

**CIVIL ENGINEER**

Rivers & Associates, Inc.  
Greenville, NC



107 East Second Street  
Greenville, NC 27858  
(252) 752-4135

Contact: Matthew Prokop, PE  
mprokop@riversandassociates.com

**OWNER/DEVELOPER**

City of Greenville  
Recreation and Parks Department  
PO Box 7207  
Greenville, NC 27835

PO Box 7207  
Greenville, NC 27835  
(252) 329-4242  
Contact: Mark Nottingham  
MNottingham@greenvillenc.com



*SITE DEVELOPMENT PLANS FOR*

**Adventure Park**

REVISIONS:

| NO. | CITY REVIEW COMMENTS | DESCRIPTION | DATE     | BY  |
|-----|----------------------|-------------|----------|-----|
| 1   |                      |             | 9/4/2020 | MJP |

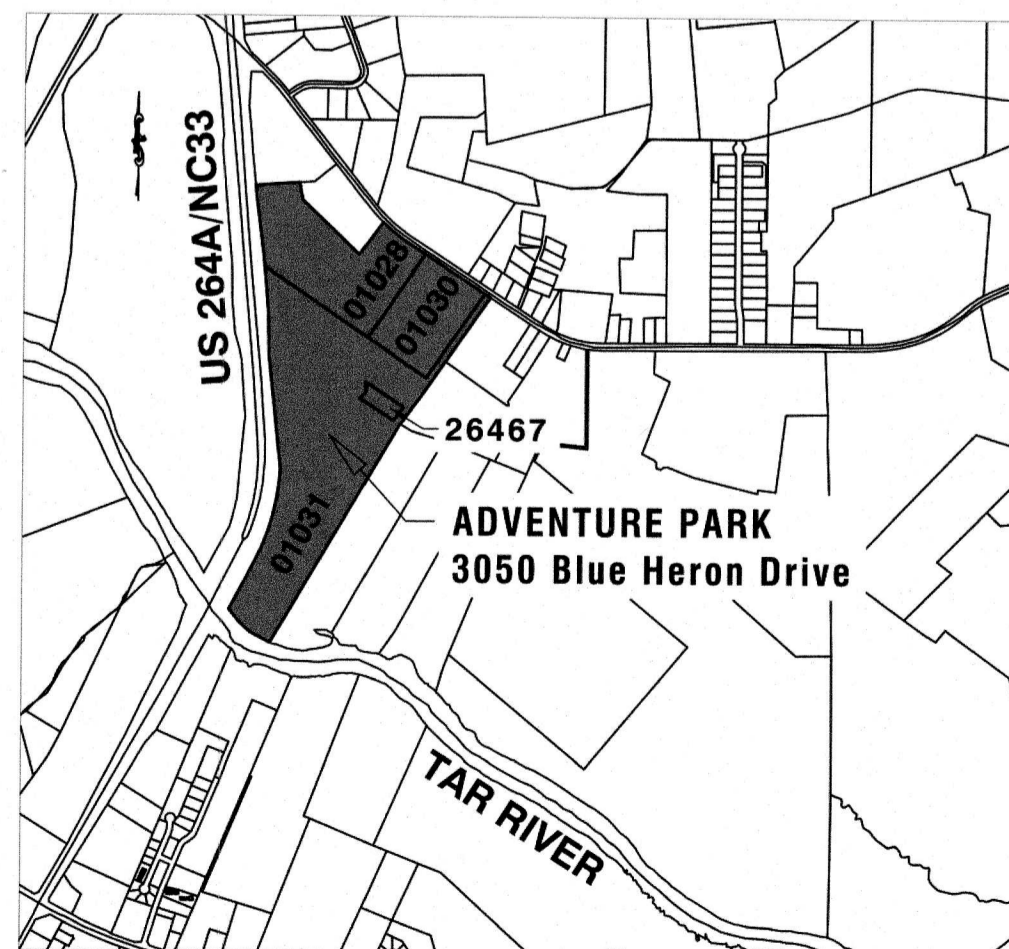
| SITE DATA                    |   |
|------------------------------|---|
| PROJECT INFO                 | City of Greenville -- Adventure Park  |
| ADDRESS                      | 3050 Blue Heron Drive   |
| MUNICIPALITY                 | City of Greenville  |
| NC PIN                       | 4698712722  |
| PARCEL NUMBER                | 01031, 26467, 01026 & 01030   |
| LAND USE CLASSIFICATION      | 2 (6 - recreational/entertainment, 1 - Public park or recreational facility)                                      |
| DEED REFERENCE               | MB 24-125   |
| LOT AREA                     | 97.33 Acres   |
| ZONING                       | CH - Heavy Commercial   |
| ADJACENT ZONING              | RA20 - Residential Agricultural, CH - Heavy Commercial  |
| PROPOSED USE                 | Noncommercial park/recreation facility; Public Use  |
| PROPOSED GROSS FLOOR AREA    | 1,488 SF  |
| BUILDING HEIGHT              | 25'-0" (1-Story)  |
| <b>IMPERVIOUS AREAS</b>      |   |
| LOT AREA                     | 4,239,695 SF  |
| EXISTING IMPERVIOUS          | 48,397 SF   |
| GRAVEL                       | 62,643 SF   |
| CONCRETE                     | 10,232 SF   |
| TOTAL IMPERVIOUS             | 72,675 SF   |
| LOT COVERAGE                 | 1.7%  |
| <b>MINIMUM BUILDING LINE</b> | Minimum   |
| PUBLIC STREET                | 20'   |
| SIDE                         | 10'   |
| REAR                         | 10'   |
| <b>BUFFERYARD</b>            | Minimum / Notes   |
| STREET                       | 10' - Type 'A' - lot size over 175,000 square feet  |
| SIDE                         | 10' - Type 'C'  |
| <b>PARKING SUMMARY</b>       |   |
| REQUIRED                     | 1 parking space per 500 sf of building<br>3 @ 9000 sf buildings = 27,000 sf. 27,000 / 500 sf = 54 required spaces |
| PROVIDED                     | 60 (incl. 4 H/C)  |

**GENERAL NOTES:**

- NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, BUILDING ELEVATIONS, LIGHTING OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE DEPARTMENT OF PLANNING AND DEVELOPMENT SERVICES DEPARTMENT.
- THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- A PRE-INSTALLATION CONFERENCE BETWEEN THE LANDSCAPE CONTRACTOR AND THE PLANNING DEPARTMENT STAFF SHALL BE SCHEDULED AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO LANDSCAPING INSTALLATION.
- ALL REQUIRED IMPROVEMENTS SHALL COMPLY WITH THE STANDARDS OF THE CITY OF GREENVILLE UNIFIED DEVELOPMENT ORDINANCE (UDO).
- ANY FUTURE ELECTRIC SERVICE SHALL BE PROVIDED UNDERGROUND.
- PROPOSED DEVELOPMENT WILL NOT CONTAIN WATER OR SEWER SERVICE. ANY FUTURE WATER/SEWER SERVICE TO BE PROVIDED BY OTHERS.



ADVENTURE PARK  
GREENVILLE, NC  
PITT COUNTY



VICINITY MAP

UPDATED SHEET INDEX

| Sheet Number | Sheet Title                                     |
|--------------|---|
| C1           | COVER   |
| C2           | EXISTING CONDITIONS - PARKING LOT AND DOCK AREA |
| C3           | EXISTING CONDITIONS - CAMPING PLATFORM          |
| C4           | DEMOLITION AND EROSION CONTROL                  |
| C5           | EROSION CONTROL NOTES AND DETAILS               |
| C6           | EROSION CONTROL NOTES                           |
| C7           | SITE & LANDSCAPING PLAN                         |
| C8           | GRADING AND UTILITY PLAN                        |
| C9           | GRADING DETAILS - DOCK AREA AND SIDEWALK        |
| C10          | PROPOSED PRIMITIVE TRAIL LAYOUT                 |
| C11          | SITE DETAILS                                    |
| C12          | SITE DETAILS                                    |

| City of Greenville Site Plan Approval |  |
|---------------------------------------|--|
| Date _____                            |  |
| <input type="checkbox"/> Approved     | <input type="checkbox"/> Approved as Noted |
| Zoning                                | Engineering                                |
| Surveyor/Floodplain                   | Inspections                                |
| Fire/Rescue                           | GUC electric                               |
| GUC water/sewer                       | GUC gas                                    |
| NCDOT                                 | Vegetation                                 |
| Traffic Services                      | Notes                                      |

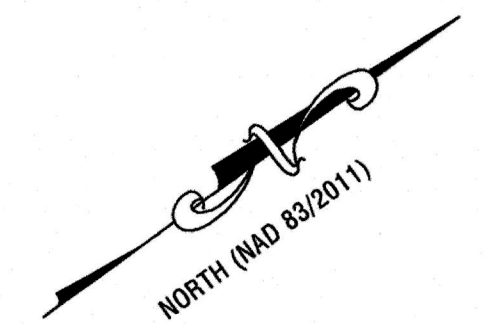
*\*Site plan approval ONLY. Engineer/Architect/Surveyor shall be responsible for adequacy of design, errors or omissions in the plans. All plans shall meet all specifications, standards and applicable regulations.*

CITY OF GREENVILLE  
**ADVENTURE PARK**  
PITT COUNTY - NORTH CAROLINA

**COVER**

DATE: AUGUST 7, 2020  
DESIGNED BY: MJP  
DRAWN BY: SBC  
CHECKED BY: JDV  
PROJECT No. 2017115.14  
DRAWING No. W-3896  
SCALE: AS NOTED

