

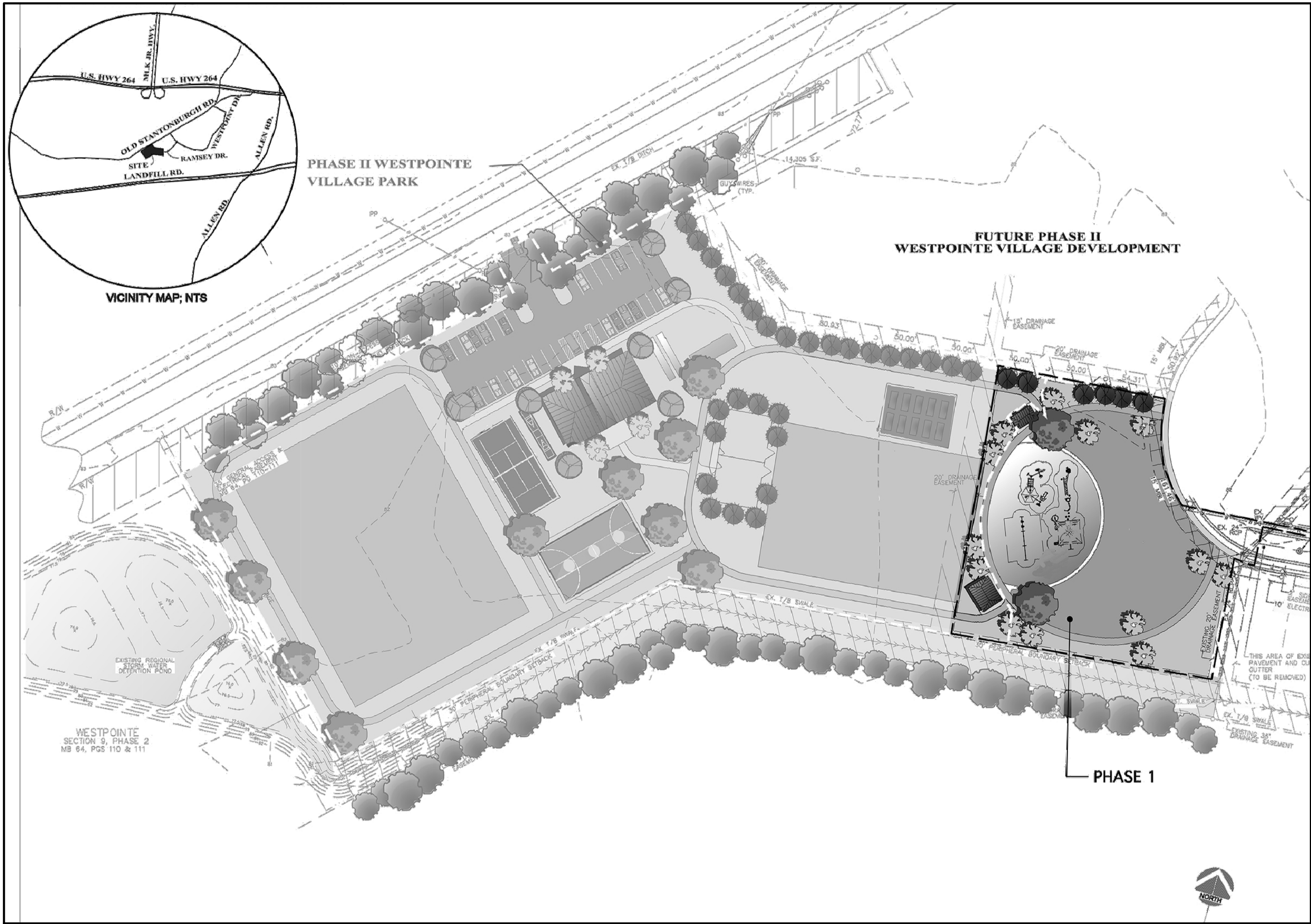
WESTPOINTE VILLAGE PARK - Phase 1

Greenville, North Carolina

ISSUED FOR CITY OF GREENVILLE SITE PLAN REVIEW

March 16, 2018

The East Group Project No. 2017212



SHEET INDEX

- L0.2 Existing Conditions, Demolition & Erosion Control Plan
- L1.1 Materials Plan
- L2.1 Layout Plan
- L3.1 Grading & Drainage Plan
- L4.1 Planting Plan
- C3.1 Utilities Plan
- Site Survey (by others)



Engineering Architecture
Surveying Technology

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NC Engineering License No. C-0206
NC Architectural License No. 50213
NC Landscape Architectural License No. C-427

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FINAL DRAWINGS -
FOR REVIEW PURPOSES ONLY

CHK

BY

ISSUED FOR SITE PLAN REVIEW

DESCRIPTION

DATE

03/19/18

REV

A

PROJECT NO.

PROJECT #20170212

CLIENT PROJECT NO.

PROJECT TITLE

CITY OF GREENVILLE
WESTPOINTE VILLAGE
PARK SITE
IMPROVEMENTS-PHASE 1

DRAWING TITLE

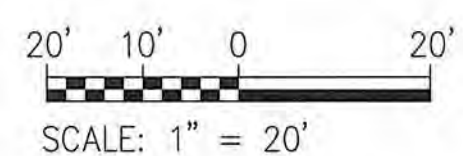
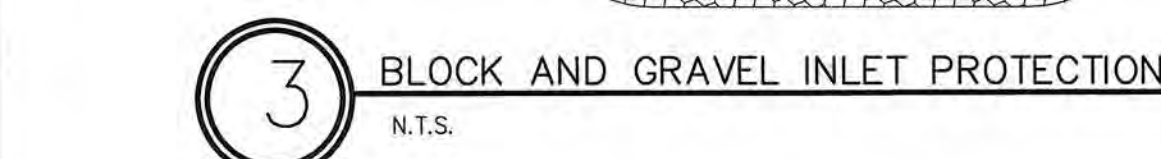
DRAWING NO.

1. BACKFILL ALL REMOVED UTILITY TRENCHES, TREE REMOVAL, ETC. WITH SELECT FILL, COMPACTED TO 95% STANDARD PROCTOR.	6. NEW STORM DRAINAGE SHALL BE INSTALLED PRIOR TO DEMOLITION OF EXISTING STORM DRAINAGE, TO THE EXTENT POSSIBLE, TO PREVENT FLOODING OF EX. FACILITIES.	10. ALL DEBRIS FROM DEMOLITION ACTIVITIES SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY IN ACCORDANCE WITH ALL AGENCIES HAVING JURISDICTION.
2. CONTRACTOR IS RESPONSIBLE FOR CLEAN OUT OF EXISTING STORM DRAINAGE LOCATED WITHIN THE CONSTRUCTION LIMITS.	7. LOCATION OF WATER AND SEWER SERVICES ARE APPROXIMATE AND SHALL BE VERIFIED PRIOR TO ANY EXCAVATION OCCURRING ON SITE.	
3. ALL CONCRETE AND ASPHALT REMOVED SHALL BE SAW CUT OR REMOVED TO NEXT EXPANSION JOINT.	8. CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS FROM DAMAGE DURING CONSTRUCTION AND SHALL RESTORE ANY DAMAGED IMPROVEMENTS AT THE END OF CONSTRUCTION AT CONTRACTOR'S EXPENSE.	
4. PROVIDE TREE PROTECTION FENCING TO ALL EXISTING TREES WITHIN 10' OF CONSTRUCTION LIMITS.	9. GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL UTILITY SERVICES, DRAINAGE, ETC., TO THIS AREA OR ADJACENT AREAS DURING DEMOLITION AND CONSTRUCTION.	
5. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING 9. ALL STORM WATER DRAINAGE OUTFALLS DURING CONSTRUCTION, E.C. SHALL COORDINATE CONSTRUCTION OF PROPOSED MAIN DRAINAGE OUTFALL LINES PRIOR TO DEMOLITION OF EXISTING LINES.		

1. ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD BUT NOT WITHIN 50FT OF A PROPOSED/ EXISTING CATCH BASIN AND/ OR INLETS, TOP OF BANK OF PERENNIAL STREAM, SURFACE WATER BODY, OR WETLAND.
2. A CONCRETE WASHOUT SIGN SHALL BE INSTALLED IN CLOSE PROXIMITY OF THE AREA AND SHALL BE CLEARLY VISIBLE.
3. GEOMEMBRANE BASIN LINER SHALL CONSIST OF A POLYPROPYLENE OR POLYETHYLENE 10 MIL THICK GEOMEMBRANE.
4. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.

1. MAINTAIN WASHOUT STRUCTURE TO PROVIDE ADEQUATE CAPACITY PLUS A MINIMUM OF 12 INCHES. REMOVE AND DISPOSE OF HARDENED CONCRETE AND RETURN THE STRUCTURE TO A CAPACITY CONDITION AFTER REACHING 75% CAPACITY.
2. INSPECT WASHOUT STRUCTURE FOR DAMAGE AND MAINTAIN FOR EFFECTIVENESS WEEKLY.
3. REMOVE CONCRETE STRUCTURE AND SIGN ON PROJECT COMPLETION, DISPOSE CONCRETE IN APPROVED LANDFILL SITE OR ELSE.
4. GRADE THE EARTH MATERIAL TO MATCH EXISTING CONTOURS AND SEED ACCORDINGLY TO PLANT SCHEDULE. MULCH AREA ACCORDINGLY.
5. PROVIDE 2" SAND LAYER TO CONCRETE WASHOUT PIT. ST

E TO PROVIDE ADEQUATE
 12 INCHES. REMOVE AND
 AND RETURN THE STRUCTURE
 AFTER REACHING 75%
 FOR DAMAGE AND MAINTAIN
 E AND SIGN ON PROJECT
 SITE IN APPROVED LANDFILL SITE
 TO MATCH EXISTING CONTOURS
 LAND SCHEDULE. MULCH AREA
 CONCRETE WASHOUT PIT. STRAW BALE) 10 mil PLASTIC



SITE DATA:
TOTAL ACREAGE.....6.25 AC.
ZONING.....PUD
PHYSICAL ADDRESS.....0 STANTONSBURG ROAD
CITY/STATE/ZIP.....GREENVILLE, NC 27835
BUILDING TYPE/USE.....NA
OWNER NAME.....CITY OF GREENVILLE
OWNER ADDRESS.....PO BOX 7207
CITY/STATE/ZIP.....GREENVILLE, NC 27834
LAND USE.....PARK
BLOCK / LOT.....188
PARCEL No.....83978
PIN No.....4667661433
SUBDIVISION.....11 1
DEED BOOK / PAGE.....DB 3567 PG 687
MAP BOOK.....MB 81 PG 157
MUNICIPALITY.....GREENVILLE
TOWNSHIP.....ARTHUR
NEIGHBORHOOD.....004381
BUILDING AREA.....NA
BUILDING HEIGHT.....NA
EXISTING PARKING SPACES.....NA
EX. HC SPACES.....NA
DISTURBED AREA (CONSTR. LIMITS).....0.98 AC.
IMPERVIOUS AREA
EXISTING.....0.16 AC.
PROPOSED.....0.16 AC.
TOTAL IMPERVIOUS AREA.....0.16 AC.

GENERAL NOTES:

1. SITE SHALL MEET ALL RELATED ACCESSIBILITY REQUIREMENTS.
2. ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO THE CITY OF GREENVILLE MSDD.
3. CONTRACTOR MUST NOTIFY ONE-CALL CENTER, INC. (NC ONE-CALL) (1-800-632-4949 OR 811) AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION OR TRENCHING TO HAVE ALL UNDERGROUND UTILITIES LOCATED.
4. ACCESSIBLE ROUTE IS PROVIDED FROM EXISTING CONCRETE SIDEWALK ON GRENA DRIVE.
5. THIS PROJECT DISTURBS LESS THAN 1-ACRE, AND IS BELOW THE THRESHOLD REQUIRING AN EROSION & SEDIMENT CONTROL PERMIT.

