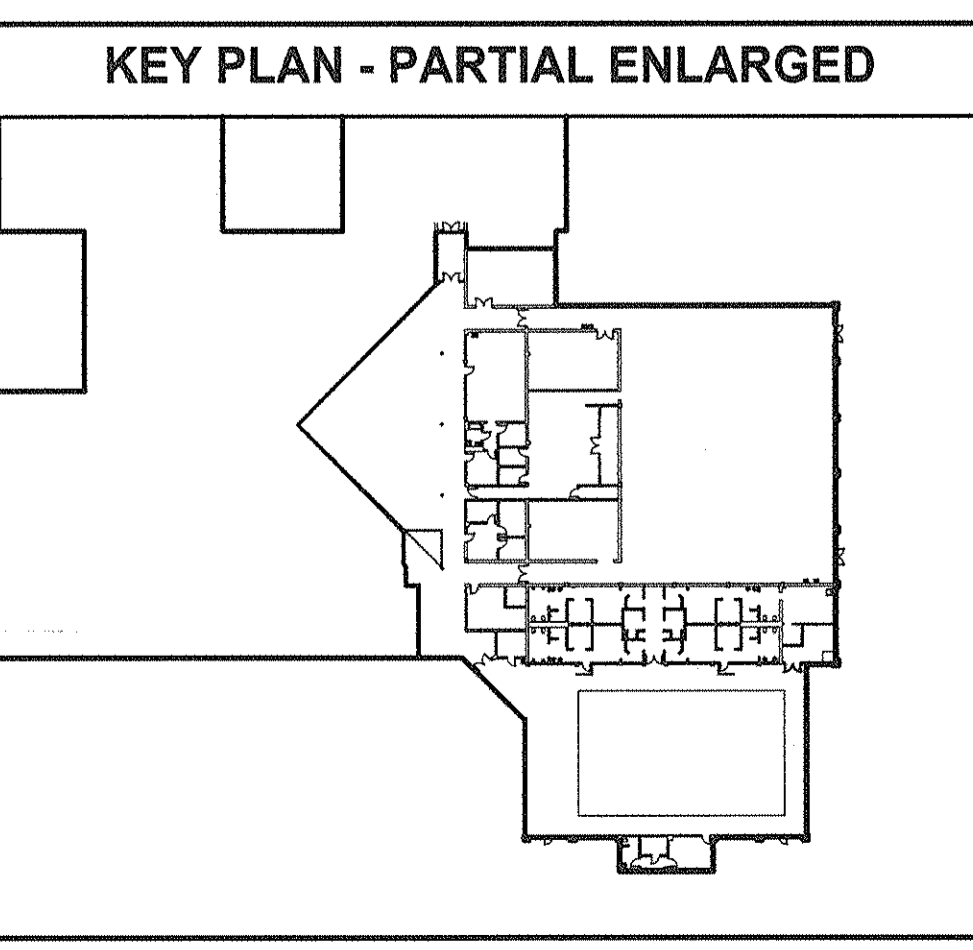
- General Renovation Notes**
- REFER TO SHEET G1.1 FOR ADDITIONAL GENERAL NOTES.
 - SEE SHEET G2.1 FOR LOCATION OF ALL FIRE-RATED WALLS, SMOKE PARTITIONS AND EGRESS CRITERIA.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS. IF CONDITIONS ARE FOUND WHICH DIFFER FROM THOSE SHOWN ON THE DRAWINGS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT EQUIPMENT, CABINETS, FIXTURES ETC.
 - WHERE NEW SECTIONS WALLS MEET EXISTING WALLS, ALIGN WALLS FOR A SMOOTH TRANSITION. PATCH AND REPAIR WALLS TO MATCH.
 - ALL FLOORS SHALL BE PATCHED AND REPAIRED AS REQUIRED TO ACHIEVE A SMOOTH SURFACE THAT HAVE BEEN AFFECTED BY RENOVATION WORK.
 - REPAIR DAMAGE TO SPRAYED-ON FIREPROOFING RESULTING FROM CONSTRUCTION ACTIVITY.
 - REPAIR, PATCH, INFILL AND PAINT ALL EXISTING CMU WALLS THAT WERE CUT OUT WHERE NEW WATER PIPING WAS INSTALLED INSIDE EXISTING CMU WALLS-SEE PLUMBING DWGS. PAINT ALL REPAIRED AND INFILLED AREAS IN EXPOSED LOCKER ROOM AREAS WITH EPOXY PAINT TO MATCH EXISTING.
 - ALL NEW WALLS ARE NEW CMU, UNLESS NOTED OTHERWISE.

- Keyed Renovation Notes**
- EXISTING ACCOUSTICAL CEILING GRID TO REMAIN.
 - EXISTING GYP. BD. CEILING TO REMAIN.
 - ACCESS DOOR; ACUDOR UF-5500 24'x24"

BASE BID AND ALTERNATES

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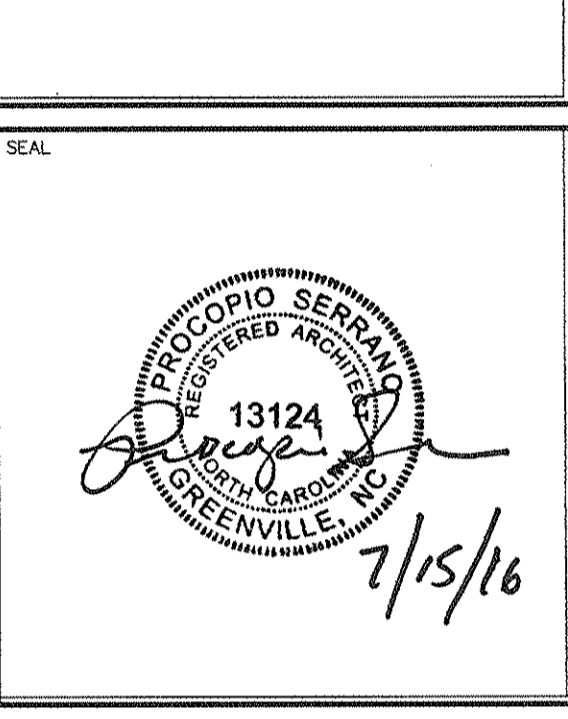
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RES PROJECT NO. 20150152
 CLIENT PROJECT NO. 6