**C1**

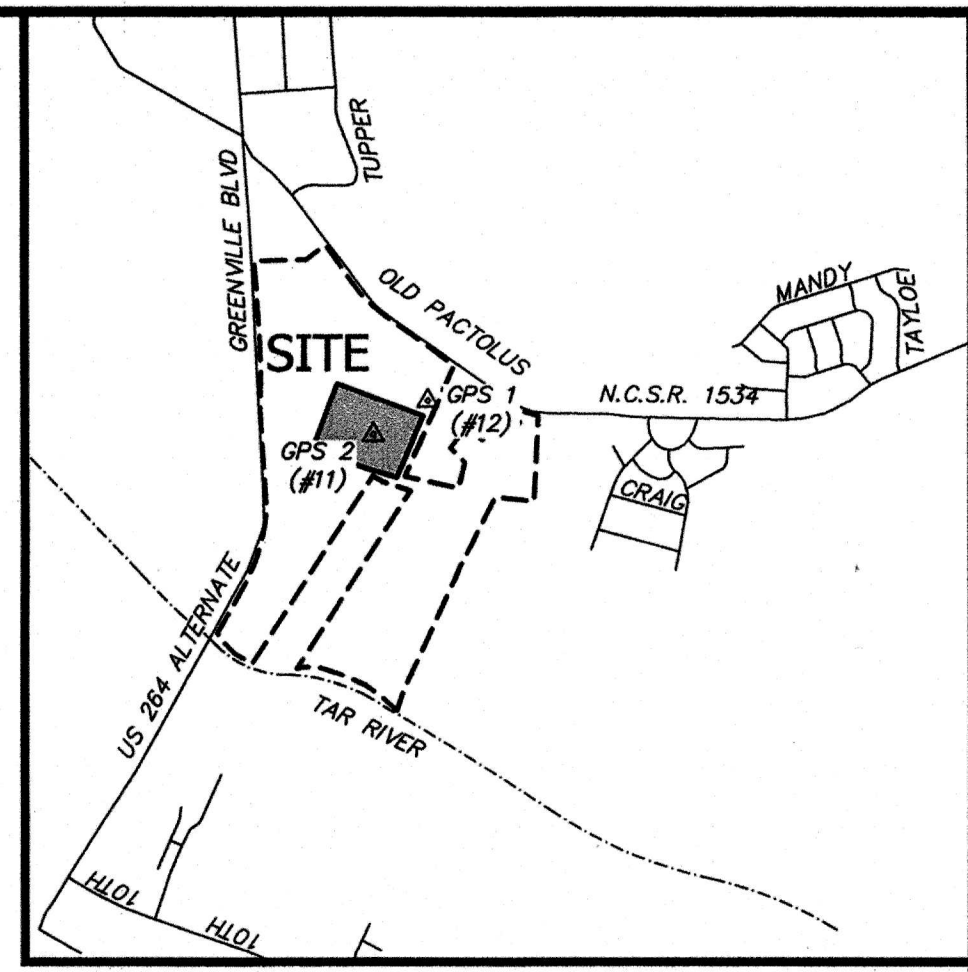
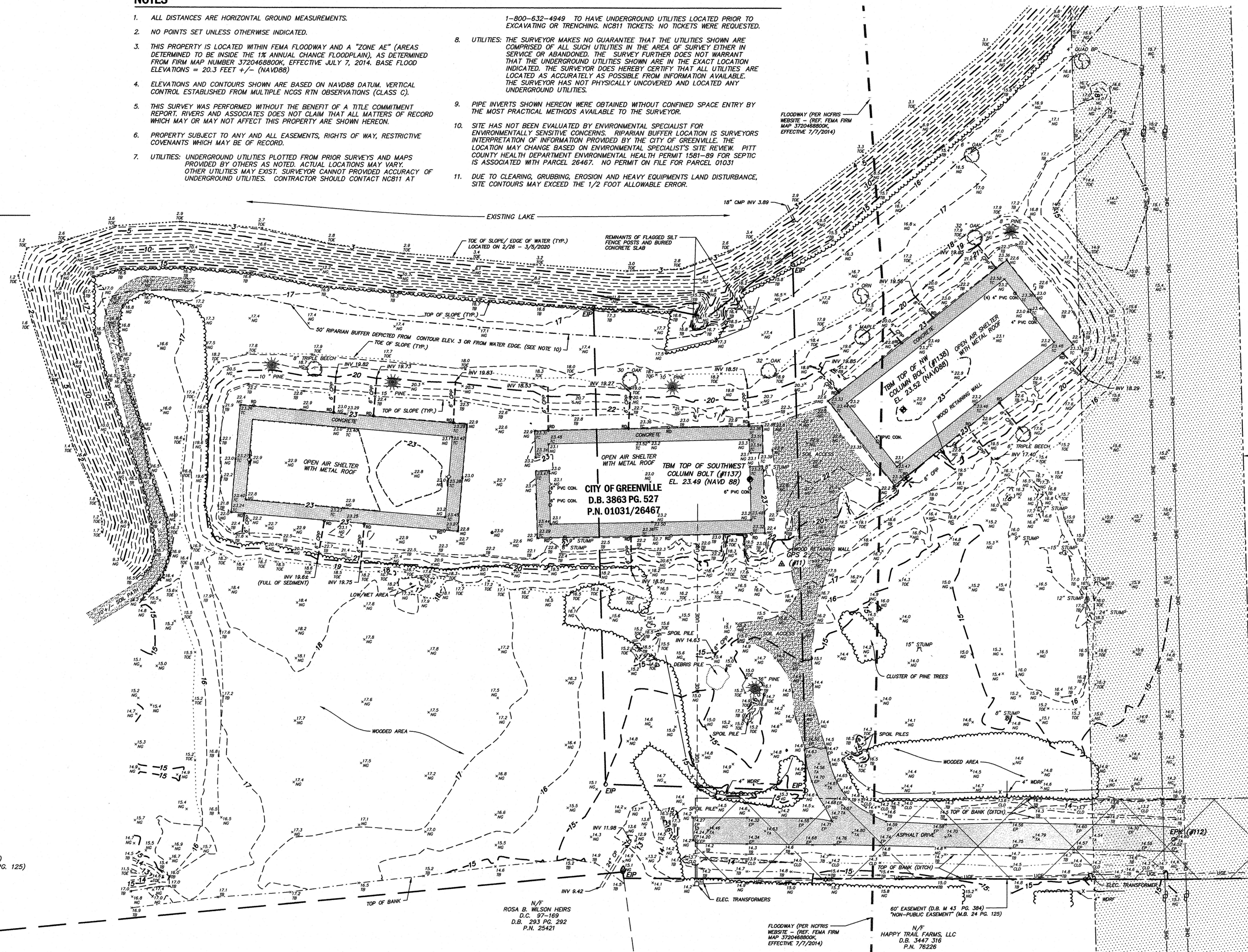


**NOTES**

- 1. ALL DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS.
- 2. NO POINTS SET UNLESS OTHERWISE INDICATED.
- 3. THIS PROPERTY IS LOCATED WITHIN FEMA FLOODWAY AND A "ZONE AE" (AREAS DETERMINED TO BE INSIDE THE 1% ANNUAL CHANCE FLOODPLAIN), AS DETERMINED FROM FIRM MAP NUMBER 3720468800K, EFFECTIVE JULY 7, 2014. BASE FLOOD ELEVATIONS = 20.3 FEET +/- (NAVD88)
- 4. ELEVATIONS AND CONTOURS SHOWN ARE BASED ON NAVD88 DATUM. VERTICAL CONTROL ESTABLISHED FROM MULTIPLE NCGS RTN OBSERVATIONS (CLASS C).
- 5. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT REPORT. RIVERS AND ASSOCIATES DOES NOT CLAIM THAT ALL MATTERS OF RECORD WHICH MAY OR MAY NOT AFFECT THIS PROPERTY ARE SHOWN HEREON.
- 6. PROPERTY SUBJECT TO ANY AND ALL EASEMENTS, RIGHTS OF WAY, RESTRICTIVE COVENANTS WHICH MAY BE OF RECORD.
- 7. UTILITIES: UNDERGROUND UTILITIES PLOTTED FROM PRIOR SURVEYS AND MAPS PROVIDED BY OTHERS AS NOTED. ACTUAL LOCATIONS MAY VARY. OTHER UTILITIES MAY EXIST. SURVEYOR CANNOT PROVIDE ACCURACY OF UNDERGROUND UTILITIES. CONTRACTOR SHOULD CONTACT NCB11 AT 1-800-632-4949 TO HAVE UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING. NCB11 TICKETS: NO TICKETS WERE REQUESTED.
- 8. UTILITIES: THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN ARE COMPRISED OF ALL SUCH UTILITIES IN THE AREA OF SURVEY EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR DOES HEREBY CERTIFY THAT ALL UTILITIES ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY UNCOVERED AND LOCATED ANY UNDERGROUND UTILITIES.
- 9. PIPE INVERTS SHOWN HEREON WERE OBTAINED WITHOUT CONFINED SPACE ENTRY BY THE MOST PRACTICAL METHODS AVAILABLE TO THE SURVEYOR.
- 10. SITE HAS NOT BEEN EVALUATED BY ENVIRONMENTAL SPECIALIST FOR ENVIRONMENTALLY SENSITIVE CONCERNS. RIPARIAN BUFFER LOCATION IS SURVEYOR'S INTERPRETATION OF INFORMATION PROVIDED BY THE CITY OF GREENVILLE. THE LOCATION MAY CHANGE BASED ON ENVIRONMENTAL SPECIALIST'S SITE REVIEW. PITT COUNTY HEALTH DEPARTMENT ENVIRONMENTAL HEALTH PERMIT 1581-89 FOR SEPTIC IS ASSOCIATED WITH PARCEL 26-467. NO PERMIT ON FILE FOR SEPTIC.
- 11. DUE TO CLEARING, GRUBBING, EROSION AND HEAVY EQUIPMENTS LAND DISTURBANCE, SITE CONTOURS MAY EXCEED THE 1/2 FOOT ALLOWABLE ERROR.

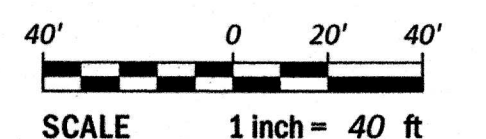
**LEGEND**

- CONTOURS
- DEPRESSION CONTOUR
- - - BOUNDARY LINE
- - - EASEMENT LINE
- - - FLOODWAY (PER NCFRIS WEBSITE)
- - - EDGE OF SOIL DRIVE/PATH
- - - OVERHEAD ELECTRIC LINE
- - - UNDERGROUND ELECTRIC LINE
- - - FENCE
- - - TOE OF SLOPE/BANK (DITCH)
- - - TOP OF SLOPE/BANK (DITCH)
- - - CENTERLINE OF DITCH/SWALE
- - - STORM DRAINAGE
- - - WOODS LINE
- - - EDGE OF WATER
- - - EDGE OF SPOIL PILE
- - - EDGE OF DEBRIS PILE
- - - RIPARIAN BUFFER LINE
- - - NOW OR FORMERLY DEED BOOK
- - - M.B. MAP BOOK
- - - PAGE
- - - ELEVATION
- - - INVERT
- - - TYP. TYPICAL
- - - CONCRETE PIPE
- - - CORRUGATED PLASTIC PIPE
- - - CORRUGATED METAL PIPE
- - - CONDUIT
- - - POLY-VINYL CHLORIDE
- - - ELECTRIC
- - - WDRF WOOD RAIL FENCE
- - - ORNAMENTAL TREE
- - - BRADFORD PEAR TREE
- - - EXISTING IRON PIPE
- - - OUTSIDE DIAMETER
- - - TEMPORARY BENCHMARK
- - - GPS CONTROL POINT
- - - POWER POLE
- - - LIGHT POLE
- - - CARBONITE POWER LINE MARKER
- - - TREE STUMP
- - - ROOF DRAIN
- - - NATURAL GROUND
- - - TOP OF SLOPE/BANK (DITCH)
- - - TOE OF SLOPE/BANK (DITCH)
- - - CENTERLINE OF DITCH
- - - EDGE OF PAVEMENT
- - - TOP OF ASPHALT
- - - TOP OF CONCRETE
- - - EXISTING TREES
- - - CONCRETE
- - - ASPHALT
- - - 60' EASEMENT (D.B. M 43 PG. 384) "NON-PUBLIC EASEMENT" (M.B. 24 PG. 125)
- - - 120' CAROLINA POWER AND LIGHT EASEMENT (DB 696 PG. 437)
- - - SOIL ACCESS



**REFERENCES:**

- P.N. 26467
- P.N. 01031
- D.B. 3863 PG. 527
- M.B. 22 PG. 25
- M.B. 24 PG. 125
- D.B. M 43 PG. 384
- D.B. 696 PG. 437
- M.B. 60 PG. 174



NORTH CAROLINA COUNTY OF PITT

I, PATRICK HARTMAN, P.L.S., CERTIFY THAT THE EXISTING TOPOGRAPHIC AND PLANIMETRIC INFORMATION SHOWN HEREON WAS DRAWN UNDER MY DIRECTION FROM AN ACTUAL SURVEY MADE BY RB/JA FROM 2/25/2020 - 3/10/2020. BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES FROM INFORMATION FOUND IN THE REFERENCED BOOKS AND PAGES; THAT THE RATIO OF PRECISION IS 1:10,000+; AND IN ACCORDANCE WITH THE US NATIONAL MAPPING ACCURACY STANDARDS, THE MAXIMUM VERTICAL ERROR IS NOT GREATER THAN ONE HALF THE CONTOUR INTERVAL EXCEPT AS NOTED (SEE NOTE 11); AND HORIZONTAL AND VERTICAL CONTROL WAS ESTABLISHED AT THE SITE BY NCGS RTN SOLUTION.

|                                     |                                 |
|-------------------------------------|---------------------------------|
| 1) CLASS OF SURVEY:                 | CLASS A (HORZ.) CLASS C (VERT.) |
| 2) POSITIONAL ACCURACY:             | 2 CM (HORZ.)                    |
| 3) TYPE OF GPS FIELD PROCEDURE:     | NCGS RTN                        |
| 4) DATE OF SURVEY WORK:             | 2/25/2020-03/10/2020            |
| 5) DATUM/EPOCH:                     | NA83/2011                       |
| 6) PUBLISHED CONTROL/FIXED CONTROL: | NCGS RTN OR AS NOTED            |
| 7) GEOID MODEL:                     | 2012B                           |
| 8) COMBINED GRID FACTOR:            | 0.999897300602                  |
| 9) UNITS:                           | US SURVEY FEET                  |

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 16TH DAY OF MARCH, 2020.