NOTES: SUBMITTALS, LAYOUT, & MOCK-UPS

AT MINIMUM, THE FOLLOWING SHOP DRAWINGS MUST BE SUBMITTED FOR APPROVAL:

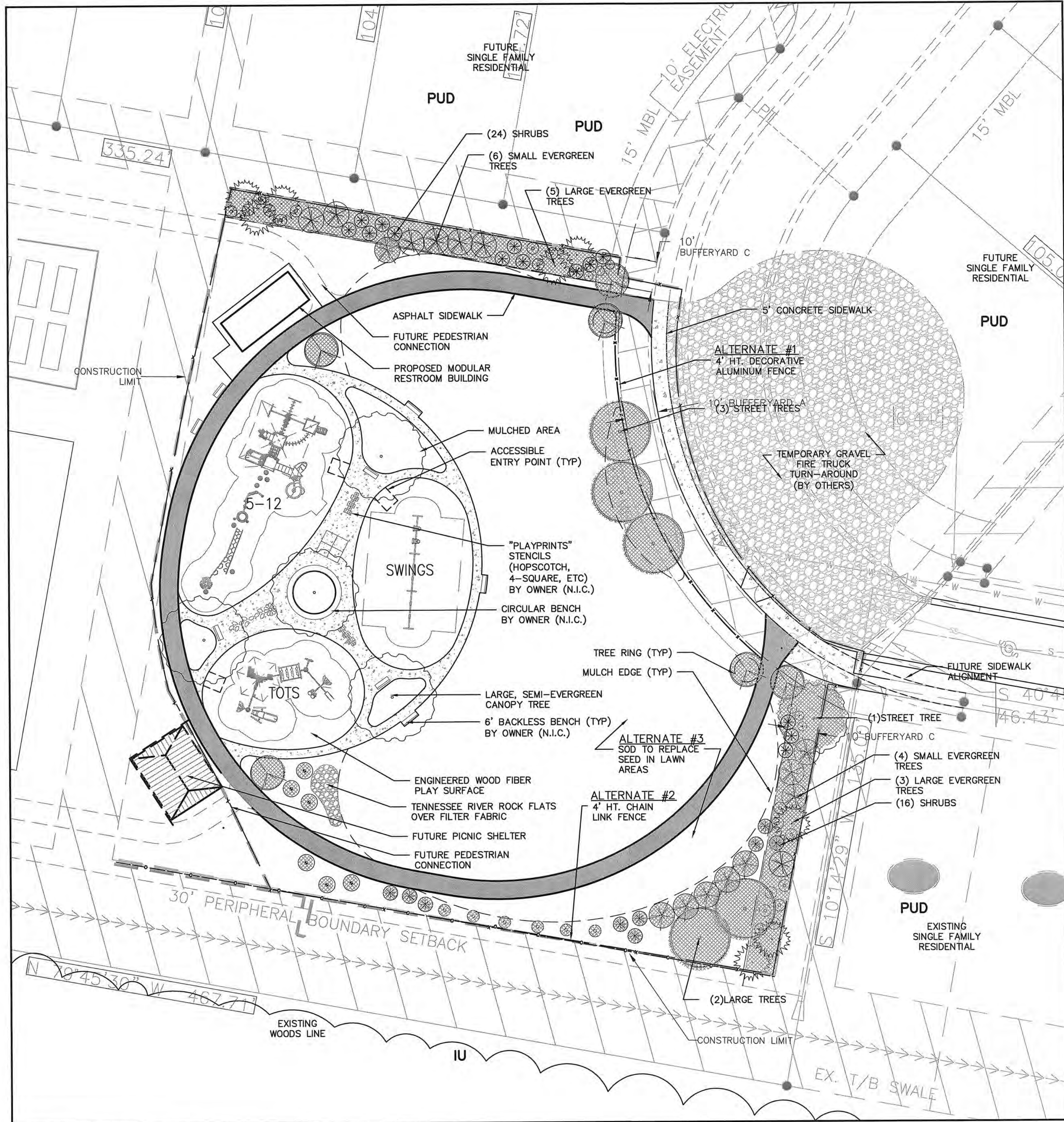
1. PLANTING (ALL MATERIALS INCLUDING PLANT PHOTOGRAPHS, NURSERY SOURCES, MULCH SAMPLES)
2. PLANTING SOIL TEST AND SAMPLE
4. PAVEMENT CONCRETE MIX DESIGN
5. MATERIALS FOR STORMWATER DRAINAGE, WATER AND SEWER UTILITIES
6. FENCE (CHAIN LINK AND DECORATIVE)

LAYOUT OF THE FOLLOWING ITEMS SHALL BE REVIEWED AND APPROVED BY OWNER ON-SITE PRIOR TO PERMANENT INSTALLATION:

1. SIDEWALK
2. PLANTING

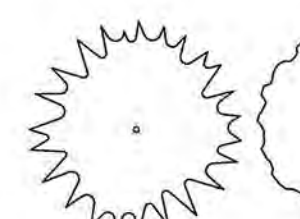
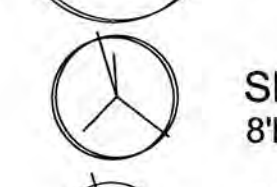

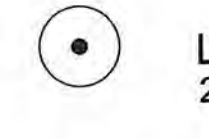
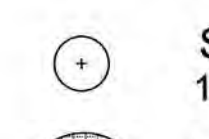
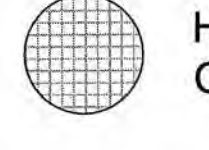
MOCK-UPS OF THE FOLLOWING MATERIALS SHALL BE PREPARED FOR REVIEW AND APPROVED BY THE OWNER ON-SITE PRIOR TO PERMANENT INSTALLATION:

1. PEDESTRIAN CONCRETE FINISHES, SCORING AND EXPANSION JOINT



MATERIALS PLAN

PLANTING LEGEND

-  LARGE TREES
10' MIN.
-  SMALL DECIDUOUS TREE
8'MIN.
-  SMALL EVERGREEN TREE
8' MIN.
-  LARGE SHRUB
2'-3' HEIGHT AND SPREAD
-  SHRUB
18" MINIMUM HEIGHT AND SPREAD
-  HATCHED AREAS INDICATE
CITY OF GREENVILLE REQUIRED PLANTINGS



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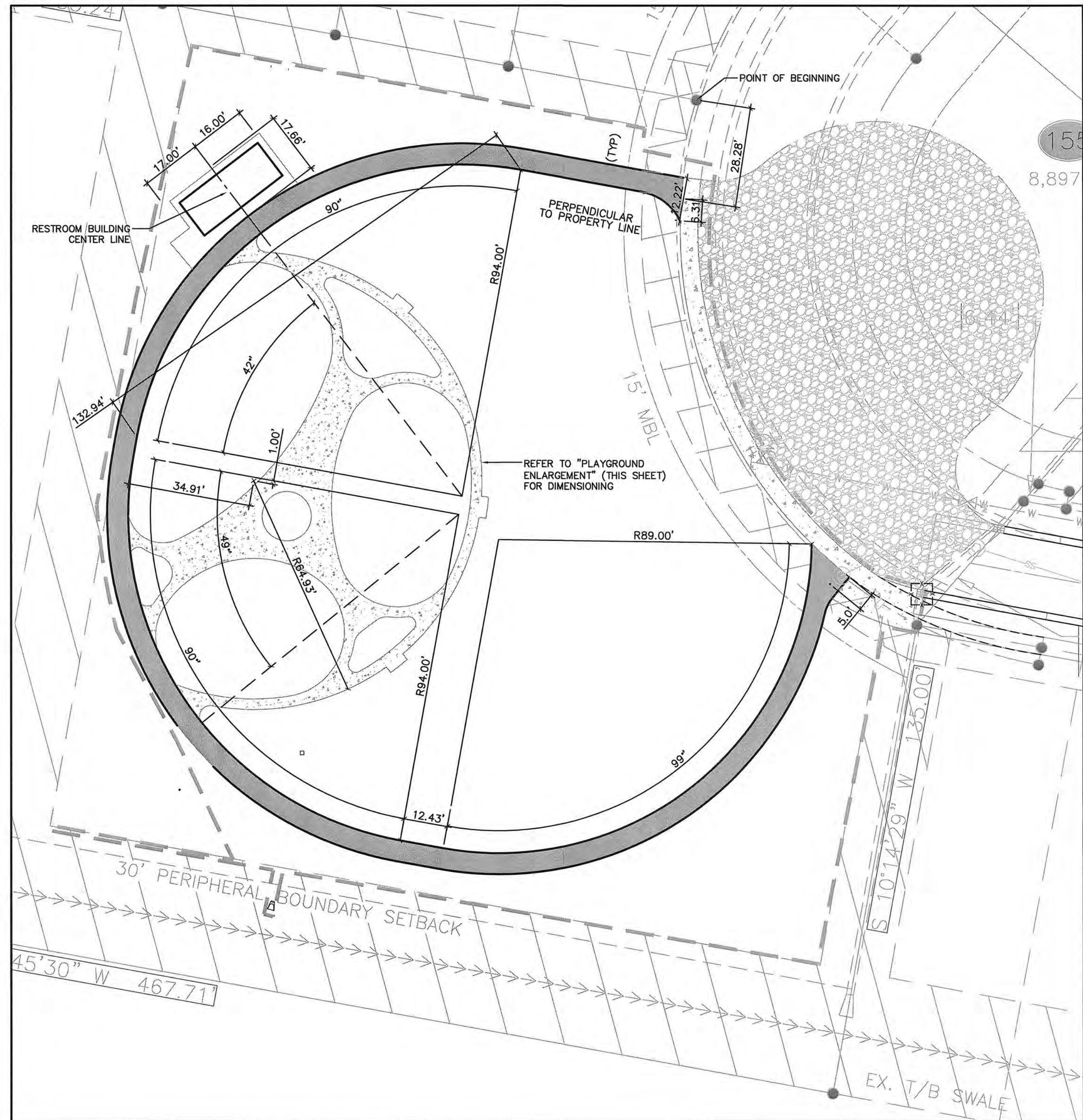
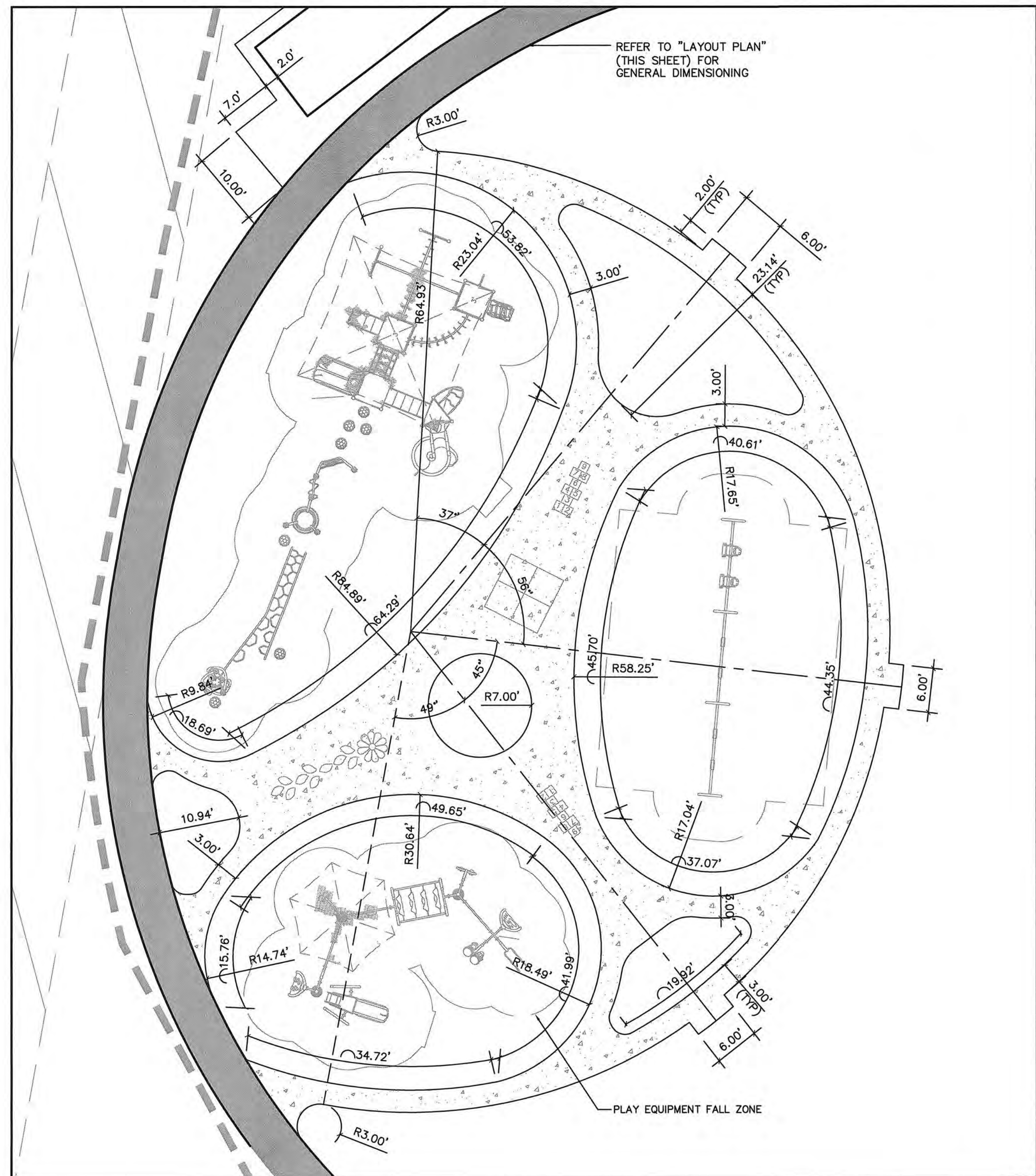
CITY OF GREENVILLE
WESTPOINTE VILLAGE
PARK SITE
IMPROVEMENTS-PHASE 1