PROJECT TITLE
**CITY OF GREENVILLE
 RECREATION AND PARKS
 GREENVILLE AQUATICS
 CENTER - RENOVATIONS**

DRAWING TITLE
**PARTIAL FIRST FLOOR
 REFLECTED CEILING
 DEMOLITION & NEW
 WORK PLANS**

DRAWING NO.
A5.1

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LEGEND

ALL SYMBOLS AND ABBREVIATIONS ARE NOT NECESSARILY USED ON THIS PROJECT

1B	1 HOUR FIRE BARRIER
2	2 HOUR FIRE BARRIER
1P	1 HOUR FIRE PARTITION
2HR	2 HOUR FIRE WALL
3HR	3 HOUR FIRE WALL
4HR	4 HOUR FIRE WALL
1	1 HOUR FIRE RESISTANT RATED SMOKE BARRIER
2	2 HOUR FIRE RESISTANT RATED SMOKE BARRIER
.....	SMOKE PARTITION (NON-RATED)
---	SANITARY DRAIN/WASTE PIPING
----	SANITARY VENT PIPING
----	DOMESTIC COLD WATER PIPING
----	DOMESTIC HOT WATER PIPING
----	DOMESTIC HOT WATER RETURN PIPING
---AV---	ACID VENT PIPING
---AW---	ACID WASTE PIPING
---CA---	COMPRESSED AIR (NON-MEDICAL) PIPING
---DI---	DE-IONIZED WATER PIPING
---DRN---	EQUIPMENT DRAIN PIPING
---EV---	WASTE ANESTHETIC GAS DISPOSAL (EVACUATION) PIPING
---MA---	MEDICAL AIR PIPING
---MU---	EQUIPMENT MAKEUP (NON-POTABLE) WATER PIPING
---MV---	MEDICAL VACUUM PIPING
---N---	NITROGEN PIPING
---NO---	NITROUS OXIDE PIPING
---OX---	OXYGEN PIPING
---RL---	ROOF LEADER (STORM DRAIN)
---RO---	REVERSE OSMOSIS WATER PIPING
---SD---	STORM DRAIN PIPING
---	PIPING CAP, PLUG OR BLIND FLANGE
→	FLOW ARROW (INDICATES DIRECTION OF FLOW)
CO-1	CLEANOUT; SEE PLUMBING SPECIALTY SCHEDULE
FCO-1	FLOOR CLEANOUT; SEE PLUMBING SPECIALTY SCHEDULE
FD-1	FLOOR DRAIN; SEE PLUMBING SPECIALTY SCHEDULE
FS-1	FLOOR SINK; SEE PLUMBING SPECIALTY SCHEDULE
GCO-1	GRADE CLEANOUT; SEE PLUMBING SPECIALTY SCHEDULE
PRD-1	PRIMARY ROOF DRAIN; SEE PLUMBING SPECIALTY SCHEDULE
SRD-1	SECONDARY (EMERGENCY) ROOF DRAIN; SEE PLUMBING SPECIALTY SCHEDULE
TD-1	TRENCH DRAIN; SEE PLUMBING SPECIALTY SCHEDULE
WCO-1	WALL CLEANOUT; SEE PLUMBING SPECIALTY SCHEDULE
VTR	VENT THROUGH ROOF
BFP-1	BACKFLOW PREVENTER; SEE PLUMBING SPECIALTY SCHEDULE
HB	HOSE BIBB; WALL-MOUNTED AT 24" AFF/AFG UNO

HY-1	WALL HYDRANT; WALL-MOUNTED AT 24" AFG UNO; SEE PLUMBING SPECIALTY SCHEDULE
MHY-1	MIXING WALL HYDRANT; WALL-MOUNTED AT 24" AFG UNO; SEE PLUMBING SPECIALTY SCHEDULE
F	FLOW METER
P-1	PUMP; SEE PUMP SCHEDULE
STR	STRAINER WITH BLOWDOWN VALVE
FLT	FILTER
MS	MOISTURE SEPARATOR
V	VACUUM BREAKER OR VACUUM RELIEF VALVE
PG	PRESSURE GAUGE WITH GAUGE COCK
T	THERMOMETER
WHA-X	WATER HAMMER ARRESTER; SEE PLUMBING SPECIALTY SCHEDULE
FC	FLEXIBLE CONNECTOR
U	UNION
AP-1	MEDICAL GAS ALARM PANEL; WALL-MOUNTED AT 60" AFF UNO; SEE PLUMBING SPECIALTY SCHEDULE
ZV-1	MEDICAL GAS ZONE VALVE; WALL-MOUNTED AT 60" AFF UNO; SEE PLUMBING SPECIALTY SCHEDULE
EV-1	WASTE ANESTHETIC GAS DISPOSAL (EVACUATION) INLET; WALL-MOUNTED AT 60" AFF UNO; SEE PLUMBING SPECIALTY SCHEDULE
MA-1	MEDICAL AIR OUTLET; WALL-MOUNTED AT 60" AFF UNO; SEE PLUMBING SPECIALTY SCHEDULE
MV-1	MEDICAL VACUUM INLET; WALL-MOUNTED AT 60" AFF UNO; SEE PLUMBING SPECIALTY SCHEDULE
N-1	NITROGEN OUTLET; WALL-MOUNTED AT 60" AFF UNO; SEE PLUMBING SPECIALTY SCHEDULE
NO-1	NITROUS OXIDE OUTLET; WALL-MOUNTED AT 60" AFF UNO; SEE PLUMBING SPECIALTY SCHEDULE
OX-1	OXYGEN OUTLET; WALL-MOUNTED AT 60" AFF UNO; SEE PLUMBING SPECIALTY SCHEDULE
VS-1	MEDICAL VACUUM SLIDE; WALL-MOUNTED AT 60" AFF UNO; SEE PLUMBING SPECIALTY SCHEDULE
PRV-1	PRESSURE REDUCING VALVE OR PRESSURE REGULATOR; SEE PRESSURE REDUCING VALVE SCHEDULE
SV	SAFETY VALVE OR RELIEF VALVE
MV	MOTORIZED VALVE OR SOLENOID VALVE
BV	BALL VALVE
BV	BALANCING VALVE
CV	CHECK VALVE
1 P1.1	REFERENCE TO ENLARGED PLAN, ELEVATION, SECTION OR DETAIL; TOP SECTION INDICATES ENLARGED PLAN, ELEVATION, SECTION OR DETAIL NUMBER; BOTTOM SECTION INDICATES DRAWING ON WHICH ENLARGED PLAN, ELEVATION, SECTION OR DETAIL APPEARS
#	NOTE NUMBER
+	CONNECTION POINT TO EXISTING
ACFM	ACTUAL CUBIC FEET PER MINUTE
ADA	AMERICANS WITH DISABILITIES ACT
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AV	ACID VENT
AW	ACID WASTE
CA	COMPRESSED AIR
CJ FT	CUBIC FEET
CW	DOMESTIC COLD WATER
DRN	EQUIPMENT DRAIN
DWV	SANITARY DRAIN/WASTE & VENT
ER	EXISTING TO BE RELOCATED
ETR	EXISTING TO REMAIN
EV	WASTE ANESTHETIC GAS DISPOSAL (EVACUATION)
EWT	ENTERING WATER TEMPERATURE
EX	EXISTING
F	DEGREES FAHRENHEIT
FT	FEET