*Patrick Hartman*  
PROFESSIONAL LAND SURVEYOR LICENSE NO. L-4262

**SURVEY HORIZONTAL CONTROL**

| POINT | NORTHING (US FT-GROUND) | EASTING (US FT-GROUND) | ELEVATION (NAVD88) | DESCRIPTION    | GRID NORTHING (US FT-NAD 83/2011) | GRID EASTING (US FT-NAD 83/2011) |
|-------|-------------------------|------------------------|--------------------|----------------|-----------------------------------|----------------------------------|
| 11    | 682164.21               | 2497987.90             | 18.43              | CPINAIL (GPS2) | 682164.21                         | 2497987.90                       |
| 12    | 682850.52               | 2498738.65             | 16.16              | CPINAIL (GPS1) | 682850.44                         | 2498738.56                       |
| 1112  | 682281.79               | 2498325.71             | 14.64              | EPK            |                                   |                                  |

PROJECT CONTROL LOCALIZED TO GROUND AROUND POINTS 11 (GPS 2); CALCULATED COMBINED FACTOR = 0.999897300602.

**SURVEY VERTICAL CONTROL**

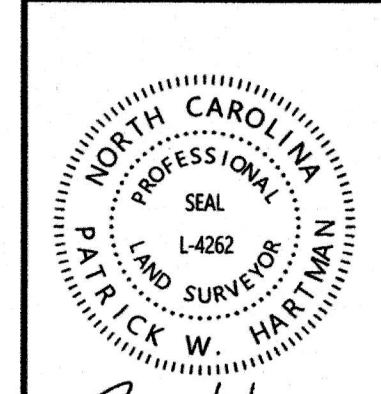
| POINT | NORTHING (US FT-GROUND) | EASTING (US FT-GROUND) | ELEVATION (NAVD88) | DESCRIPTION            |
|-------|-------------------------|------------------------|--------------------|------------------------|
| 1137  | 682182.0                | 2497922.6              | 23.49              | TBM TOP SW COLUMN BOLT |
| 1138  | 682305.5                | 2497947.4              | 23.52              | TBM TOP NW COLUMN BOLT |

**OWNER**

CITY OF GREENVILLE  
P.O. BOX 7207  
GREENVILLE, NC 27804

**EXISTING CONDITIONS**

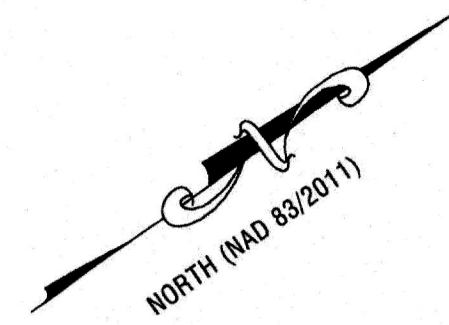
**Rivers** L-4262  
DATE: 3/16/2020  
SCALE: 1" = 40'



**TOPOGRAPHIC SURVEY FOR CITY OF GREENVILLE OF A PORTION OF THE FUTURE WILDSIDE PARK**

CITY OF GREENVILLE, PACTOLUS TOWNSHIP, PITT COUNTY, NC

| SURVEY RB/JA | DRAFT PH/MS | SCALE 1" = 40' | DRAWING NO. W-3879 | PROJECT NO. 2017115.14 | SHEET 1 OF 1 |
|--------------|-------------|----------------|--------------------|------------------------|--------------|
| DESIGN       | CHECK PMH   |                |                    |                        |              |



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**LEGEND**

- CONTOURS
- DEPRESSED CONTOUR
- BOUNDARY LINE
- EASEMENT LINE
- FLOODWAY (PER NCRIS WEBSITE)
- EDGE OF SOIL DRIVE/PATH
- OVERHEAD ELECTRIC LINE
- GIS PARCEL LINES
- TOP OF SLOPE/BANK (LAKE)
- TOP OF SLOPE/BANK (LAKE)
- STORM DRAINAGE
- WOODS LINE
- EDGE OF WATER
- RIPARIAN BUFFER LINE
- D.B. DEED BOOK
- M.B. MAP BOOK
- P.G. PAGE
- P.N. PARCEL NUMBER
- E.L. ELEVATION
- INV. INVERT
- TYP. TYPICAL
- CPP. CORRUGATED PLASTIC PIPE
- CMP. CORRUGATED METAL PIPE
- CON. CONDUIT
- P.V.C. POLY-VINYL CHLORIDE
- ORN. ORNAMENTAL TREE
- BR. BRADFORD PEAR TREE
- E.I.P. EXISTING IRON PIPE
- TBM. TEMPORARY BENCHMARK
- GPS. GPS CONTROL POINT
- POWER POLE
- CARSONITE POWER LINE MARKER
- ROOF DRAIN
- NATURAL GROUND
- TOP OF SLOPE/BANK (LAKE)
- TOP OF SLOPE/BANK (LAKE)
- EDGE OF WATER (LAKE)
- TOP OF CONCRETE
- BOTTOM OF LAKE
- EXISTING TREES
- CONCRETE
- 120 CAROLINA POWER AND LIGHT EASEMENT (DB 696 PG. 437)
- SOIL ACCESS

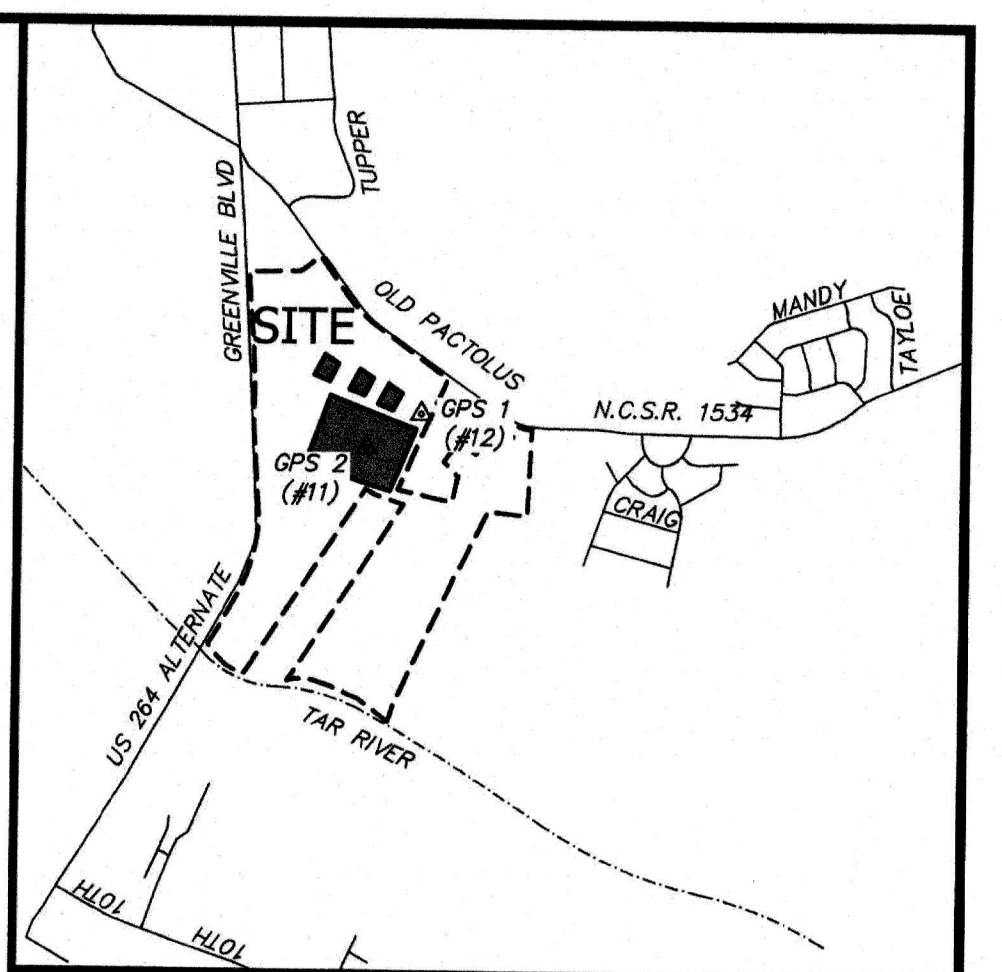
**SURVEY HORIZONTAL CONTROL**

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PROJECT CONTROL LOCALIZED TO GROUND AROUND POINTS 11 (GPS 2); CALCULATED COMBINED FACTOR = 0.99989730069602.