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MATERIALS PLAN

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L1.1



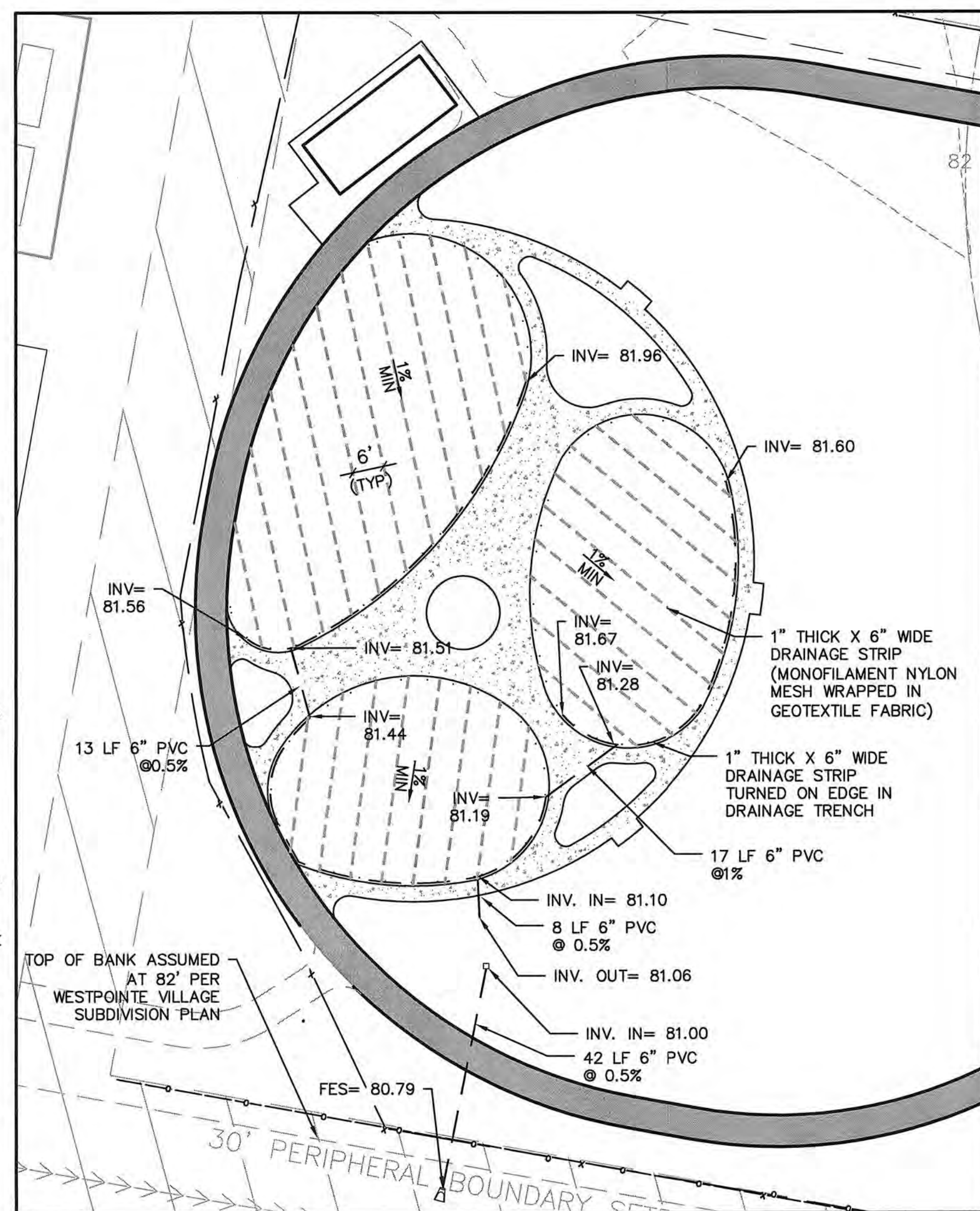
1. SCHEDULING OF A PRECONSTRUCTION CONFERENCE WITH THE ENGINEERING DIVISION IS REQUIRED PRIOR TO INITIATING LAND DISTURBING ACTIVITIES. FOR SCHEDULING PLEASE CALL (252) 329-4467. A 24-HOUR NOTICE IS REQUIRED. NO PERSON MAY INITIATE A LAND DISTURBING ACTIVITY BEFORE NOTIFYING THE CITY OF THE DATE OF LAND DISTURBING ACTIVITY.
2. NO LAND DISTURBING ACTIVITY BEYOND THAT REQUIRED TO INSTALL APPROPRIATE EROSION CONTROL MEASURES MAY PROCEED UNTIL EROSION CONTROL MEASURES ARE INSPECTED AND APPROVED BY CITY OF GREENVILLE.
3. SEED AND MULCHING OR OTHERWISE PROVIDE GROUND COVER DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION FOR ALL EXPOSED SLOPES WITHIN 14 WORKING DAYS OF COMPLETING ANY PHASE OF GRADING.
4. CONTRACTOR SHALL INSPECT AND MAINTAIN AS NEEDED ALL EROSION CONTROL DEVICES ON A WEEKLY BASIS AND AFTER EACH 0.5" OVER 24-HOUR PERIOD RAINFALL. EVENTUAL FAILURE TO KEEP EROSION CONTROL DEVICES IN GOOD WORKING ORDER MAY RESULT IN ISSUANCE OF A STOP WORK ORDER OR CIVIL PENALTIES UP TO \$5,000 PER DAY OF VIOLATION. SITES UTILIZING SEDIMENT TRAPS MUST ALSO SPECIFY A MAXIMUM DEPTH OF SEDIMENT PRIOR TO CLEAN OUT.
5. THE CITY ENGINEER RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES SHOULD THE PLAN OR ITS IMPLEMENTATION PROVE TO BE INADEQUATE.
6. ACCEPTANCE AND APPROVAL OF THIS PLAN IS CONDITIONED UPON COMPLIANCE WITH FEDERAL AND STATE WATER QUALITY LAWS, REGULATIONS, AND RULES. IN ADDITION, LOCAL CITY AND COUNTY ORDINANCES OR RULES MAY ALSO APPLY TO THIS LAND-DISTURBING ACTIVITY. APPROVAL BY THE CITY DOES NOT SUPERCEDE ANY OTHER PERMIT OR APPROVAL.
PLEASE ADVISE THE CITY OF RULES TO PROTECT AND MAINTAIN EXISTING BUFFERS ALONG WATERCOURSES IN THE NEUSE AND TAR RIVER BASINS. THESE RULES ARE ENFORCED BY THE DIVISION OF WATER QUALITY (DWQ). DIRECT ANY QUESTIONS ABOUT THE APPLICABILITY OF THESE RULES TO YOUR PROJECT TO THE REGIONAL WATER QUALITY SUPERVISOR, WASHINGTON REGIONAL OFFICE AT (252) 946-6481.
7. INSTALL INLET PROTECTION AROUND ALL CATCH BASINS, DROP INLETS OR INLET STRUCTURES WITHIN THE CONSTRUCTION/DISTURBED AREA.
8. CONTRACTOR SHALL PROVIDE MEASURES TO CLEAN ANY SOLS OR SEDIMENT THAT IS TRACKED, PLACED, OR FLOW INTO EXISTING PAVEMENT AND IMPROVED SURFACES THAT ARE TO REMAIN.

1. SCARIFY SOIL TO A DEPTH OF THREE (3) INCHES AND WORK INTO A SATISFACTORY SEED BED BY DISKING, USE OF CULTIPACKERS, HARROWS, DRAGS AND OTHER APPROVED MEANS.
2. PREPARATION OUTLINED ABOVE SHALL NOT BE DONE WHEN THE SOIL IS FROZEN, WET OR OTHERWISE IN AN UNFAVORABLE CONDITION.
3. BEGIN AND COMPLETE SEEDING OPERATIONS AS OUTLINED AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED, BUT IN NO EVENT LATER THAN 14 CALENDAR DAYS AFTER COMPLETION OF FINAL GRADING.
4. SEEDING AND MULCHING OPERATIONS SHALL NOT BEGIN UNTIL ELECTRICAL SERVICE HAS BEEN INSTALLED WITHIN THE PROJECT, UNLESS DIRECTED BY THE ARCHITECT/ENGINEER.
5. DISTRIBUTE LIME AND FERTILIZER, UNIFORMLY OVER SEED BED AND HARBOR, RAKE, OR OTHERWISE WORK SAME INTO SEED BEDS.
6. DISTRIBUTE SEED UNIFORMLY OVER SEED BED. COVER SEED LIGHTLY AFTER SEEDING.
7. NO LIME, FERTILIZER, OR SEED SHALL BE APPLIED DURING A STRONG WIND, WHEN SOIL IS WET OR OTHERWISE UNWORKABLE. SEED SHALL FOLLOW SEEDING BEFORE ROLLING IS BEGUN, THE BED SHALL NOT BE ROLLED.

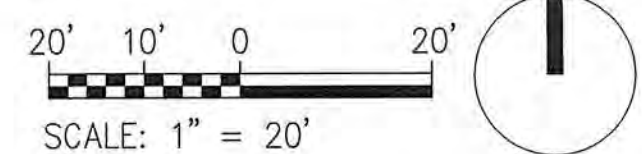
ALL ROADWAY AREAS			
MARCH 1 - AUGUST 31		SEPTEMBER 1 - FEBRUARY 28	
50#	TALL FESCUE	50#	TALL FESCUE
10#	CENTPEDE	10#	CENTPEDE
25#	BERMUDAGRASS (HULLED)	35#	BERMUDAGRASS (HULLED)
500#	FERTILIZER	500#	FERTILIZER
4000#	LIMESTONE	4000#	LIMESTONE
WATER AND BORROW LOCATIONS			
MARCH 1 - AUGUST 31		SEPTEMBER 1 - FEBRUARY 28	
75#	TALL FESCUE	75#	TALL FESCUE
25#	BERMUDAGRASS (HULLED)	35#	BERMUDAGRASS (HULLED)
500#	FERTILIZER	500#	FERTILIZER
4000#	LIMESTONE	4000#	LIMESTONE
NOTE: 50# OF BAHAGRASS MAY BE SUBSTITUTED FOR EITHER CENTPEDE OR BERMUDAGRASS ONLY UPON ENGINEER'S REQUEST.			

GROUND STABILIZATION		
SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
* PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
* HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
* SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
* SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
* ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)

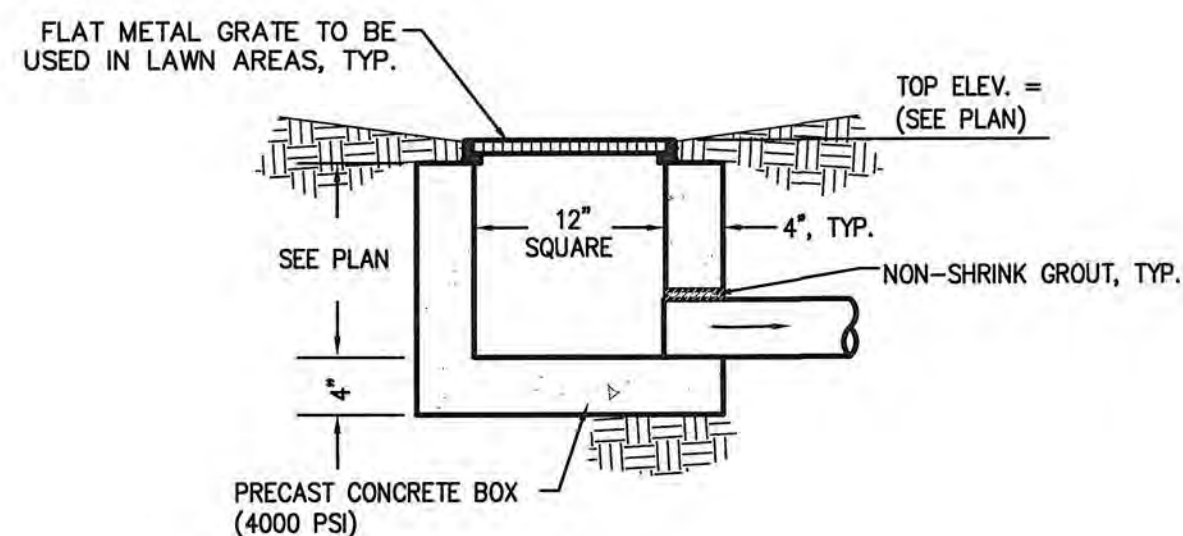
DATE			
APR 15-AUG 14	GERMAN MILLET	50 LBS/ACRE	
AUG 15-APR 14	RYE (GRAIN)	50 LBS/ACRE	
YEAR ROUND	FERTILIZER 10-20-20 ANALYSIS	400 LBS/ACRE	