GAL	GALLONS
GPH	GALLONS PER HOUR
GPM	GALLONS PER MINUTE
HP	HORSEPOWER
HW	DOMESTIC HOT WATER
HWR	DOMESTIC HOT WATER RETURN
HZ	HERTZ (ELECTRICAL)
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
IN	INCHES
LBS	POUNDS
LWT	LEAVING WATER TEMPERATURE
MA	MEDICAL AIR
MAX	MAXIMUM
MIN	MINIMUM
MU	EQUIPMENT MAKEUP (NON-POTABLE) WATER
MV	MEDICAL VACUUM
N	NITROGEN
NC	NORMALLY CLOSED
NIC	NOT IN CONTRACT
NO	NITROUS OXIDE
NO	NORMALLY OPEN
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFCI	OWNER-FURNISHED CONTRACTOR-INSTALLED
OFOI	OWNER-FURNISHED OWNER-INSTALLED
OX	OXYGEN
PH	PHASE (ELECTRICAL)
PPH	POUNDS PER HOUR
PSIG	POUNDS PER SQUARE INCH (GAUGE)
RO	REVERSE OSMOSIS WATER
RL	ROOF LEADER (STORM DRAIN)
RPM	REVOLUTIONS PER MINUTE
SCFM	STANDARD CUBIC FEET PER MINUTE
SD	STORM DRAIN
SQ FT	SQUARE FEET
TOTO	TURN OVER TO OWNER
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
V	SANITARY VENT
VTR	VENT THROUGH ROOF
W	SANITARY DRAIN/WASTE
WPD	WATER PRESSURE DROP

GENERAL NOTES

- REFER TO NOTES ON THE 'G' SERIES DRAWINGS FOR GENERAL REQUIREMENTS OF THE PROJECT.
- UNLESS NOTED OTHERWISE, DRAWINGS ARE DIAGRAMMATIC IN NATURE. COORDINATE INSTALLATION OF SYSTEM COMPONENTS WITH ACTUAL FIELD CONDITIONS; THE WORK OF OTHER TRADE CONTRACTORS; AND FOR MAINTENANCE ACCESS. INSTALL COMPONENTS SO THAT THEY DO NOT BLOCK ACCESS TO OTHER SYSTEM COMPONENTS REQUIRING MAINTENANCE. GIVE PRIORITY TO SYSTEMS THAT REQUIRE A SPECIFIED SLOPE.
- EXAMINE THE PROJECT SITE PRIOR TO SUBMITTING BIDS TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND THE EXTENT AND NATURE OF WORK REQUIRED. NO ADDITIONAL COMPENSATION WILL BE GRANTED FOR FAILURE TO THOROUGHLY EXAMINE EXISTING CONDITIONS TO DETERMINE THE EXACT SCOPE OF THIS PROJECT; INCLUDING DEMOLITION WORK.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL EQUIPMENT, MATERIALS, AND LABOR AS REQUIRED FOR THE COMPLETE PROJECT UNLESS CERTAIN PORTIONS OF THE WORK ARE SPECIFICALLY IDENTIFIED AS 'BY OTHERS'; 'BY OWNER'; 'NOT IN CONTRACT'; OR SIMILAR WORDING.
- CONTRACTOR IS RESPONSIBLE FOR CUTTING, CORE DRILLING, PATCHING, ETC. FOR PROPER EXECUTION AND COMPLETION OF THE WORK. WHEN CUTTING OR CORE DRILLING THROUGH EXISTING BUILDING ASSEMBLIES, CONTRACTOR SHALL VERIFY LOCATION OF ALL STRUCTURAL ELEMENTS PRIOR TO CUTTING OR CORE DRILLING. PATCH BUILDING ASSEMBLIES TO MATCH EXISTING ADJACENT FINISHES UNLESS NOTED OTHERWISE.
- SEAL ALL PIPING AND/OR CONDUIT PENETRATIONS THROUGH FIRE RATED ASSEMBLIES (WALLS, PARTITIONS, FLOORS, ETC.) IN ACCORDANCE WITH THE UL LISTED SYSTEMS SHOWN ON THE 'G' SERIES DRAWINGS.
- SEAL ALL PIPING AND/OR CONDUIT PENETRATIONS THROUGH NON-RATED ASSEMBLIES (WALLS, PARTITIONS, FLOORS, ETC.) WITH MATERIALS CONSISTENT WITH THE ASSEMBLY CONSTRUCTION (GYPSUM WALLBOARD, JOINT COMPOUND, MORTAR, GROUT, CAULK, ETC.).
- COORDINATE ALL WORK WITH THE OWNER. WORK ABOVE, BELOW, NEAR, OR INSIDE OCCUPIED AREAS MAY HAVE TO BE PERFORMED DURING OFF-HOURS (NIGHTS AND WEEKENDS). SCHEDULE ALL OFF-HOURS WORK IN ADVANCE WITH THE OWNER. INCLUDE OVERTIME LABOR FOR OFF-HOURS WORK IN THE BASE BID. WHEN WORKING INSIDE OCCUPIED AREAS, COVER AND PROTECT ALL FURNITURE, EQUIPMENT, ETC. WITH FIRE-RETARDANT PLASTIC SHEETING. THOROUGHLY CLEAN THE PROJECT AREA AFTER WORK IS COMPLETED.
- COORDINATE INSTALLATION OF CEILING MOUNTED DEVICES. WHEN INSTALLED IN LAY-IN CEILING DEVICES SHALL BE CENTERED WITHIN CEILING TILES. WHEN INSTALLED IN GYPSUM BOARD CEILINGS, DEVICES SHALL BE COORDINATED AND ALIGNED WITH THE WORK OF OTHER TRADE CONTRACTORS.
- COORDINATE INSTALLATION OF WORK ABOVE EXISTING CEILINGS THAT ARE NOT IDENTIFIED TO BE REMOVED AS PART OF THIS PROJECT. REMOVE, STORE, AND REINSTALL EXISTING LAY-IN CEILING TILES AND/OR GRID; AND/OR CUT AND PATCH EXISTING GYPSUM BOARD CEILINGS AS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- COORDINATE AND SCHEDULE ALL SHUTDOWNS OF EXISTING UTILITIES TWO WEEKS IN ADVANCE WITH THE OWNER. ALL OR SOME OF THIS WORK MAY HAVE TO BE PERFORMED DURING OFF-HOURS (NIGHTS AND WEEKENDS). INCLUDE OVERTIME LABOR FOR OFF-HOURS WORK IN THE BASE BID.
- EXISTING AREAS OF THE FACILITY (WHETHER INSIDE OR OUTSIDE OF THE PROJECT LIMITS) DAMAGED DUE TO CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- EXISTING SYSTEM COMPONENTS INDICATED ON THE DRAWINGS ARE BASED ON CURSORY FIELD INVESTIGATIONS AND EXISTING DRAWINGS, AND MAY OR MAY NOT BE LOCATED OR LABELED CORRECTLY. EXAMINE ALL AREAS OF THE PROJECT AND FIELD IDENTIFY / VERIFY ALL SYSTEM COMPONENTS PRIOR TO COMMENCING DEMOLITION OR NEW CONSTRUCTION. IDENTIFICATION AND VERIFICATION SHALL INCLUDE TRACING EACH SYSTEM COMPONENT TO DETERMINE ITS EXACT ORIGIN AND THE AREA OR EQUIPMENT THE SYSTEM COMPONENT SERVES. REPORT TO THE ARCHITECT AND/OR ENGINEER ALL SUCH DISCOVERIES OF SYSTEM COMPONENTS THAT ARE UNIDENTIFIED OR ARE FOUND TO BE IN A DIFFERENT LOCATION FROM THAT INDICATED.
- UNLESS NOTED OTHERWISE, DEMOLISH AND REMOVE ALL SYSTEM COMPONENTS INDICATED ON THE DEMOLITION DRAWINGS. UNLESS NOTED OTHERWISE, ALL SYSTEM COMPONENTS SHALL BE REMOVED BACK TO THE SOURCE AND CAPPED APPROPRIATELY.
- DEMOLITION WORK SHALL BE PERFORMED WITH DUE CARE AND DILIGENCE. TAKE ALL NECESSARY MEASURES TO PREVENT THE ARBITRARY INTERRUPTION OR DESTRUCTION OF CONCEALED SYSTEM COMPONENTS THAT ARE TO REMAIN OPERATIONAL, AND THE ROUTING OF WHICH COULD NOT BE PREDETERMINED UNTIL THE COMMENCEMENT OF DEMOLITION WORK.
- EXISTING SYSTEM COMPONENTS INDICATED TO BE RELOCATED AND/OR REUSED SHALL BE INSPECTED FOR PROPER OPERATION, THOROUGHLY CLEANED, AND PREPARED FOR REINSTALLATION.
- THE OWNER HAS THE RIGHT OF FIRST REFUSAL ON ALL SYSTEM COMPONENTS REMOVED DURING DEMOLITION. SYSTEM COMPONENTS NOT DESIRED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PROJECT SITE.
- SYSTEM COMPONENTS SERVING AREAS OF THE PROJECT OCCUPIED BY THE OWNER DURING CONSTRUCTION SHALL BE MAINTAINED UNTIL THE OWNER VACATES THE AREA.
- ALL AFF/AFG DIMENSIONS ARE REFERENCED TO THE CENTER OF THE EQUIPMENT OR DEVICE UNLESS NOTED OTHERWISE.
- VERIFY THE LOCATION AND INVERT ELEVATION OF EXISTING DRAIN PIPING LOCATED BELOW GRADE/SLAB AT ALL CONNECTION POINTS OF NEW PIPING TO EXISTING PRIOR TO EXCAVATION AND/OR CONCRETE CUTTING/REMOVAL.