**SURVEY VERTICAL CONTROL**

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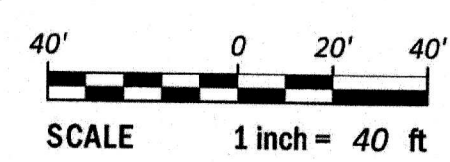


**VICINITY MAP**  
NOT TO SCALE

CITY OF GREENVILLE  
D.B. 3863 PG. 527  
P.N. 01028

**REFERENCES:**

- P.N. 28467
- P.N. 01031
- P.N. 01030
- P.N. 01028
- D.B. 3863 PG. 527
- M.B. 22 PG. 25
- M.B. 24 PG. 125
- D.B. M 43 PG. 384
- D.B. 696 PG. 437
- M.B. 60 PG. 174



NORTH CAROLINA COUNTY OF PITT

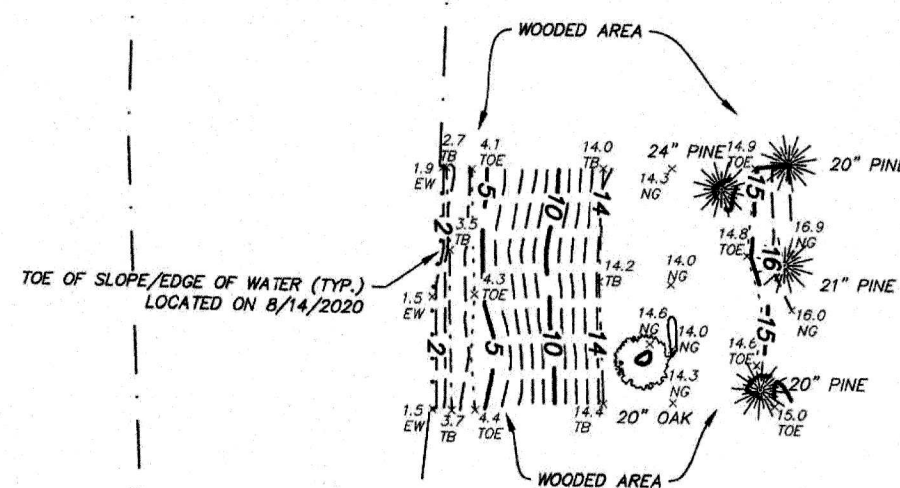
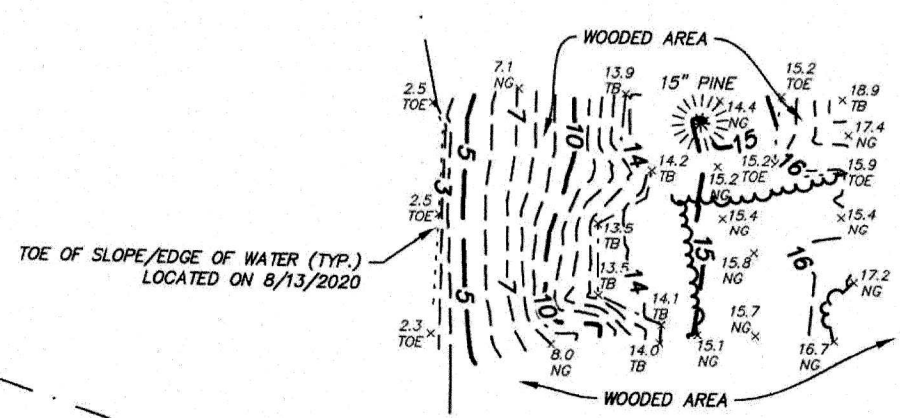
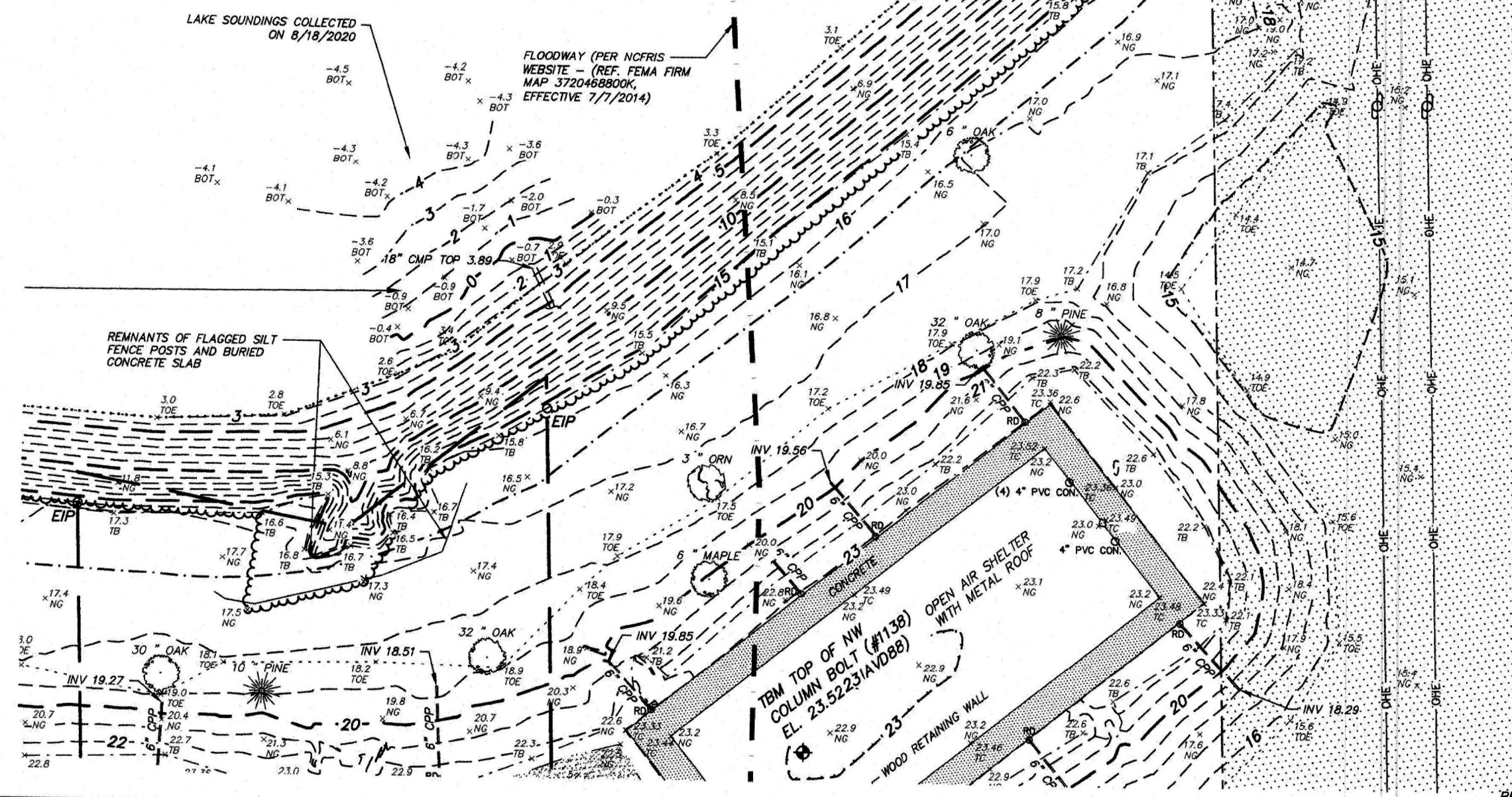
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- CLASS OF SURVEY: CLASS A (HORZ.) CLASS C (VERT.)
- POSITIONAL ACCURACY: CM(HORZ.)
- TYPE OF GPS FIELD PROCEDURE: NCGS RTN
- DATE OF SURVEY WORK: 2/25/2020-03/10/2020, 8/14-18/2020
- DATUM/EPOCH: NAD83/2011
- PUBLISHED CONTROL/FIXED CONTROL: NCGS RTN OR AS NOTED
- GEOD MODEL: 2012B
- COMBINED GRID FACTOR: 0.999897300602
- UNITS: US SURVEY FEET

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 18TH DAY OF AUGUST, 2020.

*Patrick Hartman*  
PROFESSIONAL LAND SURVEYOR LICENSE NO. L-4262

**OWNER**  
CITY OF GREENVILLE  
P.O. BOX 7207  
GREENVILLE, NC 27804

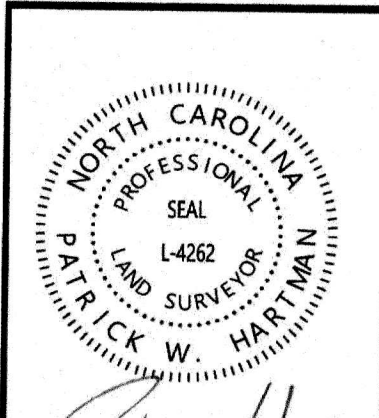


CITY OF GREENVILLE  
D.B. 3863 PG. 527  
P.N. 01030

**EXISTING CONDITIONS**

DATE 8/18/2020

DESIGN CHECK PHM



NC License: F-0394

**Rivers & Associates, Inc.**

riversandassociates.com Since 1918

Engineers  
Planners  
Surveyors  
Landscape Architects

107 East Second Street  
Greenville, NC 27858  
(252) 752-4155

TOPOGRAPHIC SURVEY FOR  
CITY OF GREENVILLE  
OF  
A PORTION OF THE FUTURE  
WILDSIDE PARK  
CITY OF GREENVILLE, PACTOLUS TOWNSHIP, PITT COUNTY, NC

|              |             |        |           |             |         |             |            |       |        |
|--------------|-------------|--------|-----------|-------------|---------|-------------|------------|-------|--------|
| DATE         | 8/18/2020   | SCALE  | 1" = 40'  | DRAWING NO. | W-3879S | PROJECT NO. | 2017115.14 | SHEET | 1 OF 1 |
| SURVEY RB/UA | DRAFT PH/MS | DESIGN | CHECK PHM |             |         |             |            |       |        |