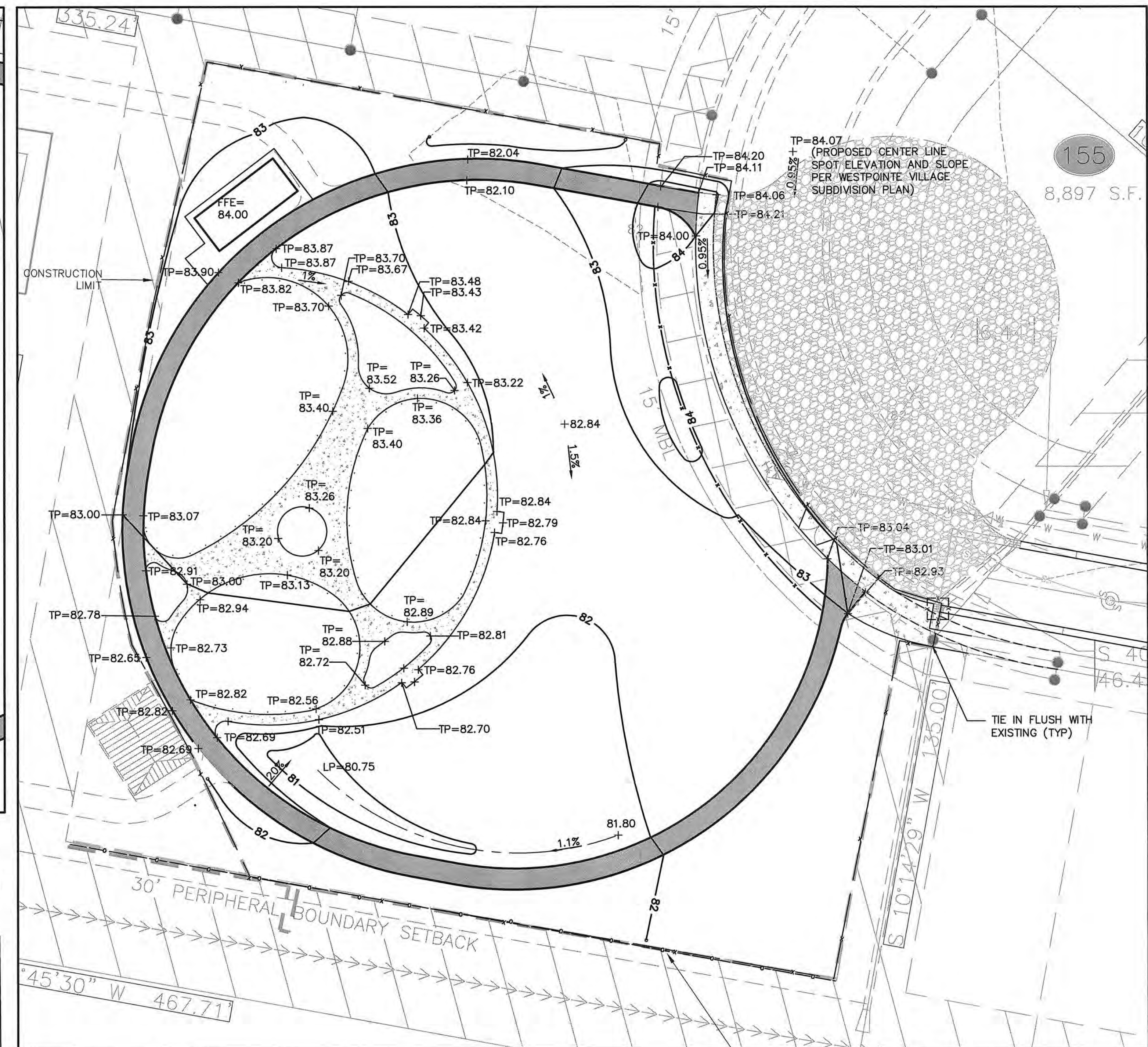
PLAY AREA SUB-SURFACE DRAINAGE



EX=(XX.XX)=	EXISTING SPOT ELEVATION
TP=	TOP OF PAVEMENT
HP=	HIGH POINT
LP=	LOW POINT
FFE=	FINISH FLOOR ELEVATION
CO=	CLEAN OUT
INV=	INVERT
FES=	FLARED END SECTION



1 12" Yard Inlet
NTS



GRADING PLAN

1. CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE/EXIT.
2. DISTURB LAND ONLY AS NECESSARY TO INSTALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES AS NEEDED OR AS DIRECTED BY THE ENGINEER.
3. PERFORM SITE CLEARING AND DEMOLITION, IN ACCORDANCE WITH PLANS, INCLUDING REMOVAL OF EXISTING PAVEMENT, CURB & GUTTER, SIDEWALK, AGGREGATE BASE COURSE, TREES, SHRUBS, ETC. FROM THE SITE AND DISPOSE OF DEBRIS AT AN APPROVED SITE. PRIOR TO AND DURING DEMOLITION PHASE INSTALL APPROPRIATE EROSION AND SEDIMENTATION CONTROL MEASURES.
4. BEGIN GRADING THE SITE.
5. BEGIN EXCAVATION FOR UNDERGROUND CONSTRUCTION. CONSTRUCT UNDERGROUND IMPROVEMENTS.
6. INSTALL DRAINAGE INLETS AND STORM DRAINAGE PIPING WITH TEMPORARY INLET PROTECTION.
7. CONSTRUCT BUILDING AND SITE IMPROVEMENTS.
8. MAINTAIN EROSION AND SEDIMENTATION MEASURES DURING CONSTRUCTION. CHECK THE MEASURES FOR FAILURE AND AVAILABLE SEDIMENT STORAGE AFTER EACH SIGNIFICANT RAINFALL EVENT.
9. MULCH AND SEED ALL DISTURBED AREAS. ANY SLOPES LEFT EXPOSED WILL WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION.
10. COMPLETE CONSTRUCTION OF ALL PROPOSED IMPROVEMENTS.
11. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES ONCE PERMANENT VEGETATION IS ESTABLISHED.
12. TIME OF EXPOSURE IS APPROXIMATELY 3 MONTHS OR UNTIL COMPLETION AND STABILIZATION OF THE SITE. CONTRACTOR SHALL PREPARE FOR MAINTENANCE OF THE SITE EROSION AND SEDIMENTATION MEASURES APPROPRIATE FOR THE EXPECTED DURATION.

1. ALL VEGETATION AND TOPSOIL SHALL BE STRIPPED FROM FILL AREAS PRIOR TO PLACING FILL. ALL QUESTIONABLE OR UNSUITABLE SOIL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
2. AFTER STRIPPING TOPSOIL AND PRIOR TO PLACING FILL, IT IS RECOMMENDED THAT ALL BUILDING, PARKING AND DRIVEWAY AREAS BE ROLLED WITH A VIBRATORY ROLLER TO CONSOLIDATE LOOSE SOILS IN THE UPPER SUBGRADE. A COMPACTION TEST MUST BE RUN AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY WILL BE REQUIRED PRIOR TO ENGINEER'S APPROVAL FOR FILL PLACEMENT. CONTRACTOR SHALL CONTACT THE ENGINEER AND SCHEDULE A PROOF ROLL FOR SUBGRADE AND WHEN AGGREGATE BASE COURSE HAS BEEN INSTALLED.
3. ALL FILL SHALL BE COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698).
4. ALL CULVERT CLEANOUT MUST BE DONE SUCH THAT THE SEDIMENT IS EITHER EXTRACTED OR BLOWN UPSTREAM FOR CLEANUP. UNDER NO CIRCUMSTANCES SHALL SEDIMENT BE BLOWN DOWNSTREAM.
5. GRADING CONTRACTOR SHALL TEMPORARY SEED AND MULCH ALL DISTURBED AREAS IN ACCORDANCE WITH THE SPECIFICATIONS WITHIN 14 DAYS OF COMPLETION OF GRADING WORK. UPON COMPLETION OF THE PROJECT, THE GENERAL CONTRACTOR SHALL INSTALL PERMANENT SEEDING AS OUTLINED IN THE SPECIFICATIONS. ALL DRAINAGE PIPES SHALL BE CLEANED BY THE GENERAL CONTRACTOR TO REMOVE ANY SEDIMENTS THAT HAVE ACCUMULATED.
6. ALL EXCESS TOPSOIL STRIP MATERIAL TO BE HAULED OFF-SITE AND DISPOSED OF AT AN APPROVED SITE.
7. ALL PLANTING AREAS SHALL BE BACKFILLED WITH TOPSOIL AND RAKED DOWN, REMOVING ALL CLODS AND ROOTS, AND LEFT READY FOR SEEDING AND PLANTING.
8. THIS SITE EXEMPT FROM STORMWATER ATTENUATION REQUIREMENTS DUE TO DISCHARGING DIRECTLY TO THE FLOODWAY.

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND SEPERATION FOLLOWING EVERY 0.5" OVER 24-HOUR PERIOD RAINFALL EVENT, BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES 0.5 FT DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
3. TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/ EXIT WILL BE INSTALLED PERMANENTLY. WHEN MUD BEGINS TO BUILD-UP, THE ENTRANCE WILL BE BLADED OFF REMOVING THE MUD, ADD NEW STONE TO ENTRANCE AS NEEDED.
4. ALL SEEDED AREAS WILL BE FERTILIZED, RE-SEEDDED AS NECESSARY AND MULCHED ACCORDING TO SPECIFICATION IN THE VEGETATIVE AREA TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
5. INSPECT INLET PROTECTION AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2" INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY.
6. REMOVE INLET SEDIMENT FROM THE SEDIMENT POOL AREA WHEN THE VOLUME IS DECREASED BY HALF.
7. REMOVE INLET SEDIMENT IF MORE THAN HALF FILLED WITH SEDIMENT AND DEBRIS, OR AS DIRECTED, REPLACE FABRIC IF TORN OR PUNCTURED TO >1/2" DIAMETER.



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CITY OF GREENVILLE
WESTPOINTE VILLAGE
PARK SITE
IMPROVEMENTS—PHASE 1

DRAWING TITLE

GRADING & DRAINAGE PLAN

DRAWING NO.
L3.1

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VEGETATION REQUIREMENTS
PER ARTICLE P, CITY OF GREENVILLE, NC ZONING
REGULATIONS

SITE DATA:

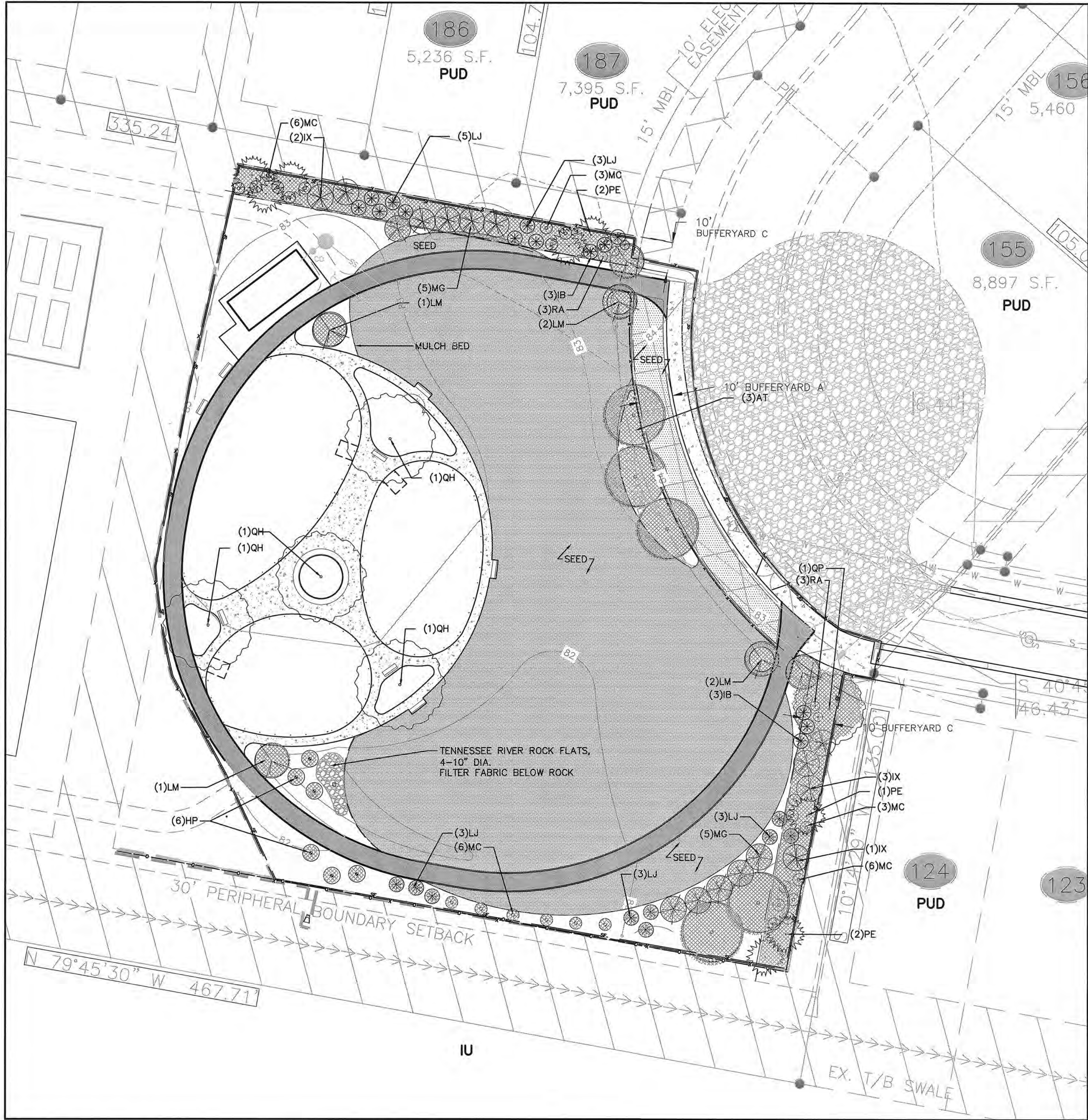
- A. REQUIRED VEGETATION PER ACRE FOR 0.98 ACRE SITE:
- THE FOLLOWING IS BASED ON SECTION 9-4-263(A)(2)
SITE VEGETATION MATERIAL REQUIREMENTS (PER ACRE)
- LARGE TREES (5)0.98AC= 5 REQ/PROVIDED
- SMALL TREES (10)0.98AC= 10 REQ/PROVIDED
- SHRUBS (25)0.98AC= 25 REQ/ 19 SHRUBS +*2 SMALL TREES PROVIDED
- PROPOSED VEGETATION SUBSTITUTIONS:
* ONE SMALL TREE FOR 3 SHRUBS
- B. REQUIRED STREET TREE VEGETATION:
- GRETNA DRIVE - 175 LF = 4 TREES REQ./ PROVIDED
- C. REQUIRED SCREENING VEGETATION FOR BUFFERYARDS:
PROPOSED LAND USE CLASSIFICATION (LUC 2)- PUBLIC PARK OR RECREATIONAL FACILITY
- NORTH - FUTURE SINGLE FAMILY DWELLINGS (LUC 1) - 150 LF BUFFERYARD "C"=
5 LG. EVERGREEN TREES; 6 SM. EVERGREEN TREES;
24 SHRUBS REQ./PROVIDED
- SOUTH - PITT COUNTY LANDFILL (LUC 5)
NO BUFFERYARD VEGETATION REQUIRED
- EAST - EXISTING SINGLE FAMILY DWELLING (LUC 1) - 100 LF BUFFERYARD "C"=
3 LG. EVERGREEN TREES; 4 SM. EVERGREEN TREES;
16 SHRUBS REQ./PROVIDED
- WEST - PUBLIC STREET ROW
NO BUFFERYARD VEGETATION REQUIRED
- D. REQUIRED VEGETATION LOCATED IN PUBLIC UTILITY OR DRAINAGE EASEMENTS: NONE