BASE BID AND ALTERNATES

BASE BID SHALL INCLUDE NEW WATER SERVICE TO NEW MAIN SHUT OFF VALVE INSIDE THE BUILDING AS NOTED ON PLUMBING DRAWINGS. INCLUDED IN BASE BID IS THE SAW CUTTING AND PATCH OF EXISTING PARKING LOT TO FACILITATE INSTALLATION OF NEW SERVICE.

1. ALTERNATE NO. 1: INSTALLATION OF DISTRIBUTION PIPING AND VALVES FROM MAIN SHUT OFF VALVE TO EXISTING FIXTURES AND EQUIPMENT. EXISTING PIPING WILL BE ABANDONED IN PLACE; SEE PLUMBING DRAWINGS. INCLUDED IN THIS ALTERNATE IS THE DEMOLITION AND PATCHING OF EXISTING CMU WALLS, NEW CEILING ACCESS PANELS THAT WILL FACILITATE THE NEW PIPING.

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 JOHN W. PETERSON
 7/15/16

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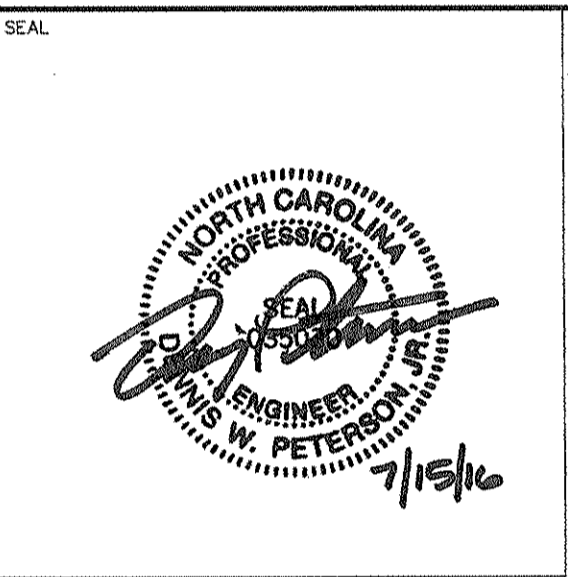
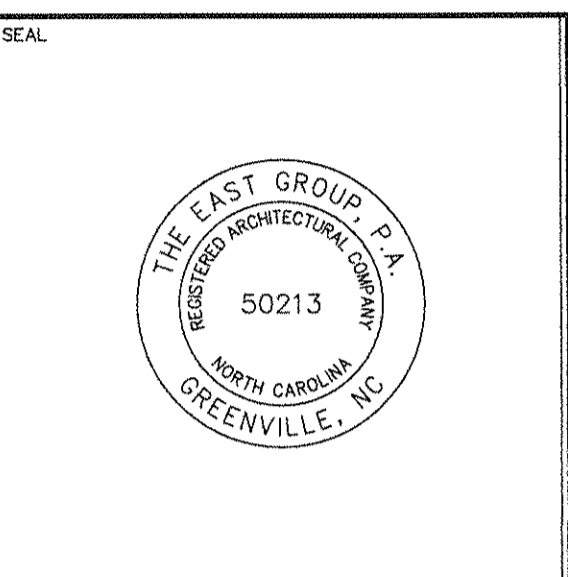
REG PROJECT NO. 20150152
 CLIENT PROJECT NO. 6