Scanned 8/21/2020

C:\Users\p\_hartman\Desktop\2017115\_L4262\2017115\_L4262\2017115\_L4262.dwg

**SWALE CALCULATIONS for Temporary Swale 1**  
Adventure Park  
Greenville, NC

Outlet Based on 10 year storm

**Swale 1 in temporary condition**

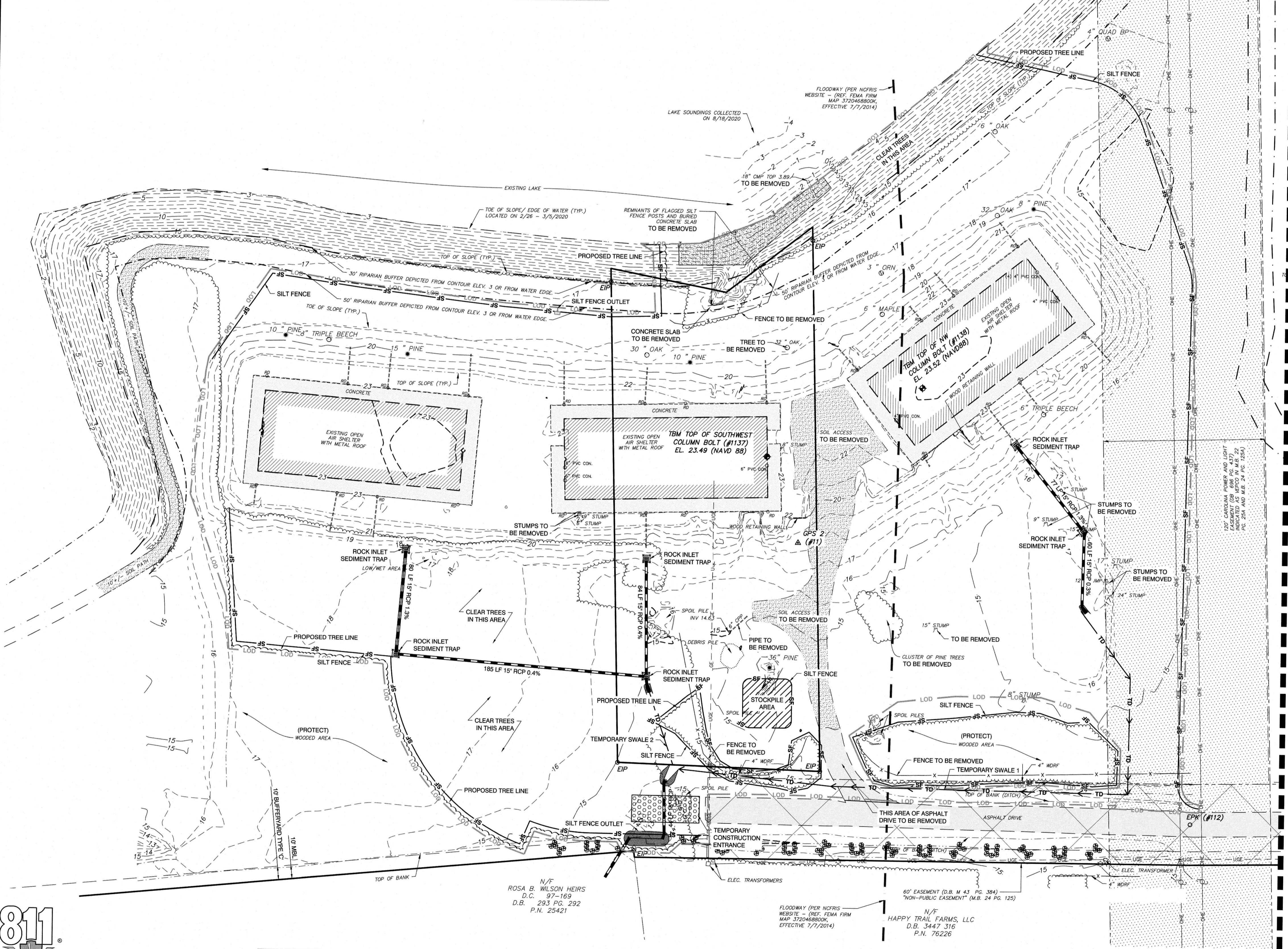
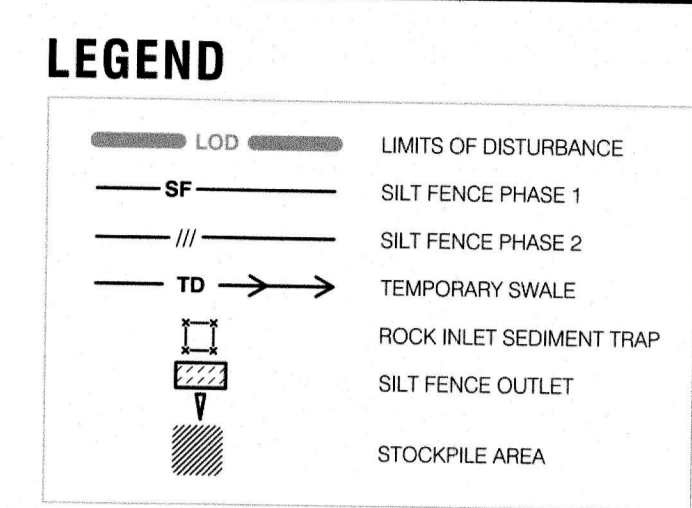
|  |                     |               |                                   |
|--|---------------------|---------------|-----------------------------------|
| Total watershed area (Ac)                          | 1.57                |               |                                   |
| Land Type  | Rational C          | CN            | Acres                             |
| Area Impervious                                    | 0.9                 | 98            | 0.320                             |
| Denuded with temporary seeding                     | 0.25                | 73            | 0.680                             |
| Total watershed area                               | 1.000               |               |                                   |
| Composite  | 0.48                |               |                                   |
| Hydraulic Length (ft)                              | Overland            | Channelized   | Total                             |
| Vertical Relief (ft)                               | 485                 | 0.50          | 485.50                            |
| Time of Concentration                              | Overland            | Channelized   | Total                             |
| $\frac{L}{V}$ Time (min)                           | 2                   | 0.21          | 2.21                              |
| Travel Factor                                      | 2                   | 0.21          | 2.21                              |
| Rainfall Intensity = $I = \frac{1.48}{L^{0.0157}}$ | 8.0 inches per hr   |               |                                   |
| Peak Discharge = $Q = CIA$                         | 5.8 cfs             |               |                                   |
| Right Side Slope                                   | Left Side Slope     | n             | Slope Channel Velocity Flow Depth |
| 3:00   | 3:00                | 0.028 (0.10%) | 3.91 fps 0.28 ft                  |
| Tractive Force                                     | use temporary liner | Td =          | 0.45 lbf/ft                       |
| Td = YDS (lbf/ft)                                  | 0.018               | July Net      |                                   |

**SWALE CALCULATIONS for Temporary Swale 2**  
Adventure Park  
Greenville, NC

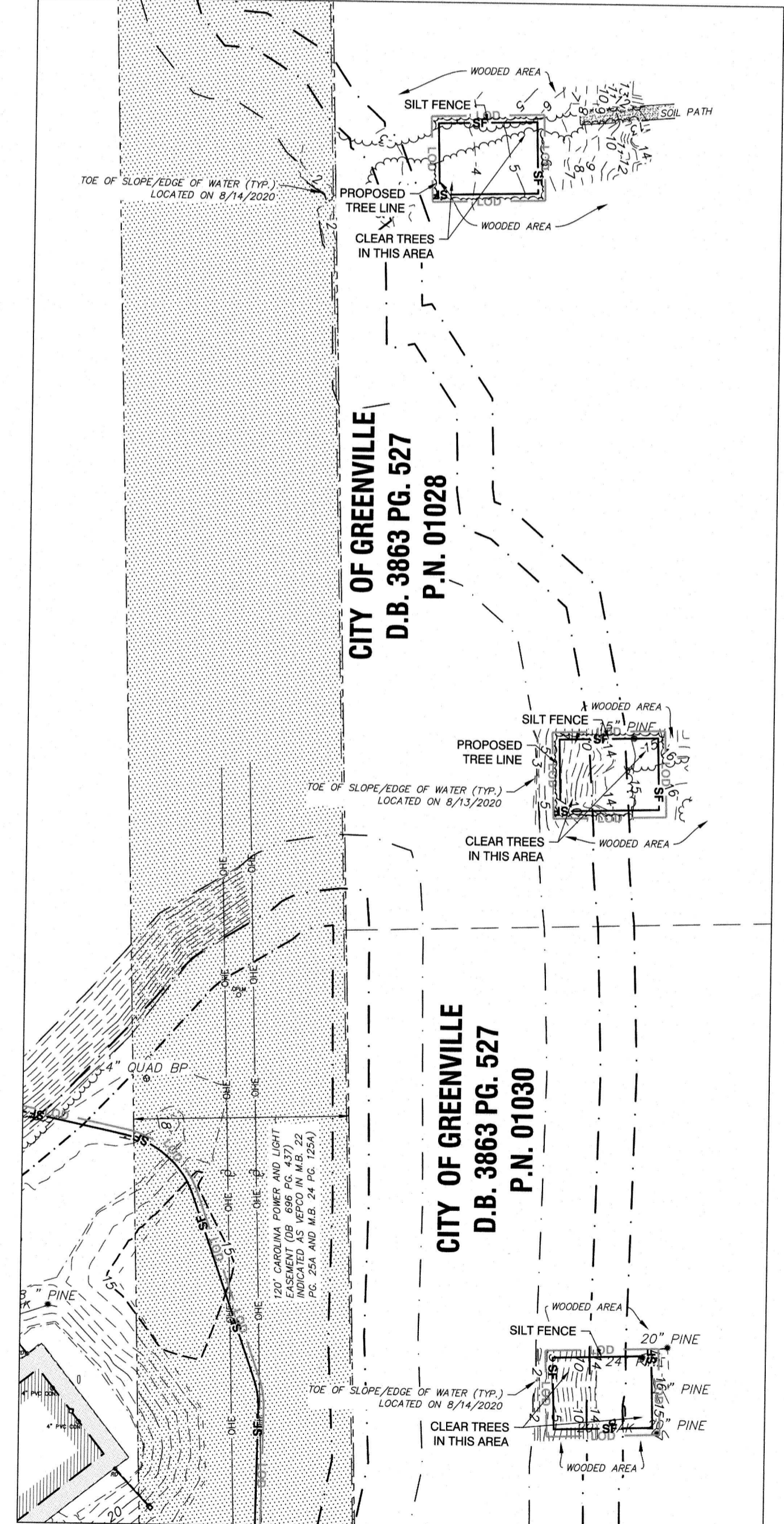
Outlet Based on 10 year storm

**Swale 2 in temporary condition**

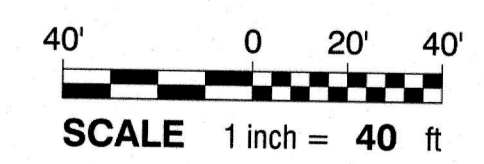
|  |                     |               |                                   |
|--|---------------------|---------------|-----------------------------------|
| Total watershed area (Ac)                          | 1.61                |               |                                   |
| Land Type  | Rational C          | CN            | Acres                             |
| Area Impervious                                    | 0.9                 | 98            | 1.050                             |
| Denuded with temporary seeding                     | 0.25                | 73            | 0.560                             |
| Total watershed area                               | 1.610               |               |                                   |
| Composite  | 0.67                |               |                                   |
| Hydraulic Length (ft)                              | Overland            | Channelized   | Total                             |
| Vertical Relief (ft)                               | 485                 | 0.30          | 485.30                            |
| Time of Concentration                              | Overland            | Channelized   | Total                             |
| $\frac{L}{V}$ Time (min)                           | 2                   | 0.21          | 2.21                              |
| Travel Factor                                      | 2                   | 0.21          | 2.21                              |
| Rainfall Intensity = $I = \frac{1.48}{L^{0.0157}}$ | 8.0 inches per hr   |               |                                   |
| Peak Discharge = $Q = CIA$                         | 8.7 cfs             |               |                                   |
| Right Side Slope                                   | Left Side Slope     | n             | Slope Channel Velocity Flow Depth |
| 3:00   | 3:00                | 0.028 (0.48%) | 3.55 fps 0.32 ft                  |
| Tractive Force                                     | use temporary liner | Td =          | 0.45 lbf/ft                       |
| Td = YDS (lbf/ft)                                  | 0.096               | July Net      |                                   |



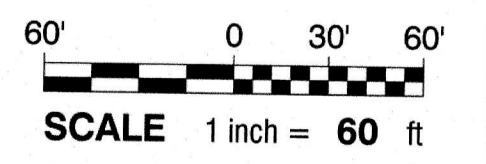
- GENERAL DEMOLITION NOTES**
- CONTACT NC ONE-CALL (1-800-632-4949) TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING
  - PRE-CONSTRUCTION CONFERENCE MUST BE HELD WITH CITY OF GREENVILLE ENGINEERING DIVISION AND GREENVILLE UTILITIES COMMISSION WATER RESOURCES DEPARTMENT PRIOR TO BEGINNING WORK
  - INSTALL EROSION AND SEDIMENTATION CONTROL MEASURE PRIOR TO INITIATING ANY LAND DISTURBING ACTIVITIES, INCLUDING DEMOLITION
  - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK
  - CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
  - ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE-APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
  - THE BURNING OF CLEARED MATERIAL AND EBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
  - ASBESTOS AND/OR OTHER HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
  - CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
  - CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
  - CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
  - CONTRACTOR AND ALL SUB-CONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THAT PAINTS, LIQUID WASTES, DEMOLITION MATERIALS, CONCRETE AND SEDIMENT DO NOT ENTER STREAMS OR STORM DRAINS OR HAVE CONTACT WITH SURFACE WATERS, WETLANDS OR BUFFERS. FAILURE TO DO SO WILL BE CONSIDERED A VIOLATION OF THE NPDES GENERAL PERMIT NCG010000 FOR CONSTRUCTION ACTIVITIES AND MAY RESULT IN STATE OR FEDERAL CIVIL OR CRIMINAL PENALTIES.