PLANTING SCHEDULE

Symbol	Key	Quantity	Botanical Name (Common Name)	Height	Spread	Caliper	Root	Notes
LARGE TREE								
	AT	5	<i>Acer truncatum</i> 'Main Street' (Main Street Maple)	14-15'	7-8'	3.5"	B&B	Straight leader; full crown; Matching. Plant @ 20' oc
	QH	4	<i>Quercus hemisphaerica</i> 'Avalyn' (Laurel Oak)	14-16'	8-9'	4"	B&B	Single, straight leader; full crown; Plant as shown.
	PE	10	<i>Pinus elliotii</i> (Slash Pine)	10' MIN	-	3"	B&B	Single, straight leader; full crown; Plant as shown.
	QP	1	<i>Quercus phellos</i> (Willow Oak)	10' MIN	-	3"	B&B	Single, straight leader; full crown; Plant as shown.
SMALL TREE								
	IX	6	<i>Ilex x 'Greenleaf'</i> (Greenleaf Holly)	8' MIN	-	1.5" MIN	15 gal.	Straight leader; full to ground; symmetrical
	LM	6	<i>Lagerstroemia</i> 'Muskogee' (Crape Myrtle)	8' MIN	-	1.5" MIN	BB	Multi-stem; Full crown; Branching at 3-4'
	MG	6	<i>Magnolia grandiflora</i> 'Alta' (Alta Magnolia)	8' MIN	-	1.5" MIN	BB	Straight leader; full to ground; symmetrical
SHRUBS								
	RA	6	<i>Rhododendron</i> 'Autumn Amethyst' (Spartan Juniper)	18" min.	22" min.	-	3 gal.	Full; Heavy; Plant @ 3.5' oc.
	MC	24	<i>Myrica cerifera</i> 'Little Bull' (Little Bull Wax Myrtle)	18" MIN	18" MIN	-	3 gal.	Full; Heavy; Plant as shown
	LJ	10	<i>Ligustrum japonicum</i> 'Jack Frost' (Nanho Blue Butterfly Bush)	18" MIN	18" MIN	-	3 gal.	Full; Heavy; Plant @ 5' oc.
	HP	6	<i>Hydrangea paniculata</i> 'Vanilla Strawberry' (Panicle Hydrangea)	24" min.	24" min.	-	7 gal.	Full; Heavy; Plant as shown
	IB	6	<i>Ilex burfordii</i> 'Nana' (Dwarf Burford Holly)	18" min.	18" min.	-	3 gal.	Full; Heavy; Plant @ 5' oc.
GRASS (ALTERNATE)								
	SOD		<i>Burmuda 'TifTuf'</i> (Burmuda Grass)					Install per notes and/or specifications

NOTES:

- A. MINIMUM PLANT SIZES SHALL BE IN ACCORDANCE WITH THE ZONING REGULATIONS AS FOLLOWS:
- | PLANTING MATERIAL TYPE | MINIMUM PLANTING SIZE |
|-----------------------------|---|
| 1. LARGE TREE - SINGLE STEM | 10' (HEIGHT) AND 2" CALIPER |
| 2. SMALL TREE | 8' (HEIGHT) AND 1.5" CALIPER |
| 3. SHRUB | 18" (HEIGHT), EXCEPT AS PROVIDED UNDER SECTION 9-4-263(a) |
- B. NO PORTION OF ANY PARKING AREA, INCLUDING ANY DRIVEWAY, PARKING SPACE, DRIVE AISLE OR TURNING AREA, SHALL BE LOCATED MORE THAN THIRTY (30) FEET FROM AN ON-SITE SMALL TREE OR MORE THAN SEVENTY-FIVE (75) FEET FROM AN ON-SITE LARGE TREE. FOR PURPOSES OF THIS SECTION, THE MEASUREMENT SHALL BE FROM THE FARTHEST EDGE OF THE SUBJECT AREA TO THE CENTER OF THE BASE OF THE CLOSEST QUALIFYING TREE.
- C. SITE PLAN APPROVAL FROM THE RESPECTIVE EASEMENT HOLDER SHALL BE CONSTRUED AS APPROVAL OF ALL ENCROACHMENTS, AS SHOWN. ON THIS PLAN. (SEE NOTE ON ITEM 1.D.)
- D. THE FOLLOWING VEGETATION MATERIALS, AS LISTED BY COMMON NAME, SHALL CONSTITUTE NOT MORE THAN TWENTY-FIVE (25) PERCENT OF THE TOTAL REQUIREMENT FOR THE SPECIFIC CATEGORY:
- | | |
|---------------------------|---|
| LARGE TREE CATEGORY: | RIVER BIRCH
ARISTOCORAT PEAR
BRADFORD PEAR
CAPITOL PEAR
CLEVELAND SELECT PEAR
RED TIP PHOTINIA |
| SMALL TREE CATEGORY: | |
| EVERGREEN SHRUB CATEGORY: | |
- E. DUMPSTER/COMPACTOR SHALL BE SCREENED ON 3 SIDES IN ACCORDANCE WITH SECTION 9-4-268 (h) OF THE CITY CODE.
- F. EXISTING SUBSTITUTE VEGETATION MATERIALS HAVE BEEN NOTED INCLUDING THEIR SPECIFIC LOCATION(S), TYPE(S), AND SIZE(S).
- G. EXISTING SUBSTITUTE VEGETATION MATERIAL SHALL BE PROTECTED FROM SITE DEVELOPMENT ACTIVITIES IN ACCORDANCE WITH SECTION 9-4-265 (F) OF THE CITY CODE.
- H. NO LARGE TREES TO BE PLANTED WITHIN SANITARY SEWER OR WATERLINE EASEMENTS.
- I. PARKING LOT AREA TO BE SCREENED IN ACCORDANCE WITH SECTION 9-4-268 (I) OF THE CITY CODE. PARKING AREA SCREENING SHALL BE INSTALLED WITHIN A 10 FOOT AREA ADJACENT TO AND EXTENDING THE FULL STREET SIDE WIDTH OF ALL PARKING AREAS WHICH FRONT A PUBLIC OR PRIVATE STREET.
- J. MINIMUM OF 3 FEET CLEARANCE MUST BE MAINTAINED AROUND ALL FIRE HYDRANTS IN ACCORDANCE WITH STATE BUILDING CODE.
- K. VEGETATION WITHIN 10' OF BUILDING SHALL NOT COUNT TOWARD SITE REQUIREMENTS.



PLANTING PLAN

NOTE:

HATCHED PLANT SYMBOLS AND AREAS INDICATES CITY OF GREENVILLE REQUIRED PLANTING. TREES ON THE PLAN (IN THE AREA OF THE PLAYGROUND) ARE DESIRED BY THE CLIENT, BUT EXCEED C.O.G. REQUIREMENTS.



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■ Surveying ■ Technology

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■ NC Architectural License No. 50213
■ NC Landscape Architectural
License No. C-427

SEAL:

SEAL:

CHK

BY

DATE

REV

DESCRIPTION

ISSUED FOR SITE PLAN REVIEW

03/19/18

PROJECT NO.

PROJECT

#20170212

CLIENT PROJECT NO.