PROJECT TITLE
**CITY OF GREENVILLE
 RECREATION AND PARKS
 GREENVILLE AQUATICS
 CENTER - RENOVATIONS**

DRAWING TITLE
**LEGEND & GENERAL
 NOTES**

DRAWING NO.
P0.1

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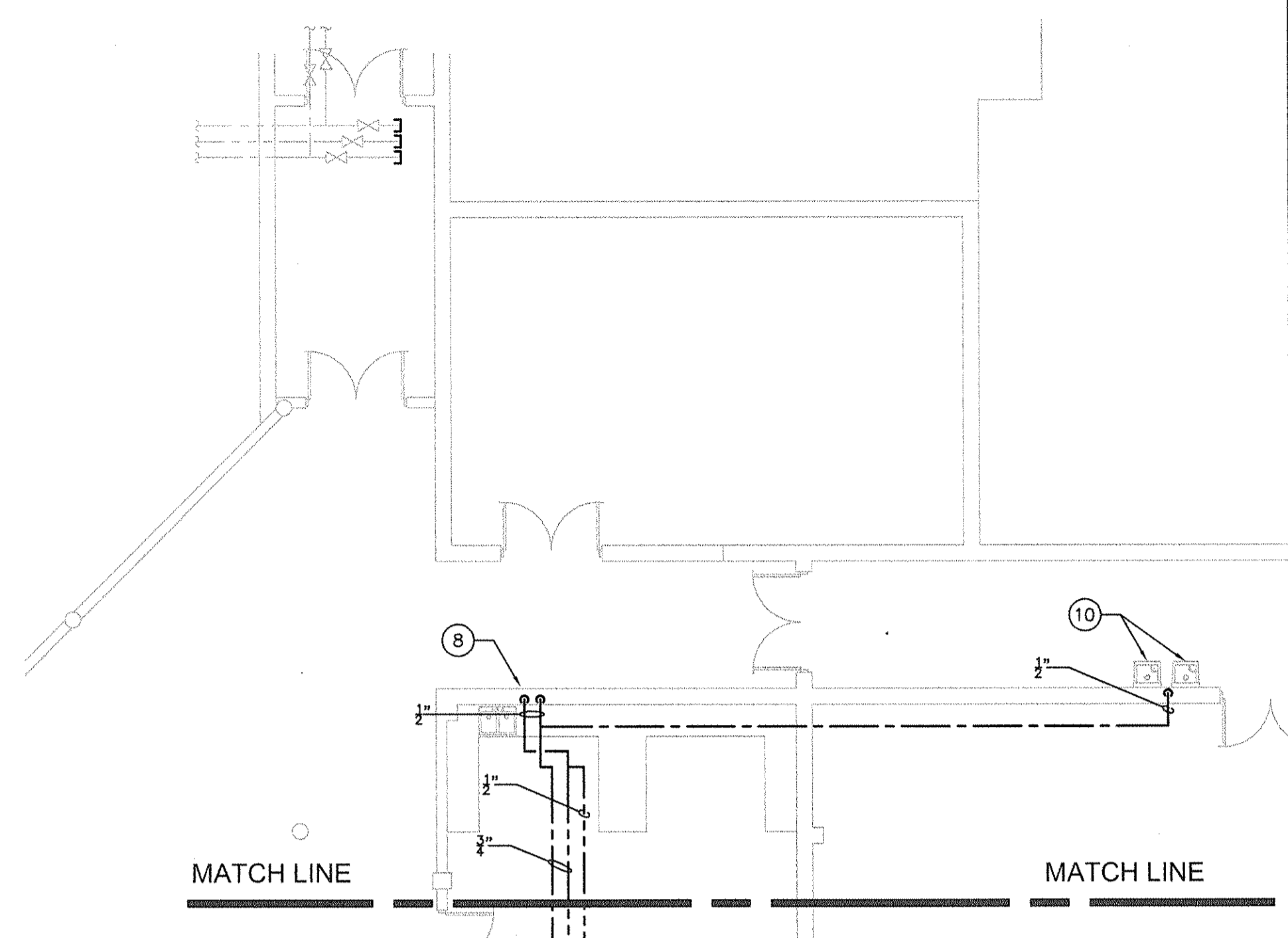
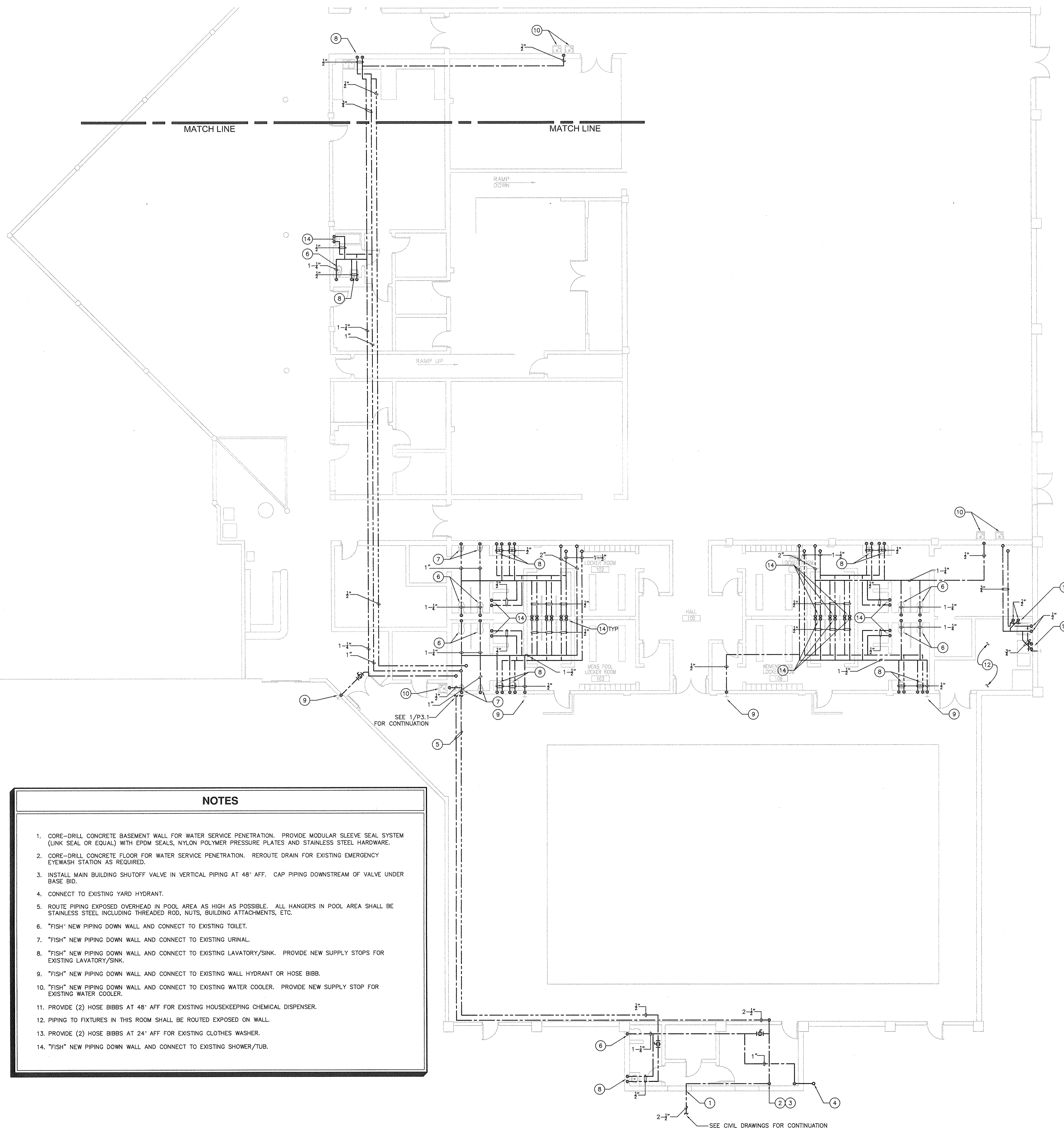
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**CITY OF GREENVILLE
 RECREATION AND PARKS
 GREENVILLE AQUATICS
 CENTER - RENOVATIONS**