**TOTAL LIMITS OF DISTURBANCE = 6.99 AC**

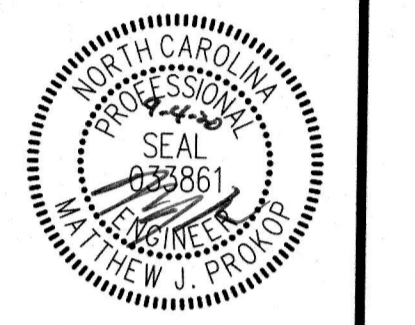


**INSET 'A'**  
CAMPING PLATFORMS ADDED



**Rivers & Associates, Inc.**  
Engineers  
Planners  
Surveyors  
Landscape Architects

107 East Second Street  
Greenville, NC 27838  
(252) 752-4135



**REVISIONS:**

| NO. | DESCRIPTION          | DATE     | BY  |
|-----|----------------------|----------|-----|
| 1   | CITY REVIEW COMMENTS | 9/4/2020 | MJP |

**CITY OF GREENVILLE**  
D.B. 3863 PG. 527  
P.N. 01028

**CITY OF GREENVILLE**  
D.B. 3863 PG. 527  
P.N. 01030

**ADVENTURE PARK**  
PITT COUNTY NORTH CAROLINA

**DEMOLITION AND EROSION CONTROL**

DATE: AUGUST 7, 2020  
DESIGNED BY: MJP  
DRAWN BY: SBC  
CHECKED BY: JDV  
PROJECT No. 2017115.14  
DRAWING No. W-3896  
SCALE: AS NOTED  
SHEET No. **C4**





PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection.

Table with 2 columns: Inspect, Frequency (during normal business hours), and Inspection records must include. Rows include rain gauge, E&SC measures, stormwater discharge, perimeter of site, and stormwater ponds.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible.

- (a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur.
(b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

The approved E&SC plan as well as any approved deviation shall be kept on the site. The permittee shall report the following occurrences:

Table with 2 columns: Item to Document and Documentation Requirements. Rows include E&SC measure deviation, phase of grading, ground cover, maintenance/repair, and corrective actions.

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspection at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- (a) This General Permit as well as the Certificate of Coverage, after it is received.
(b) Records of inspections made during the previous twelve months.
(c) Documentation to be Retained for Three Years

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

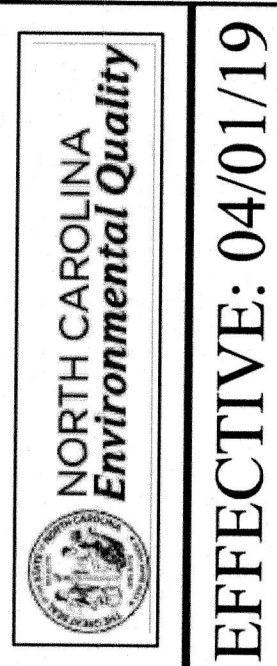
SECTION C: REPORTING

1. Occurrences that Must be Reported. Permittees shall report the following occurrences:

- (a) Visible sediment deposition in a stream or wetland.
(b) Oil spills:
- They are 25 gallons or more.
- They are less than 25 gallons but cannot be cleaned up within 24 hours, or
- They cause sheen on surface waters (regardless of volume), or
- They are within 100 feet of surface waters (regardless of volume).

2. Reporting Timeframes and Other Requirements. After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below.

Table with 2 columns: Occurrence and Reporting Timeframes (After Discovery) and Other Requirements. Rows include visible sediment, oil spills, and report of least ten days before the date of the bypass.



EFFECTIVE: 04/01/19

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively).

SECTION E: GROUND STABILIZATION

Table with 4 columns: Site Area Description, Stabilize within this many calendar days after ceasing land disturbance, Timeframe variations, and other details. Rows include perimeter dikes, high quality water, and slopes steeper than 3:1.

NOTE: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity.

GROUND STABILIZATION SPECIFICATION

Table with 2 columns: Temporary Stabilization and Permanent Stabilization. Rows include grass seed, hydroseeding, straw, and other mulches.

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- 1. Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
2. Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
3. Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
4. Provide ponding area for containment of treated stormwater before discharging offsite.
5. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- 1. Maintain vehicles and equipment to prevent discharge of fluids.
2. Provide drip pans under any stored equipment.
3. Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- 1. Never bury or burn waste. Place litter and debris in approved waste containers.
2. Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
3. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.

PAINT AND OTHER LIQUID WASTE

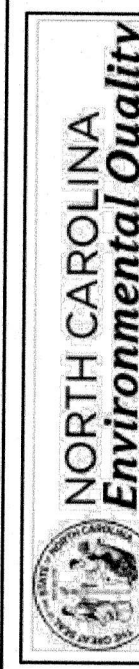
- 1. Do not dump paint and other liquid waste into storm drains, streams or wetlands.
2. Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
3. Contain liquid wastes in a controlled area.

PORTABLE TOILETS

- 1. Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available.
2. Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
3. Monitor portable toilets for leaking and properly dispose of any leaked material.

EARTHEN STOCKPILE MANAGEMENT

- 1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
3. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



EFFECTIVE: 04/01/19

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

Table with 2 columns: DATE, DESIGNED BY, DRAWN BY, CHECKED BY, PROJECT NO., DRAWING NO., SCALE, SHEET NO. Values include August 7, 2020, MJP, SBC, JDV, 2017115.14, W-3896, AS NOTED, C6.

CITY OF GREENVILLE ADVENTURE PARK PITT COUNTY - NORTH CAROLINA EROSION CONTROL NOTES

Table with 3 columns: NO., DESCRIPTION, DATE. Row 1: 1, CITY REVIEW COMMENTS, 9/4/2020.

Logos for North Carolina Seal and Rivers & Associates, Inc. with address and contact info.

**CITY OF GREENVILLE PLANTING NOTES:**

- SITE DATA:
  - LAND AREA FOR VEGETATION REQUIREMENTS - 6.99 AC
  - ZONING: CH - HEAVY COMMERCIAL
- REQUIRED VEGETATION: THE EXISTING SITE IS WOOD. TREE REQUIREMENTS ARE SATISFIED BY EXISTING TREES THAT WILL REMAIN.
  - LARGE TREES (5 AC) 6.99 x 5 = 35 REQ. / 35+ EXISTING
  - SMALL TREES (10 AC) 6.99 x 10 = 70 REQ. / 70+ EXISTING
  - SHRUBS (25 AC) 6.99 x 25 = 175 REQ. / 175+ EXISTING
- REQUIRED STREET VEGETATION (2 LARGE TREE / 100 LF); STREET TREE REQUIREMENTS ARE SATISFIED BY EXISTING TREES THAT WILL REMAIN.
  - NE GREENVILLE BLVD. 3860 LF 77 REQ. / 77+ EXISTING
  - OLD PACTOLUS RD. 80 LF 1 REQ. / 1+ EXISTING
- REQUIRED BUFFERYARD VEGETATION: THIS PROJECT ONLY IMPACTS APPROXIMATELY 550 LF OF BUFFERYARD, LOCATED ON THE EASTERN PROPERTY LINE AND IS LIMITED TO THE LIMITS OF DISTURBANCE.
  - 10' BUFFERYARD 'C': 3 LARGE EG TREES, 4 SMALL EG TREES & 16 EG SHRUBS PER 100 LINEAR FEET
  - NORTH PROPERTY LINES: 550 LF TOTAL / 100 = 5.5 - 6
  - LARGE EG TREES 6 x 3 = 18 REQ.
  - SMALL EG TREES 6 x 4 = 24 REQ.
  - EG SHRUBS 6 x 16 = 96 REQ.

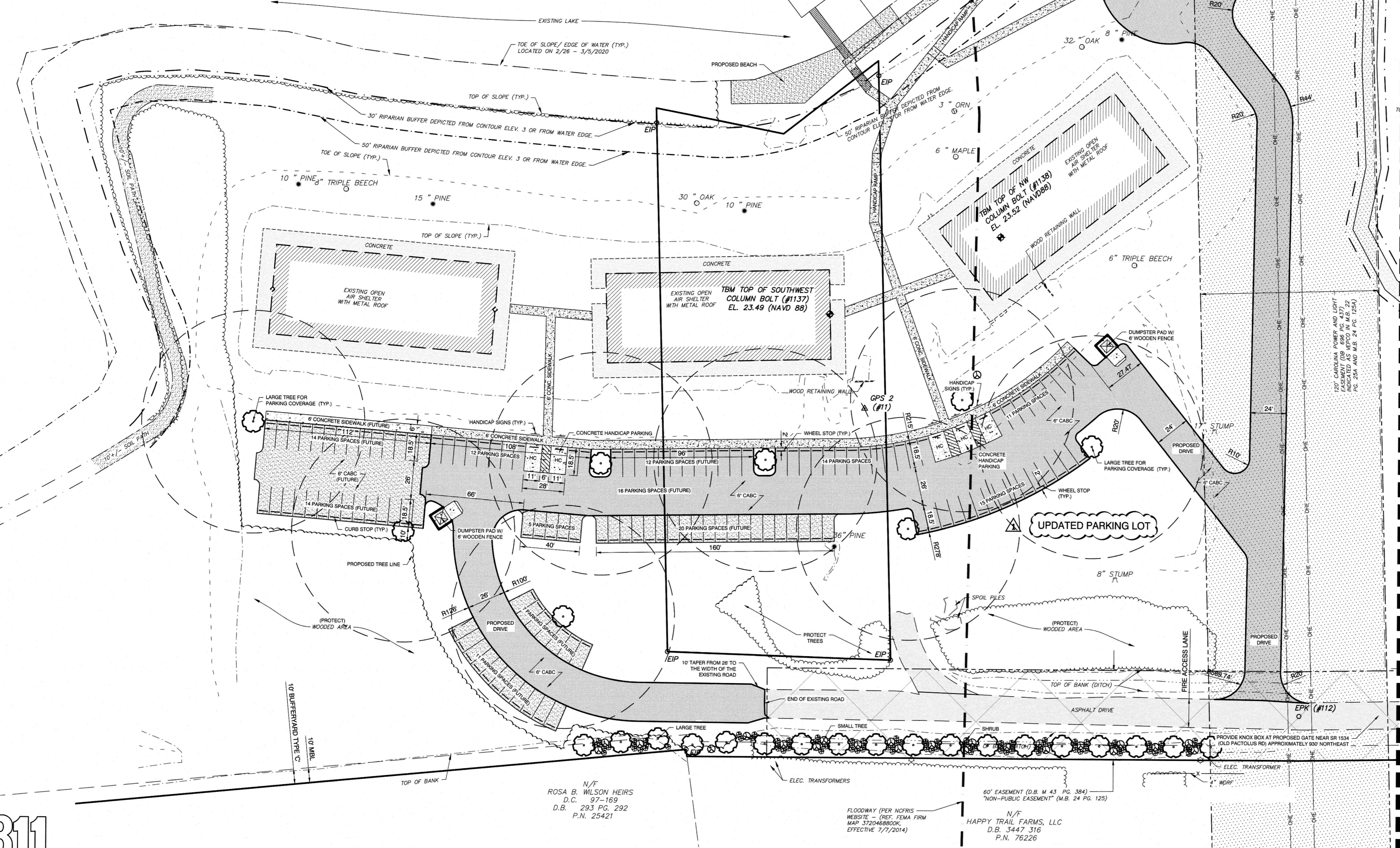
- ALL REQUIRED PLANT MATERIAL (LARGE TREES, SMALL TREES AND SHRUBS) LOCATED IN A SCREENING BUFFERYARD (C, D, E & F) SHALL BE EVERGREEN, EXCEPT WHERE A FENCE, EVERGREEN HEDGE OR BERM OPTION IS UTILIZED, THAN 25% OF REQUIRED PLANT MATERIAL MAY BE DECIDUOUS PER SEC. 9-4-266(A)(2)(f).
- EXISTING VEGETATION TO BE VERIFIED AT TIME OF INSPECTION.
- EXISTING SUBSTITUTE VEGETATION MATERIALS HAVE BEEN NOTED INCLUDING THEIR SPECIFIC LOCATION(S) AND ACREAGE.
- EXISTING SUBSTITUTE VEGETATION MATERIAL SHALL BE PROTECTED FROM SITE DEVELOPMENT ACTIVITIES IN ACCORDANCE WITH 9-4-265(F). (IF APPLICABLE)
- NO PORTION OF ANY PARKING AREA, INCLUDING ANY DRIVEWAY, PARKING SPACE, DRIVE ISLE, OR TURNING AREA, SHALL BE LOCATED MORE THAN THIRTY (30) FEET FROM AN ON-SITE SMALL TREE OR MORE THAN SEVENTY-FIVE (75) FEET FROM AN ON-SITE LARGE TREE. FOR PURPOSES OF THIS SECTION, THE MEASUREMENT SHALL BE FROM THE FARTHEST EDGE OF THE SUBJECT AREA TO THE CENTER OF THE BASE OF THE CLOSEST QUALIFYING TREE.
- SITE PLAN APPROVAL FROM THE RESPECTIVE EASEMENT HOLDER SHALL BE CONSTRUED AS APPROVAL OF ALL NOTED ENCROACHMENTS AS SHOWN ON THIS PLAN.
- THE FOLLOWING VEGETATION MATERIALS, AS LISTED BY COMMON NAME, SHALL CONSTITUTE NOT MORE THAN TWENTY-FIVE (25) PERCENT OF TOTAL REQUIREMENT FOR THE SPECIFIC CATEGORY:
  - LARGE TREE CATEGORY: RIVER BIRCH
  - SMALL TREE CATEGORY: ARISTOCRAT PEAR, BRADFORD PEAR, CAPITOL PEAR, AND CLEVELAND SELECT PEAR
  - EVERGREEN SHRUB CATEGORY: RED TIP PHOTINIA
- ALL GARBAGE/TRASH CONTAINERS, RECYCLING CENTERS OR COMPACTORS SHALL BE ENCLOSED ON THREE (3) SIDES IN ACCORDANCE WITH 9-4-269(F).
- ALL PARKING AREAS SHALL BE SCREENED IN ACCORDANCE WITH 9-4-268(L)(9) OF THE CITY CODE. VEGETATION MATERIALS SHALL BE EVERGREEN.
- A MINIMUM OF 3 FT. CLEARANCE MUST BE MAINTAINED AROUND ALL FIRE HYDRANTS IN ACCORDANCE WITH STATE FIRE CODE.
- NO LARGE TREES TO BE PLANTED WITHIN GUC WATER OR SEWER OR ANY OTHER UTILITY EASEMENTS.