PROJECT TITLE

CITY OF GREENVILLE

WESTPOINTE VILLAGE

PARK SITE

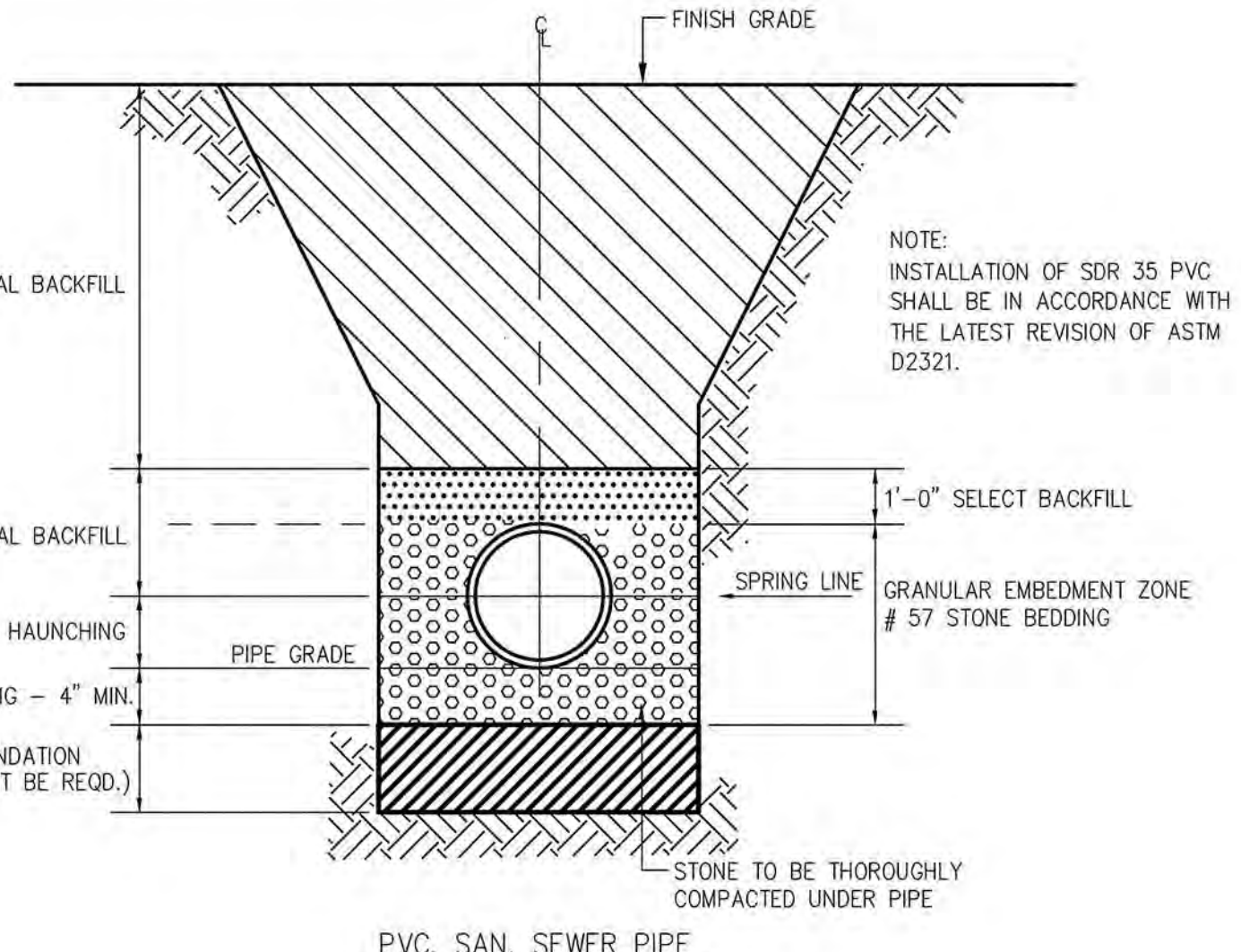
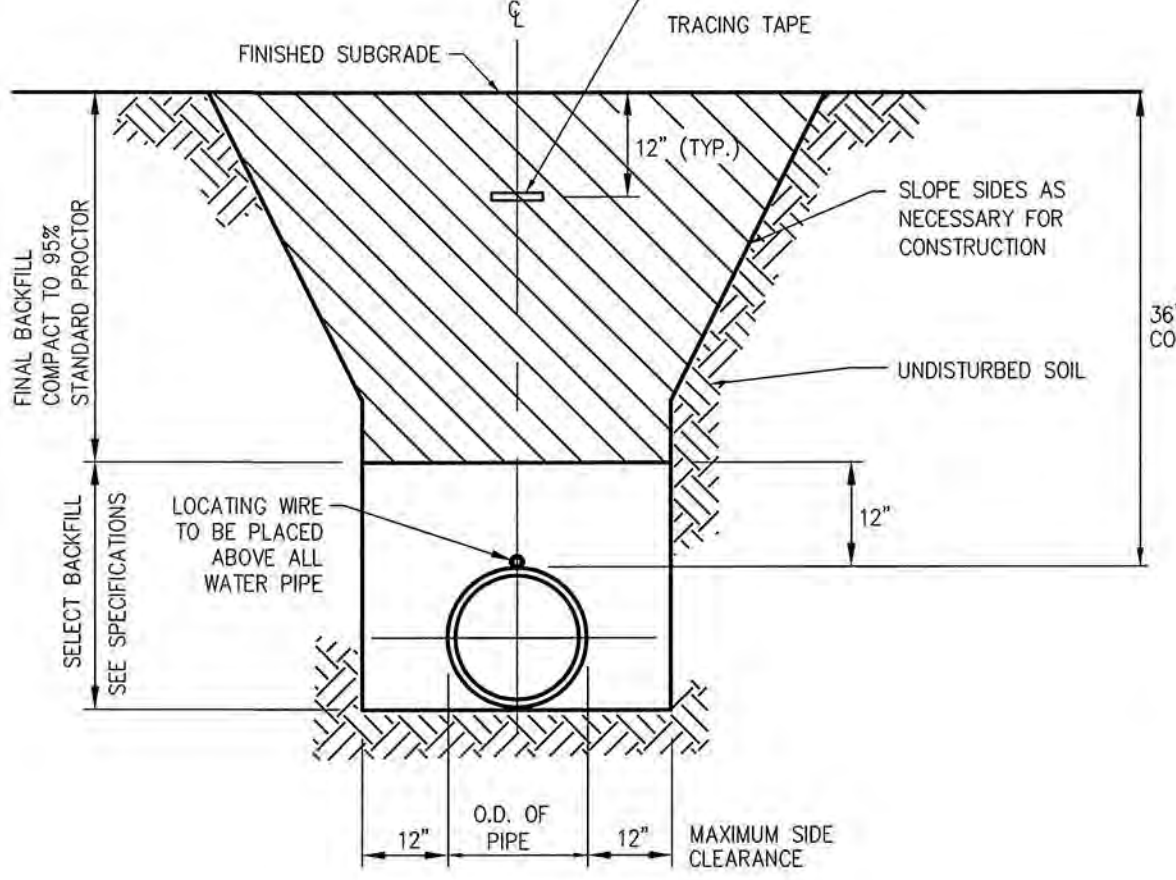
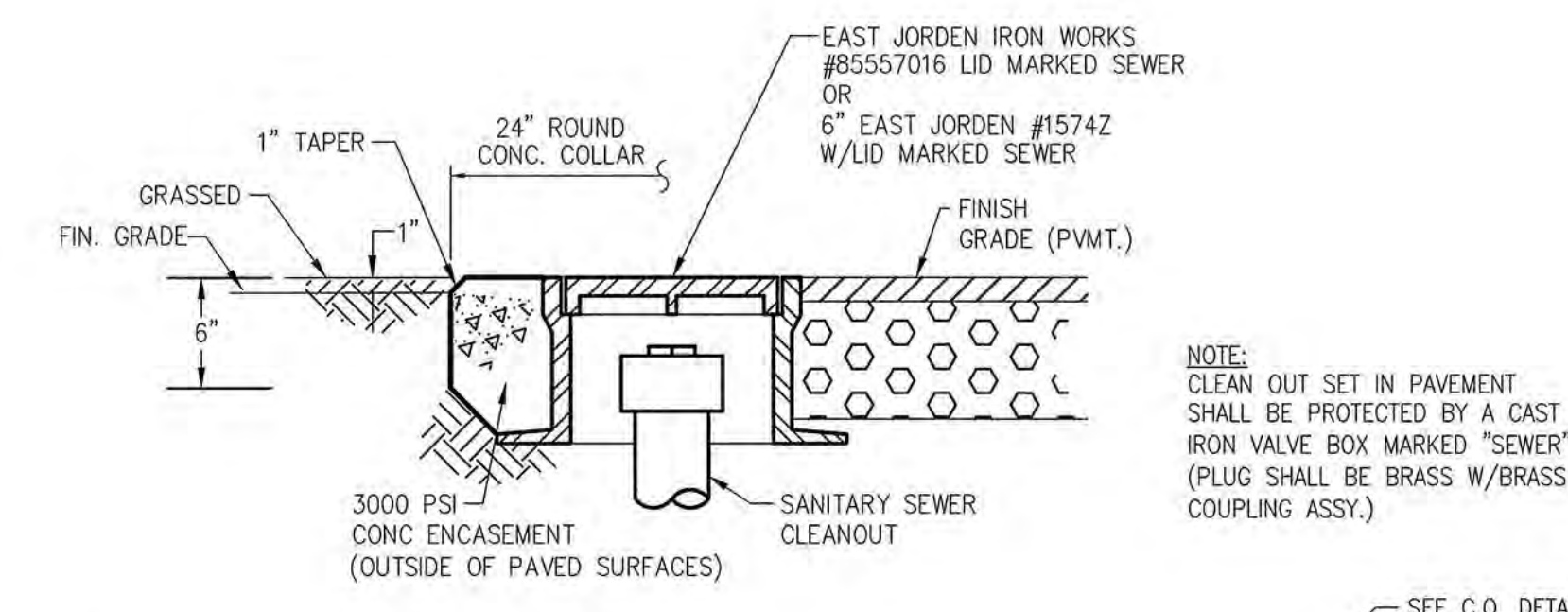
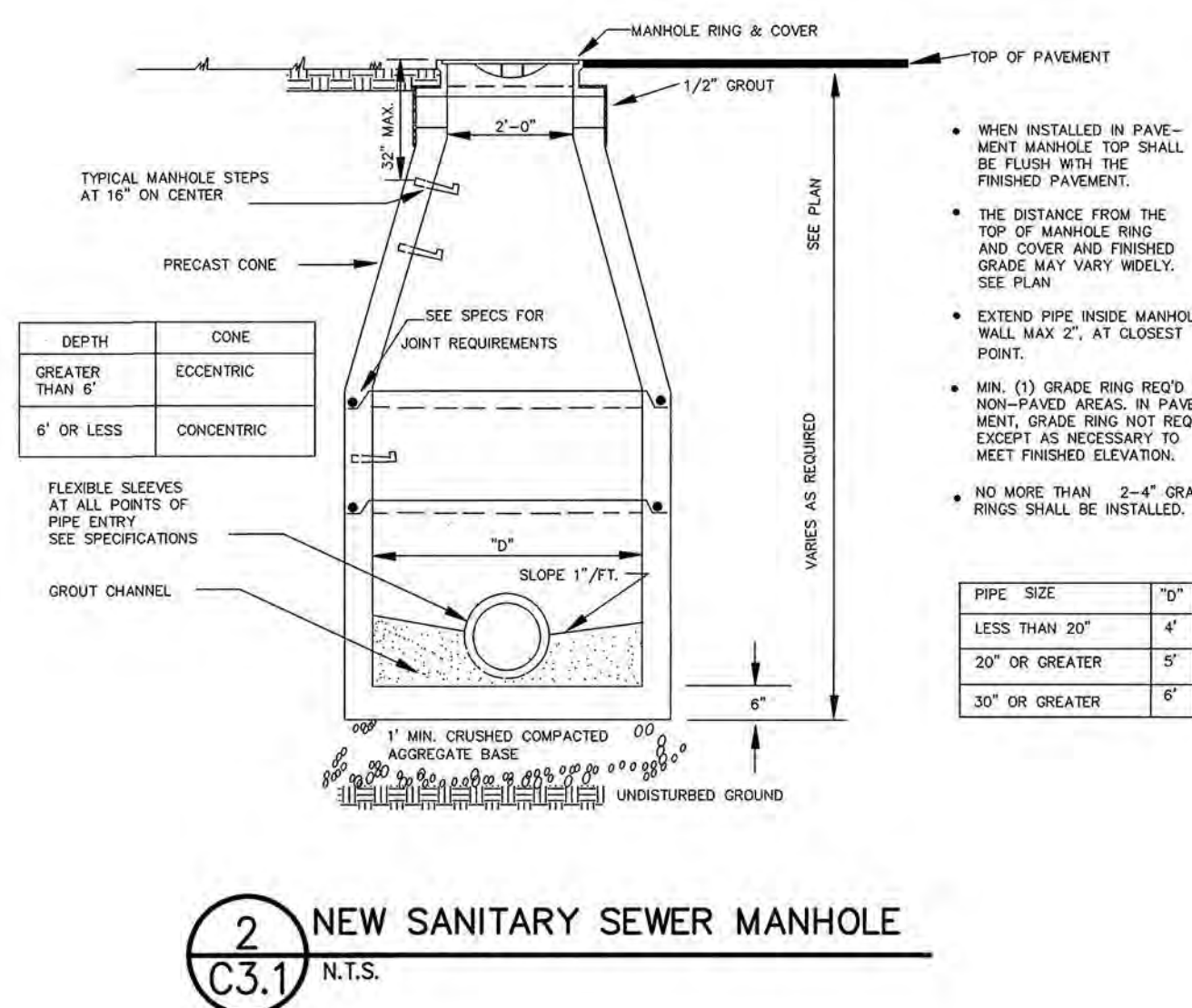
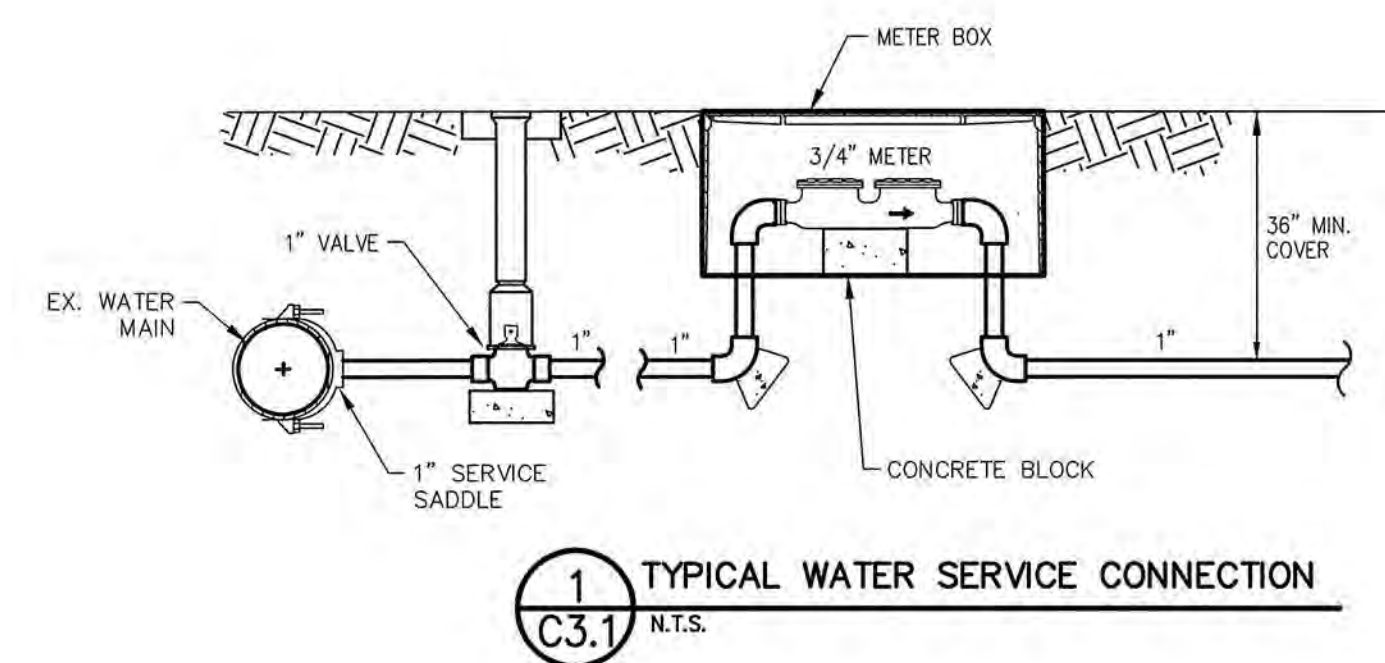
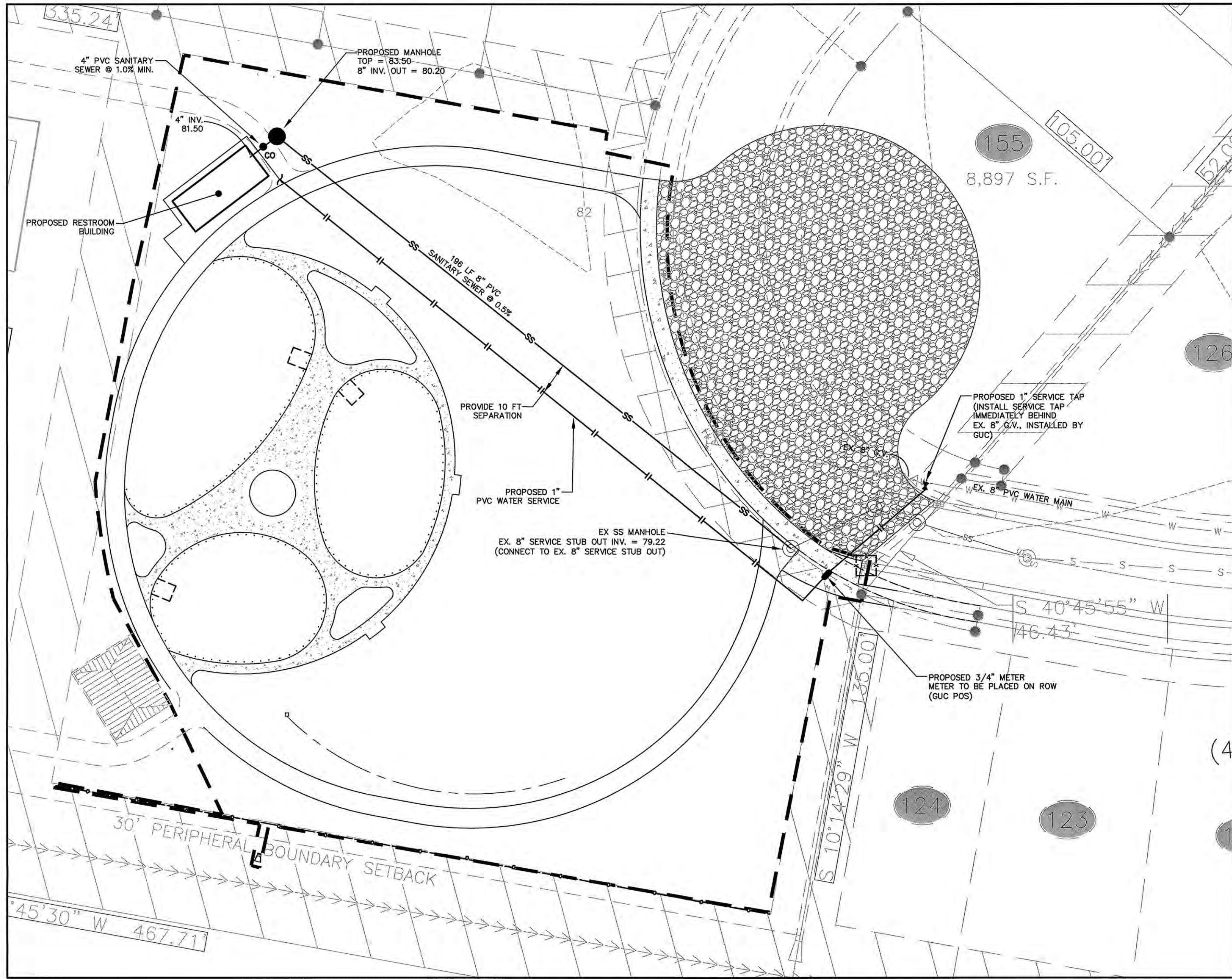
IMPROVEMENTS-PHASE 1

DRAWING TITLE

PLANTING PLAN

DRAWING NO.