DRAWING TITLE
**PARTIAL FIRST FLOOR
 RENOVATION PLAN**

DRAWING NO.
P2.1



2 PARTIAL FIRST FLOOR WATER PLAN
 1/8"=1'-0"

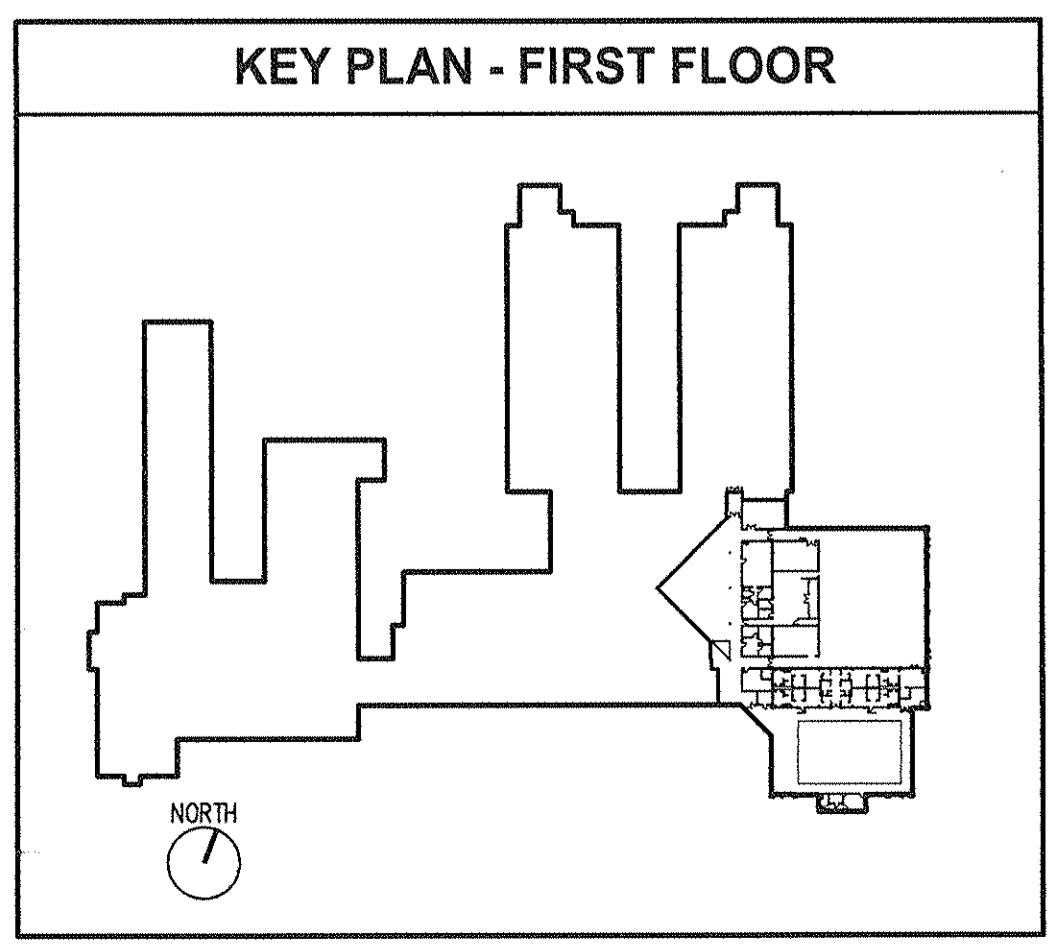
- NOTES**
- CORE-DRILL CONCRETE BASEMENT WALL FOR WATER SERVICE PENETRATION. PROVIDE MODULAR SLEEVE SEAL SYSTEM (LINK SEAL OR EQUAL) WITH EPDM SEALS, NYLON POLYMER PRESSURE PLATES AND STAINLESS STEEL HARDWARE.
 - CORE-DRILL CONCRETE FLOOR FOR WATER SERVICE PENETRATION. REROUTE DRAIN FOR EXISTING EMERGENCY EYEWASH STATION AS REQUIRED.
 - INSTALL MAIN BUILDING SHUTOFF VALVE IN VERTICAL PIPING AT 48" AFF. CAP PIPING DOWNSTREAM OF VALVE UNDER BASE BID.
 - CONNECT TO EXISTING YARD HYDRANT.
 - ROUTE PIPING EXPOSED OVERHEAD IN POOL AREA AS HIGH AS POSSIBLE. ALL HANGERS IN POOL AREA SHALL BE STAINLESS STEEL INCLUDING THREADED ROD, NUTS, BUILDING ATTACHMENTS, ETC.
 - "FISH" NEW PIPING DOWN WALL AND CONNECT TO EXISTING TOILET.
 - "FISH" NEW PIPING DOWN WALL AND CONNECT TO EXISTING URINAL.
 - "FISH" NEW PIPING DOWN WALL AND CONNECT TO EXISTING LAVATORY/SINK. PROVIDE NEW SUPPLY STOPS FOR EXISTING LAVATORY/SINK.
 - "FISH" NEW PIPING DOWN WALL AND CONNECT TO EXISTING WALL HYDRANT OR HOSE BIBB.
 - "FISH" NEW PIPING DOWN WALL AND CONNECT TO EXISTING WATER COOLER. PROVIDE NEW SUPPLY STOP FOR EXISTING WATER COOLER.
 - PROVIDE (2) HOSE BIBBS AT 48" AFF FOR EXISTING HOUSEKEEPING CHEMICAL DISPENSER.
 - PIPING TO FIXTURES IN THIS ROOM SHALL BE ROUTED EXPOSED ON WALL.
 - PROVIDE (2) HOSE BIBBS AT 24" AFF FOR EXISTING CLOTHES WASHER.
 - "FISH" NEW PIPING DOWN WALL AND CONNECT TO EXISTING SHOWER/TUB.