**LEGEND :**

- PROPOSED PARKING AND DRIVEWAY
- PROPOSED SIDEWALK
- PROPOSED HANDICAP PARKING SPACES
- PROPOSED BEACH AREA
- FUTURE PARKING
- FUTURE SIDEWALK

**PLANTING SCHEDULE:**

- LG Large Tree
- SH Shrubs
- SH Shrubs

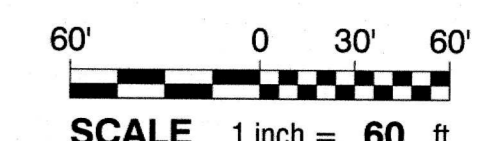
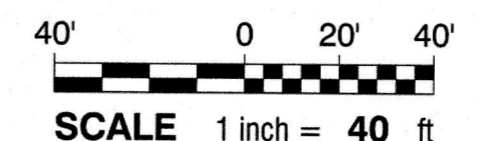
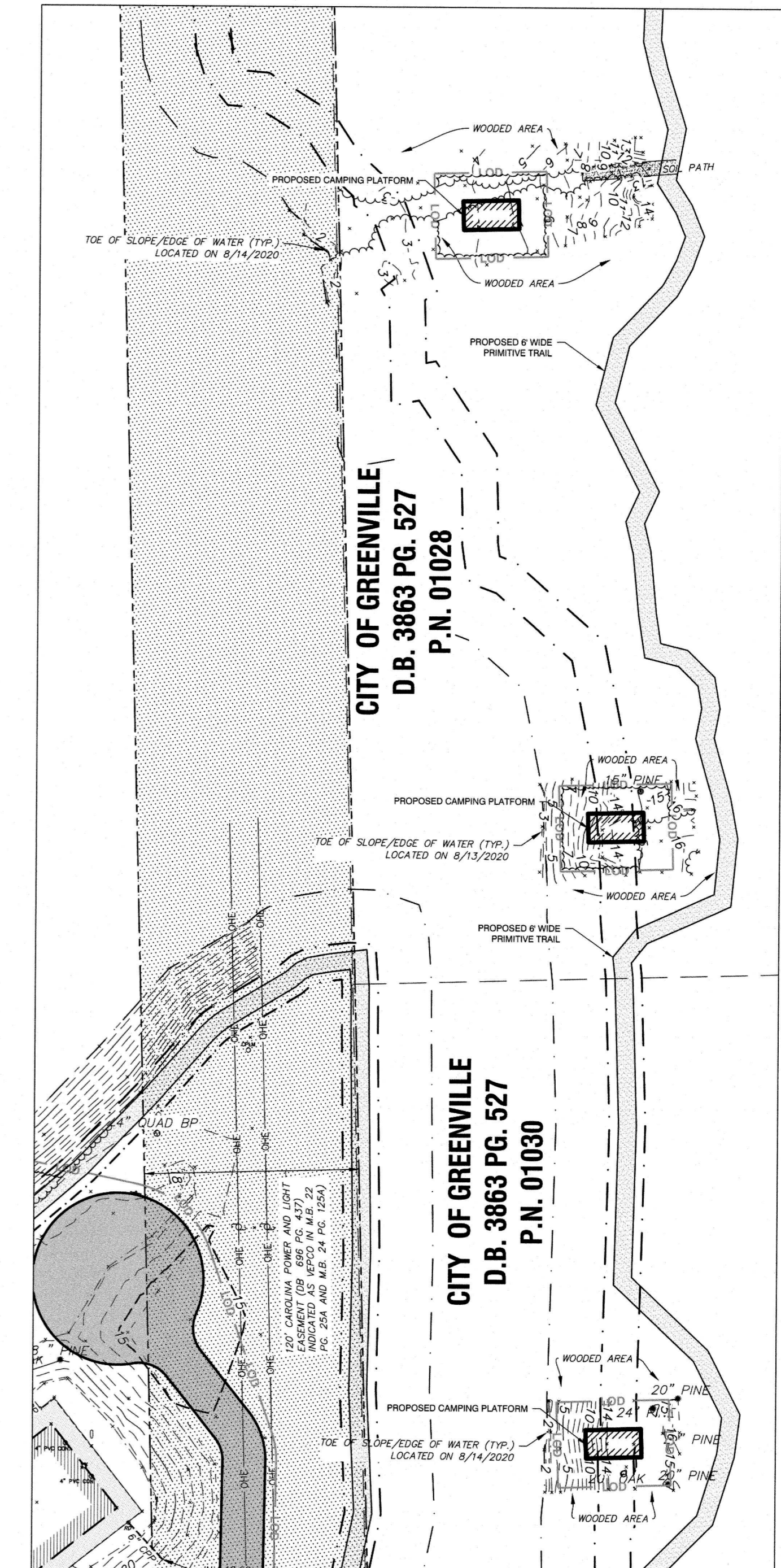


**SITE DATA: SEE COVER SHEET C1**

**GENERAL NOTES:**

- CONTACT NORTH CAROLINA ONE-CALL CENTER, INC. (NC-811) TO HAVE ALL UNDERGROUND UTILITIES LOCATED PRIOR TO EXCAVATING OR TRENCHING.
- ALL UTILITIES TO BE PROVIDED BY OTHERS
- ALL REQUIRED IMPROVEMENTS SHALL COMPLY WITH THE CITY OF GREENVILLE MANUAL OF STANDARD DESIGNS AND DETAILS AND THE MANUAL FOR THE DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER SYSTEM EXTENSIONS FOR GREENVILLE UTILITIES COMMISSION.
- PROPERTY IS LOCATED IN A ZONE 'AE' - FLOODWAY (AREA DETERMINED TO BE INSIDE REGULATORY FLOODWAY) AS IDENTIFIED BY FEMA FLOOD INSURANCE RATE MAP 3720468800K, EFFECTIVE JULY 7, 2014.
- REFUSE COLLECTION SHALL BE PROVIDED BY THE CITY OF GREENVILLE
- NO BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS, MATERIALS AND SURFACES, INCLUDING BUT NOT LIMITED TO PRINCIPLES AND ACCESSORY STRUCTURES AND ADDITIONS AND APPURTENANCES THERETO, SIGNAGE, FENCES, WALLS, MECHANICAL EQUIPMENT, CANOPIES, ANTENNAS, MASTS, DEBRIS, SOLID WASTE COLLECTION CONTAINERS, MAIL RECEPTACLES AND IMPERVIOUS SURFACES SHALL ENCRUCH WITHIN ANY DEDICATED EASEMENT WITHOUT PRIOR APPROVAL OF GREENVILLE UTILITIES.
- ALL DIMENSIONS ARE TO EDGE OF GRAVEL, UNLESS OTHERWISE NOTED.
- ALL RADII ARE 4' UNLESS OTHERWISE NOTED (U.O.N.).
- ANY PUBLIC INFRASTRUCTURE DAMAGED DURING THE COURSE OF CONSTRUCTION WILL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR AND/OR OWNER.
- SIGNAGE SHALL BE PER ARTICLE 'N', GREENVILLE CITY CODE
- 8" CONCRETE, 4000 PSI W/ 6 GAUGE WIRE MESH FABRIC AT BOTH DUMPSTER LOCATIONS
- RECOMBINATION PLAT REQUIRED TO COMBINE PARCEL 26467 AND 01031 INTO A SINGLE PARCEL
- EXISTING TREES THAT ARE PROTECTED WILL COUNT FOR MINIMUM VEGETATION REQUIREMENTS.
- ALIGNMENT FOR PROPOSED 6' WIDE PRIMITIVE TRAIL PROVIDED BY CITY OF GREENVILLE (GPS DATA).
- EXISTING TREES ALONG OLD PACTOLUS ROAD (SR 1534) AND US 264 / NC 33 WILL BE PROTECTED. TREE REMOVAL IS LIMITED TO THE 6.99 ACRES OF DISTURBED AREA (SEE LIMITS OF DISTURBANCE SHEET C4).