L4.1



- LEGEND
- ECM = EXISTING CONCRETE MONUMENT
EIP = EXISTING IRON PIPE
EIS = EXISTING IRON STAKE
ERRS = EXISTING RAIL ROAD SPIKE
ACP = ASBESTOS CONCRETE PIPE
AL = AREA LIGHT
CB = CATCH BASIN
CI = CAST IRON PIPE
CLF = CHAIN LINK FENCE
CO = CLEAN OUT
CONC. = CONCRETE
CWB = CREPE MYRTLE BUSH
CSW = CONCRETE SIDEWALK
DI = DROP INLET
EX = EXISTING
EB = ELECTRIC BOX
EMH = ELECTRIC MANHOLE
FH = FIRE HYDRANT
FOC = FIBER OPTIC POST/SIGN
GW = GUY WIRE
JB = JUNCTION BOX
INV. = INVERT
MH = MANHOLE
MT = MAPLE TREE
OT = OAK TREE
PP = POWER POLE
R = RADIUM
RCP = REINFORCED CONCRETE PIPE
SI = SIGN
SSMH = SANITARY SEWER MANHOLE
TB = TELEPHONE BOX
TYP. = TYPICAL
TSB = TRAFFIC SIGNAL BOX
VCP = VITRIFIED CLAY PIPE
WRF = WIRE FENCE
WM = WATER METER
WV = WATER VALVE
WV = OVERHEAD ELECTRIC
SS = EX. SEWER LINE
SD = EX. STORM DRAIN
UC = EX. UNDERGROUND CABLE
UE = EX. UNDERGROUND ELECTRIC
UG = EX. UNDERGROUND GAS
SD = EX. STORM DRAIN
W = EX. WATER MAIN
IW = EX. IRRIGATION MAIN
UGT = EX. UNDERGROUND TELEPHONE
EX. CONTOUR
x 61.00 = EX. SPOT ELEVATION
H = PROPOSED WATER SERVICE
SS = PROPOSED SEWER SERVICE

- UTILITY NOTES:
- LOCATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND COORDINATE CONNECTION WITH PROPER AUTHORITIES. CALL NC ONE-CALL CENTER, INC. AT 811 48 HOURS BEFORE ANY EXCAVATION IS BEGUN.
 - AS OF JAN. 1, 1986, ANYONE DIGGING WITH MECHANIZED EQUIPMENT IN HIGHWAY RIGHT-OF-WAY, PRIVATE UTILITY EASEMENTS, OR PUBLIC SPACES WILL BE REQUIRED BY NORTH CAROLINA LAW TO GIVE NOTICE OF THE PROPOSED EXCAVATION TO ALL EXISTING AREA UTILITIES AT LEAST 2 WORKING DAYS BEFORE STARTING TO DIG. THE UTILITY OWNER IS TO LOCATE ITS FACILITIES IN THE AREA OF THE PROPOSED EXCAVATION. UTILITY MEMBERS OF NC ONECALL CAN BE CONTACTED AT 811.
 - CONTRACTOR SHALL NOTIFY UTILITIES ENGINEER 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION. CONTRACTOR TO COORDINATE ALL EXISTING UTILITY TIE INS WITH THE UTILITY ENGINEER.
 - CONTRACTOR SHALL MAINTAIN COMPREHENSIVE (DEPTH AND HORIZONTAL LOCATIONS) FIELD "AS-BUILTS" FOR ALL INSTALLATIONS AND SUBMIT TO THE ENGINEER.
 - ALL PERMITS AND FEES REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

NOTE:
WATER SERVICE CONNECTION INSTALLED BY GUC UPON PAYMENT OF FEES BY THE DEVELOPER.

THE EAST GROUP

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NC Architectural License No. 50213
NC Landscape Architectural License No. C-427

NORTH CAROLINA
PROFESSIONAL
SEAL
ENGINEER
JULIE S. CLEMENTS
3/19/18

FINAL DRAWINGS -
FOR REVIEW PURPOSES ONLY

REV	DATE	DESCRIPTION	BY	CHK
A	03/19/18	ISSUED FOR SITE PLAN REVIEW		
B	03/19/18	ISSUED FOR BID		

PROJECT NO. PROJECT #20170212

CLIENT PROJECT NO. ---

PROJECT TITLE
**CITY OF GREENVILLE
WESTPOINTE VILLAGE
PARK SITE
IMPROVEMENTS-PHASE 1**

DRAWING TITLE
UTILITY PLAN & DETAILS

DRAWING NO.
C3.1

SITE DATA	
TOTAL AREA IN TRACT	7.358 ACRES
NUMBER OF LOTS CREATED	33
AREA IN STREET R/W	1.729 ACRES
AREA IN PARKS, RECREATION AREAS AND OTHER RESIDENTIAL USES	6.425 ACRES
ZONING CLASSIFICATION	PUD
LINEAR FEET IN STREETS	1,370 LF

LEGEND	
ABS	ACRYLONITRILE-BUTADIENE-STYRENE
BB	BOTTOM OF BANK
B/B	BACK OF CURB TO BACK OF CURB
BC	BACK OF CURB
BFE	BASE FLOOD ELEVATION
BD	BUILDING CORNER
BM	BENCH MARK
BO	BLOW OFF
CBV	CABLE TELEVISION BOX
CB	CATCH BASIN
CLD	CENTERLINE DITCH
CLP	CENTERLINE PATH
CLR	CENTERLINE ROAD
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED PLASTIC PIPE
DI	DROP INLET
DIP	DUCTILE IRON PIPE
DW	DRIVEWAY
EIA	EXISTING IRON AXLE
EIP	EXISTING IRON PIPE
EIS	EXISTING IRON STAKE
ELM	ELECTRIC METER BOX
ELMH	ELECTRIC MANHOLE
EP	EDGE OF PAVEMENT
EPKN	EXISTING PARKER KALON NAIL
ERRS	EXISTING RAILROAD SPIKE
FES	FLARED END SECTION
FEE	FINISHED FLOOR ELEVATION
FM	FIRE HYDRANT
FO	FORCE MAIN
FO	FIBER OPT
GV	GATE VALVE
GW	GUY WIRE
INV	INVERT
JB	JUNCTION BOX
LP	LIGHT POLE
MB	MAIL BOX
MBL	MINIMUM BUILDING LINE
MH	MANHOLE
MHW	MEAN HIGH WATER
MP	METAL PIPE
PH	PUMP HOUSE
PP	POWER POLE
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
SDMH	STORM DRAINAGE MANHOLE
SIP	SET IRON PIPE
SPKN	SET PARKER KALON NAIL
SSRS	SET RAILROAD SPIKE
SS	SEWER SERVICE
SSMH	SEWER MANHOLE
SW	SIDEWALK
TB	TOP OF BANK (TOPO ONLY)
TLMH	TELEPHONE MH
TPED	TELEPHONE PEDESTAL
TRANS	ELECTRICAL TRANSFORMER
VG	VALLEY GUTTER
WDL	WOODS LINE
WM	WATER METER BOX
WP	WETLAND POINT
WV	WATER VALVE
NTS	NOT TO SCALE
NTS	NOT TO SCALE
CLASS "B" STONE APRON	
CONSTRUCTION ENTRANCE/EXIT	
LIMITS OF CONSTRUCTION	
DRAINAGE EASEMENT	
RIPARIAN BUFFER	
SIGHT TRIANGLE	
SIGN EASEMENT	
CONCRETE LINED DITCH	
ZONING CLASSIFICATION	

GENERAL NOTES	
1.	WATER SUPPLY TO BE PROVIDED BY GREENVILLE UTILITIES COMMISSION.
2.	SEWAGE DISPOSAL TO BE PROVIDED BY GREENVILLE UTILITIES COMMISSION.
3.	ALL UTILITIES ARE TO BE UNDERGROUND.
4.	EROSION CONTROL PLAN WILL BE REQUIRED.
5.	CONSTRUCTION PLAN APPROVAL FROM GREENVILLE UTILITIES COMMISSION AND THE CITY OF GREENVILLE SHALL BE OBTAINED PRIOR TO CONSTRUCTION OF ANY STREET, WATER AND/OR SANITARY SEWER AND STORM DRAINAGE SYSTEM.
6.	ALL LOTS SHOWN ON THIS PLAT SHALL EQUAL OR EXCEED THE MINIMUM DEVELOPMENT STANDARDS OF THE CITY OF GREENVILLE, NORTH CAROLINA ZONING ORDINANCE.
7.	ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO THE CITY OF GREENVILLE MANUAL OF STANDARD DESIGN AND DETAILS AND TO THE MANUAL FOR THE DESIGN AND CONSTRUCTION OF WATER AND WASTE-WATER SYSTEM EXTENSIONS FOR GREENVILLE UTILITIES COMMISSION, EXCEPT AS OTHERWISE NOTED.
8.	HYDRAULIC ANALYSIS REQUIRED.
9.	THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARDOUS AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; REF: FIRM 3720466700 J, DATED JANUARY 2, 2004.
10.	PIPE SIZES ARE PRELIMINARY. FINAL PIPE SIZES AND SUPPORTING CALCULATIONS WILL BE PROVIDED WITH CONSTRUCTION PLANS. ANY OPEN DITCHES WHICH REQUIRE LESS THAN A 48" PIPE SHALL BE PIPED. DITCHES WHICH REQUIRE A PIPE GREATER THAN 48" WILL BE ELEVATED FOR A 100 YEAR FLOOD ELEVATION.
11.	DEPRESS CURB FOR HC RAMPS AT ALL STREET INTERSECTIONS THAT HAVE SIDEWALKS.
12.	GUC GAS/UTILITY EASEMENT IS 10' IN WIDTH AND CENTERED OVER GAS LINES AS INSTALLED.
13.	ALL ELEVATIONS SHOWN ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM. (1929)
14.	NC DOT DRIVEWAY PERMIT IS REQUIRED FOR LOT# 188.
15.	TURN OUT RADIUS FOR CURB & GUTTER AND R/W FOR ALL STREET INTERSECTIONS ARE 25'.
16.	TURN OUT RADIUS FOR CURB & GUTTER AND R/W FOR ALL CUL-DE-SACS ARE 25'.
17.	COMMON AREA TO BE MAINTAINED BY HOMEOWNERS ASSOCIATION.
18.	LOTS ARE SERVED BY REGIONAL STORMWATER FACILITY IDENTIFIED ON WESTPOINTE SECTIONS 8, 9 & 10.
19.	STORMWATER MANAGEMENT PLAN IS NOT REQUIRED.
VESTED UNDER CONSTRUCTED WETLANDS FACILITY:	
WESTPOINTE SECTIONS 9, 10 & 11	APPROVAL DATE
NAME	2009