1 PARTIAL FIRST FLOOR WATER PLAN
 1/8"=1'-0"

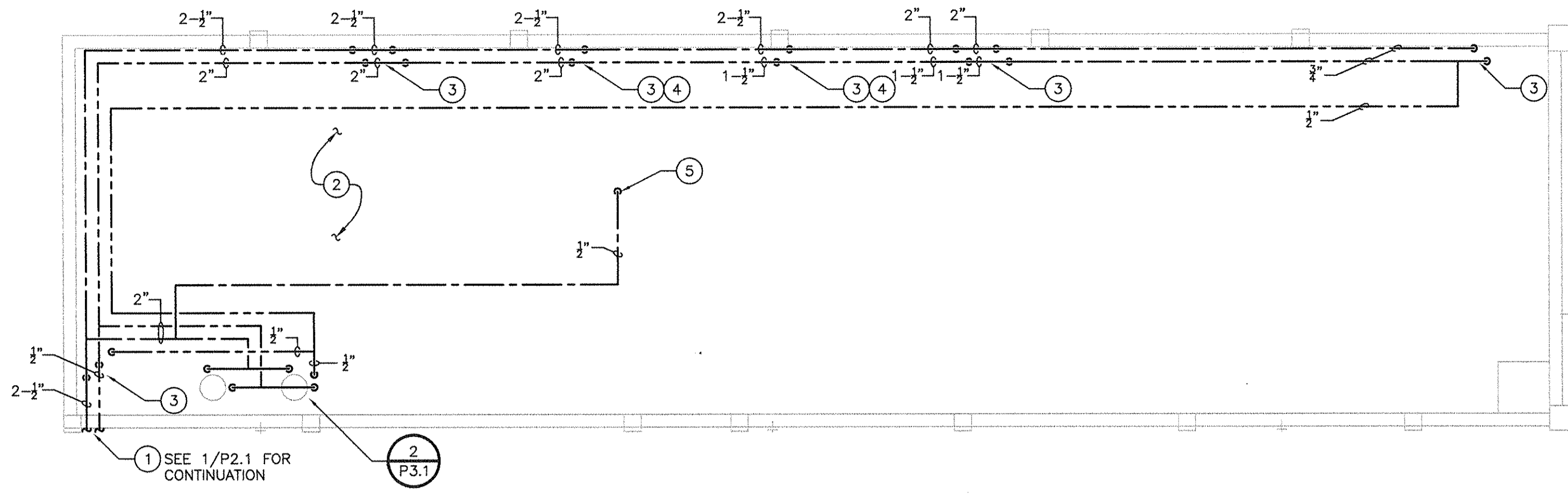
BASE BID AND ALTERNATES

BASE BID SHALL INCLUDE NEW WATER SERVICE TO NEW MAIN SHUT OFF VALVE INSIDE THE BUILDING AS NOTED ON PLUMBING DRAWINGS. INCLUDED IN BASE BID IS THE SAW CUTTING AND PATCH OF EXISTING PARKING LOT TO FACILITATE INSTALLATION OF NEW SERVICE.

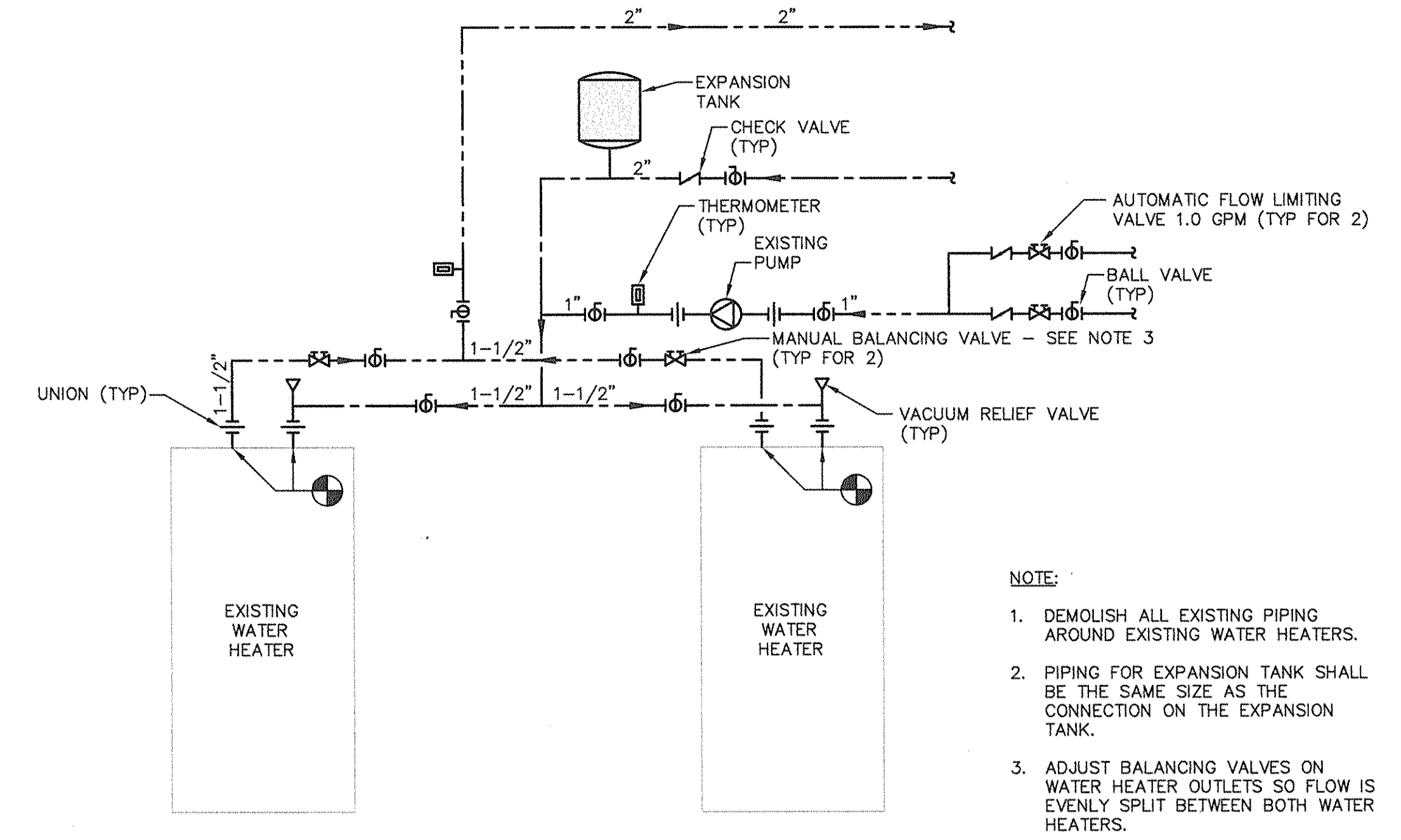
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1 MEZZANINE RENOVATION PLAN
1/8" = 1'-0"