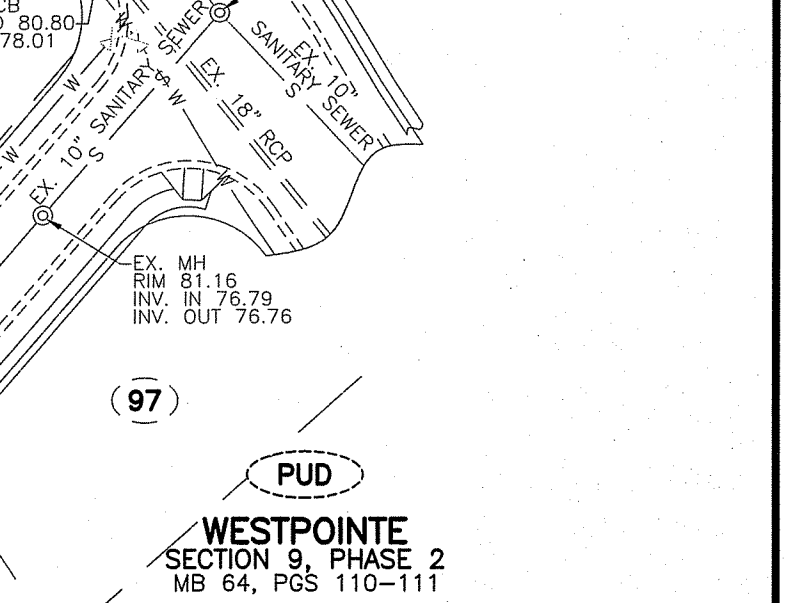
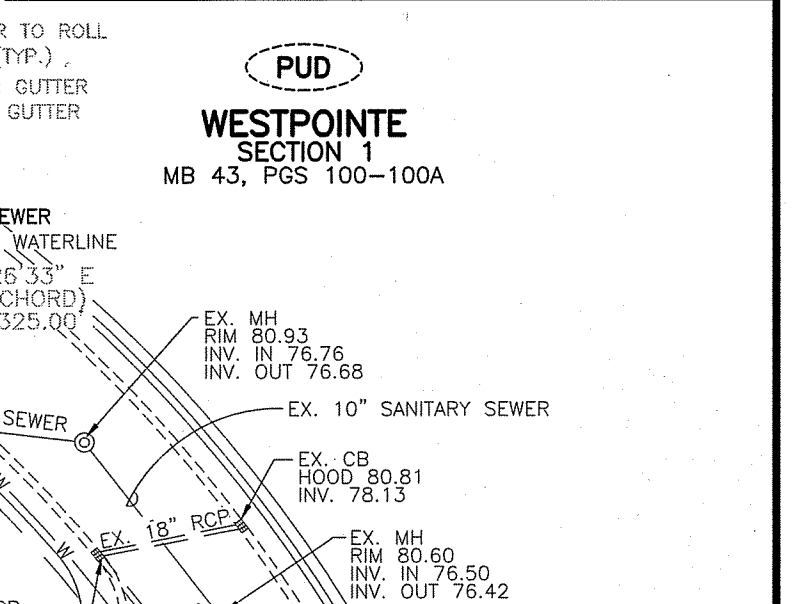
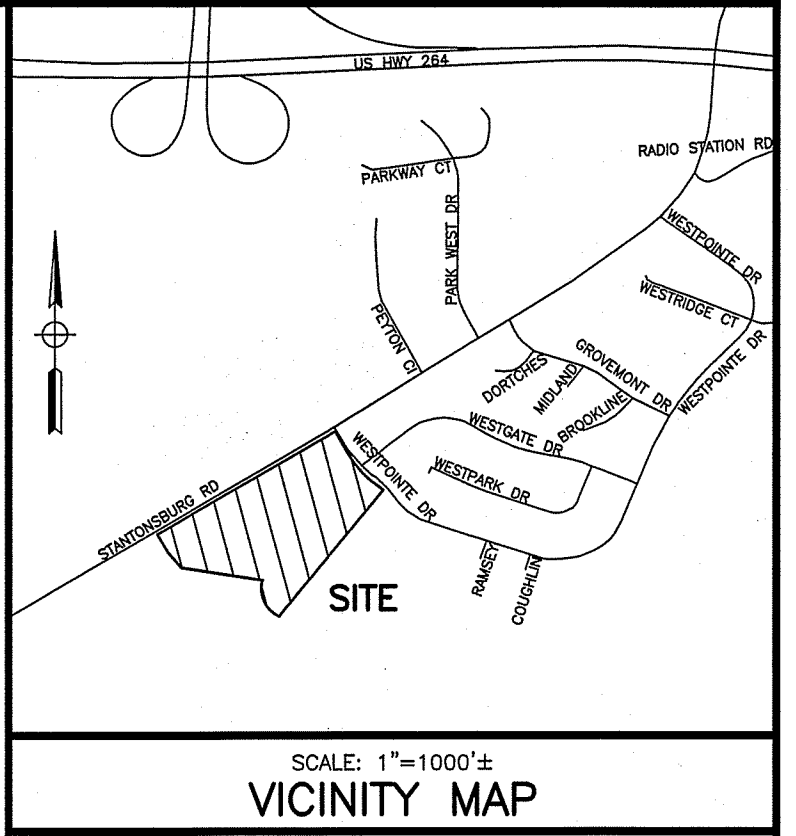
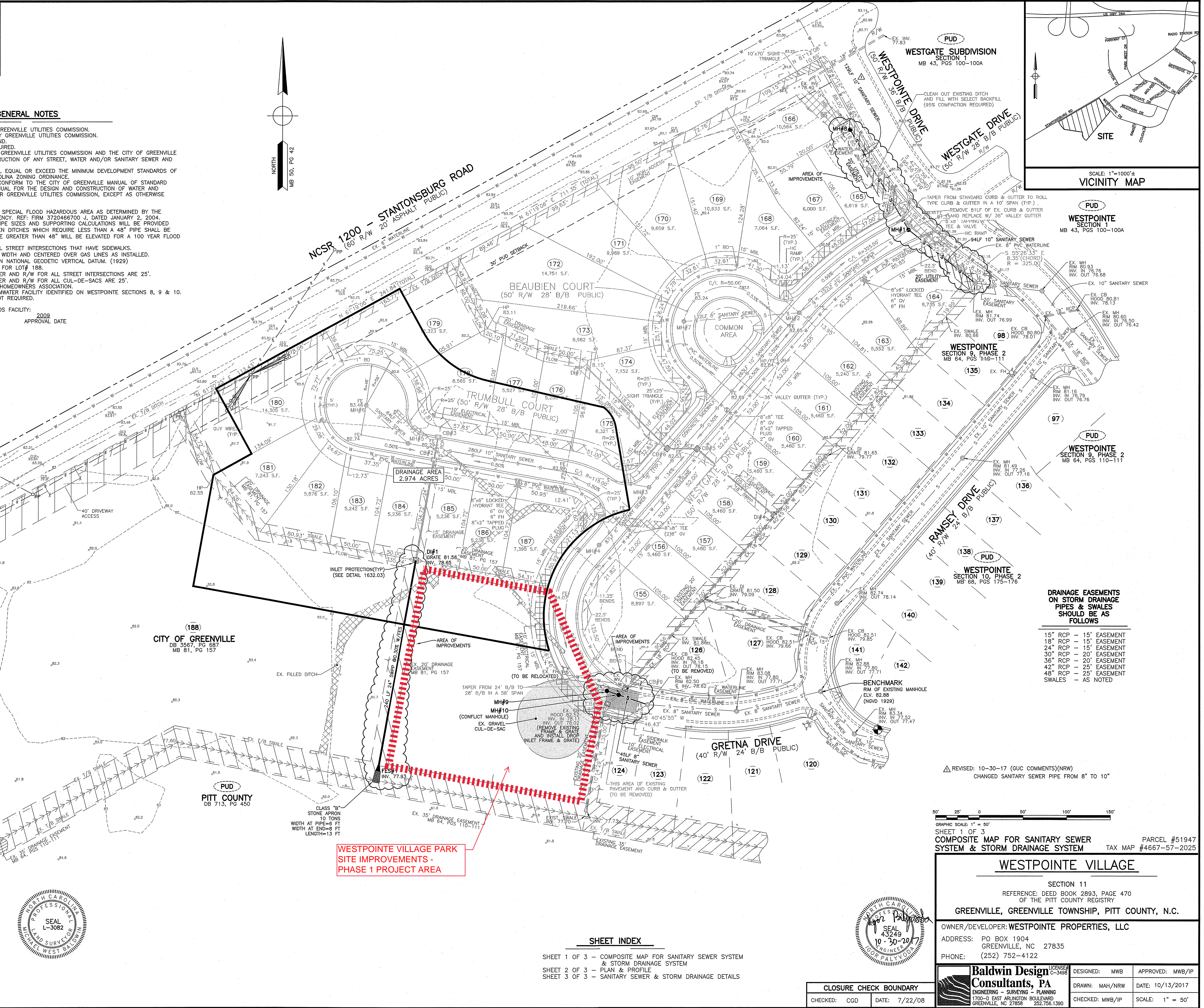
SURVEYOR'S CERTIFICATION

I, MICHAEL WEST BALDWIN, CERTIFY THAT THE BOUNDARY SURVEY, TOPOGRAPHICAL SURVEY, AND HORIZONTAL AND VERTICAL CONTROL SHOWN HEREON WERE COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN (SEE REFERENCES) OR FROM INFORMATION FOUND IN MAP BOOK 50 - PAGE 42 - OR AS REFERENCED HEREON; THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK N/A., PAGE N/A., OR AS REFERENCED HEREON; THAT THE RATIO OF PRECISION AS CALCULATED IS 1:110,000.; THAT ALL INTERIOR LOT LINES SHOWN ARE PROPOSED AND SHALL NOT BE USED FOR THE CONVEYANCE OF PROPERTY; THAT THE TOPOGRAPHIC SURVEY WAS PERFORMED TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS AS APPLICABLE; THAT THE TOPOGRAPHIC DATA WAS OBTAINED ON 09/06/17.; THAT THE SURVEY WAS COMPLETED ON 09/06/17.; THAT THE CONTOURS SHOWN AS BROKEN LINES MAY NOT MEET THE STATED STANDARD; THAT VERTICAL CONTROL WAS ESTABLISHED AT THE SITE TO THE CLASS "A" STANDARD; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE "STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA" (21 NCAC 56.1600).

WITNESS MY ORIGINAL SIGNATURE AND SEAL THIS 13th DAY OF OCTOBER, 2017.

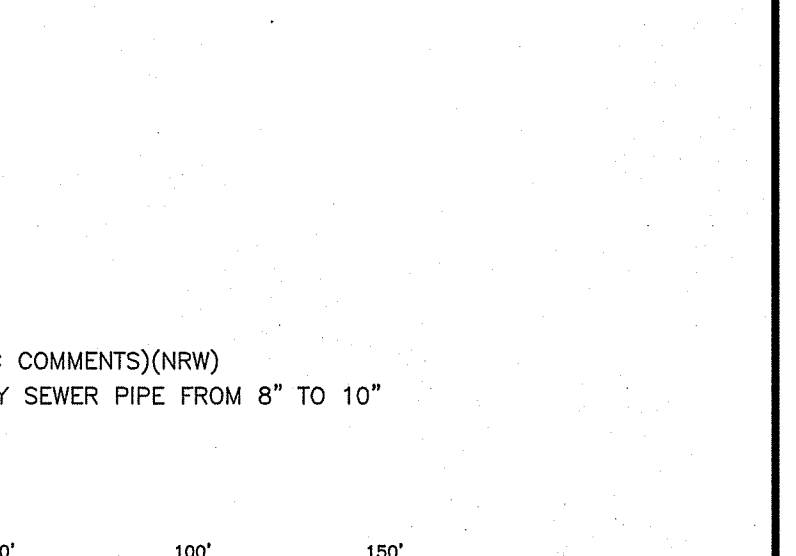
SIGNED MICHAEL WEST BALDWIN, PLS L-3082

Y:\DRAWINGS\Westpointe\Section 11\SHEETS\COMPOSITE.dwg Mon, Oct 30, 2017 5:10pm RWELLS



DRAINAGE EASEMENTS ON STORM DRAINAGE PIPES & SWALES SHOULD BE AS FOLLOWS	
15" RCP	= 15' EASEMENT
18" RCP	= 15' EASEMENT
24" RCP	= 15' EASEMENT
30" RCP	= 20' EASEMENT
36" RCP	= 20' EASEMENT
42" RCP	= 25' EASEMENT
48" RCP	= 25' EASEMENT
SWALES	= AS NOTED

△ REVISED: 10-30-17 (GUC COMMENTS)(NRW)
CHANGED SANITARY SEWER PIPE FROM 8" TO 10"



SHEET 1 OF 3
COMPOSITE MAP FOR SANITARY SEWER SYSTEM & STORM DRAINAGE SYSTEM
PARCEL #51947
TAX MAP #4667-57-2025

WESTPOINTE VILLAGE

SECTION 11

REFERENCE: DEED BOOK 2893, PAGE 470 OF THE PITT COUNTY REGISTRY

GREENVILLE, GREENVILLE TOWNSHIP, PITT COUNTY, N.C.

OWNER/DEVELOPER: WESTPOINTE PROPERTIES, LLC

ADDRESS: PO BOX 1904
GREENVILLE, NC 27835

PHONE: (252) 752-4122

Baldwin Design Consultants, PA

ENGINEERING - SURVEYING - PLANNING

1700-D EAST ARLINGTON BOULEVARD
GREENVILLE, NC 27858 252.756.1390

DESIGNED: MWB

DRAWN: MAH/NRW

CHECKED: MWB/IP

APPROVED: MWB/IP

DATE: 10/13/2017

SCALE: 1" = 50'

SHEET INDEX	
SHEET 1 OF 3 - COMPOSITE MAP FOR SANITARY SEWER SYSTEM & STORM DRAINAGE SYSTEM	
SHEET 2 OF 3 - PLAN & PROFILE	
SHEET 3 OF 3 - SANITARY SEWER & STORM DRAINAGE DETAILS	

CLOSURE CHECK BOUNDARY	
CHECKED: CGD	DATE: 7/22/08