2 NEW PIPING @ EXISTING WATER HEATERS
NTS

- NOTE:**
1. DEMOLISH ALL EXISTING PIPING AROUND EXISTING WATER HEATERS.
 2. PIPING FOR EXPANSION TANK SHALL BE THE SAME SIZE AS THE CONNECTION ON THE EXPANSION TANK.
 3. ADJUST BALANCING VALVES ON WATER HEATER OUTLETS SO FLOW IS EVENLY SPLIT BETWEEN BOTH WATER HEATERS.

NOTES

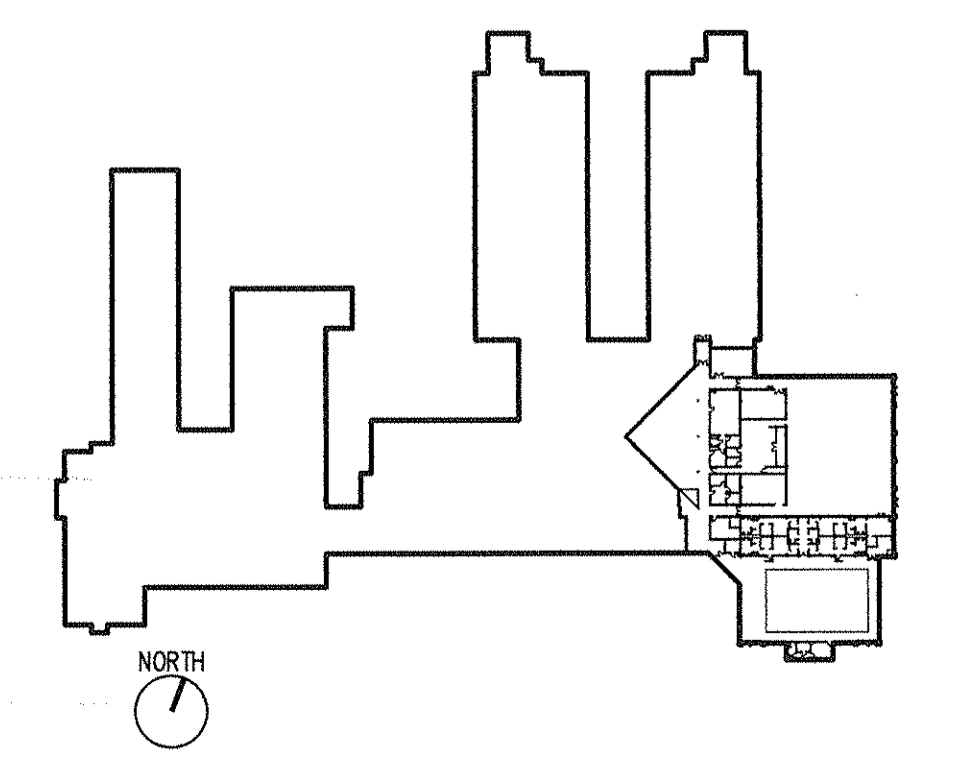
1. CORE-DRILL CMU WALL FOR PIPING PENETRATIONS.
2. ROUTE PIPING BELOW LAY-IN CEILING.
3. PROVIDE SHUTOFF VALVES IN VERTICAL PIPING AT 48" AFF. CORE-DRILL CONCRETE MEZZANINE FLOOR FOR PIPING PENETRATIONS.
4. PROVIDE 1-1/4" COLD WATER AND 3/4" HOT WATER VALVED AND CAPPED TAPS FOR FUTURE CONNECTION UNDER ALTERNATE NO. 1.
5. CONNECT TO EXISTING BACKFLOW PREVENTER FOR BOILER MAKEUP.

BASE BID AND ALTERNATES

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KEY PLAN - FIRST FLOOR

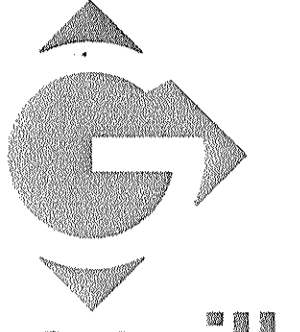


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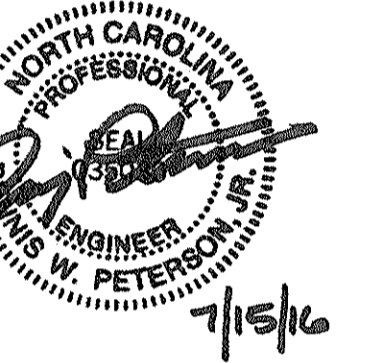
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DOM		

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DRAWING TITLE
MEZZANINE
RENOVATION PLAN,
DETAILS &
SCHEDULES

DRAWING NO.

P3.1

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