SEE INSET 'A' FOR CAMPING PLATFORMS



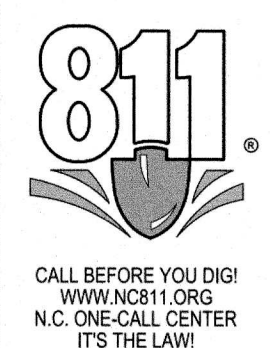
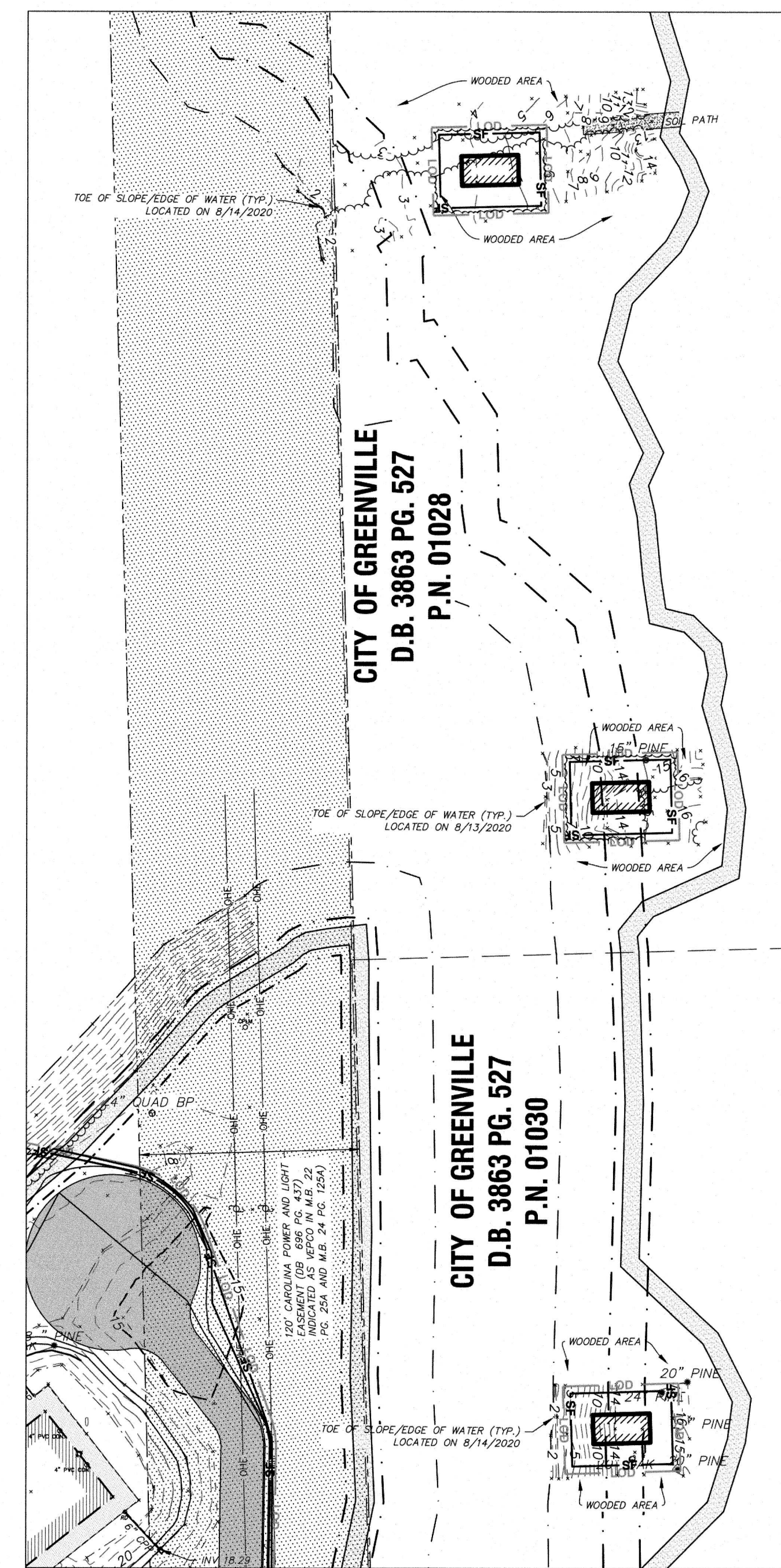
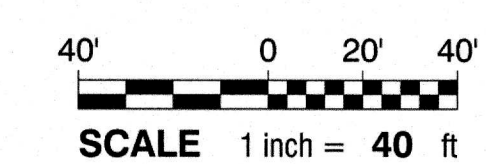
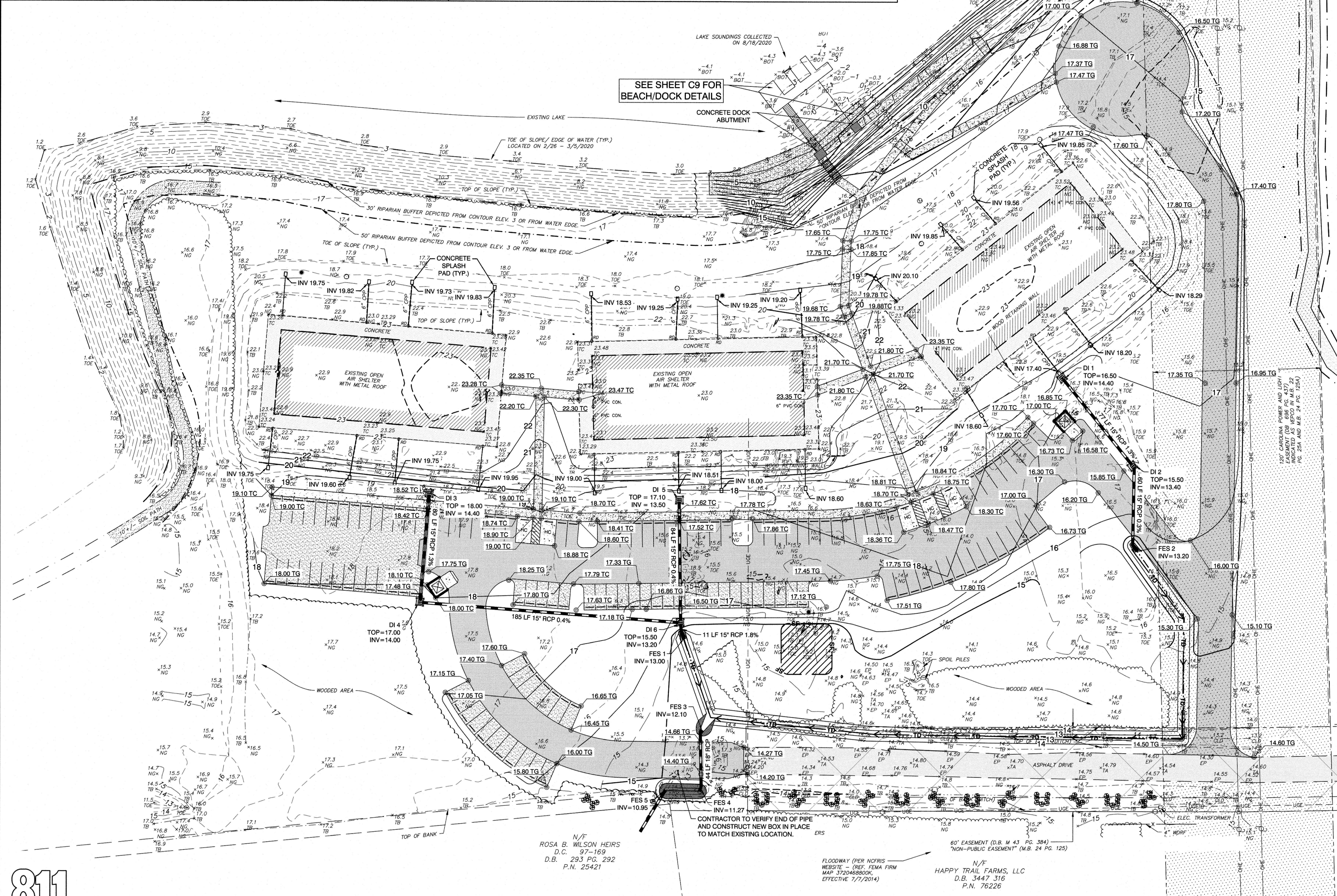
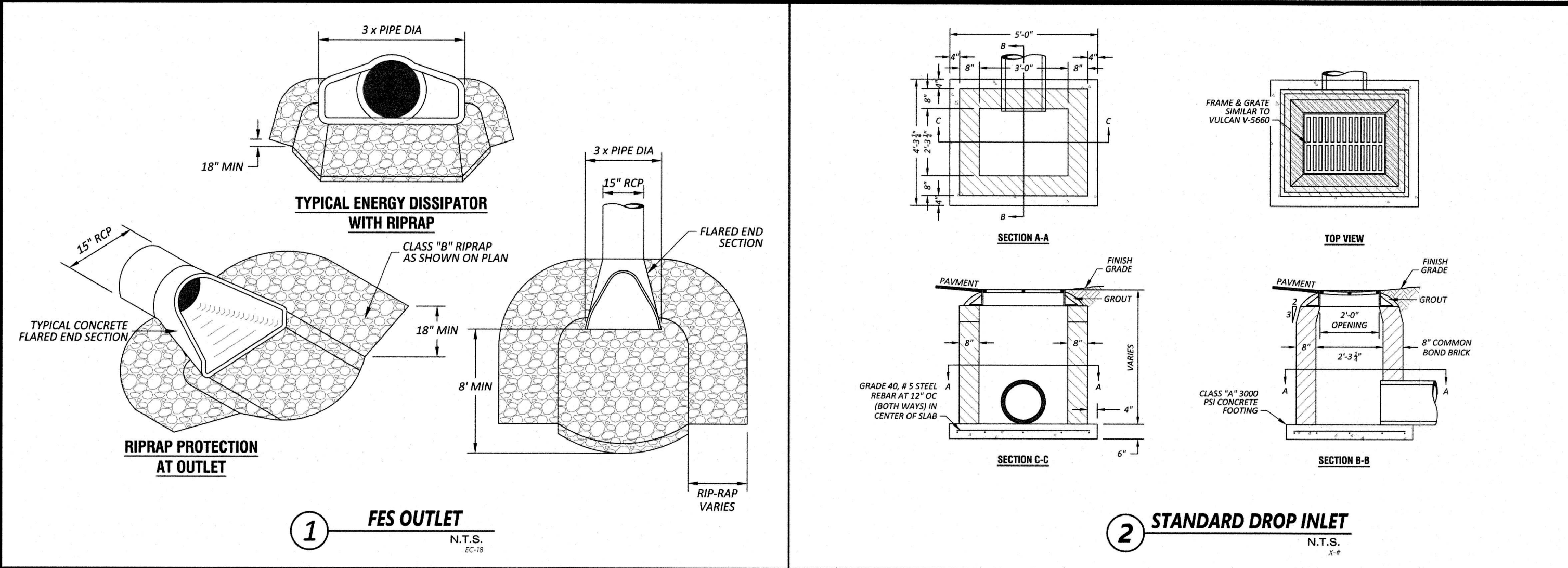
**Rivers**  
 LANDSCAPE ARCHITECTS & ASSOCIATES, INC.  
 Since 1918  
 107 East Second Street  
 Greenville, NC 27838  
 (252) 752-4135  
 Engineers  
 Surveyors  
 Landscape Architects



| REVISIONS: |                      |          |
|------------|----------------------|----------|
| NO.        | DESCRIPTION          | DATE     |
| 1          | CITY REVIEW COMMENTS | 9/4/2020 |

**CITY OF GREENVILLE**  
**ADVENTURE PARK**  
 PITT COUNTY - NORTH CAROLINA  
**SITE PLAN**

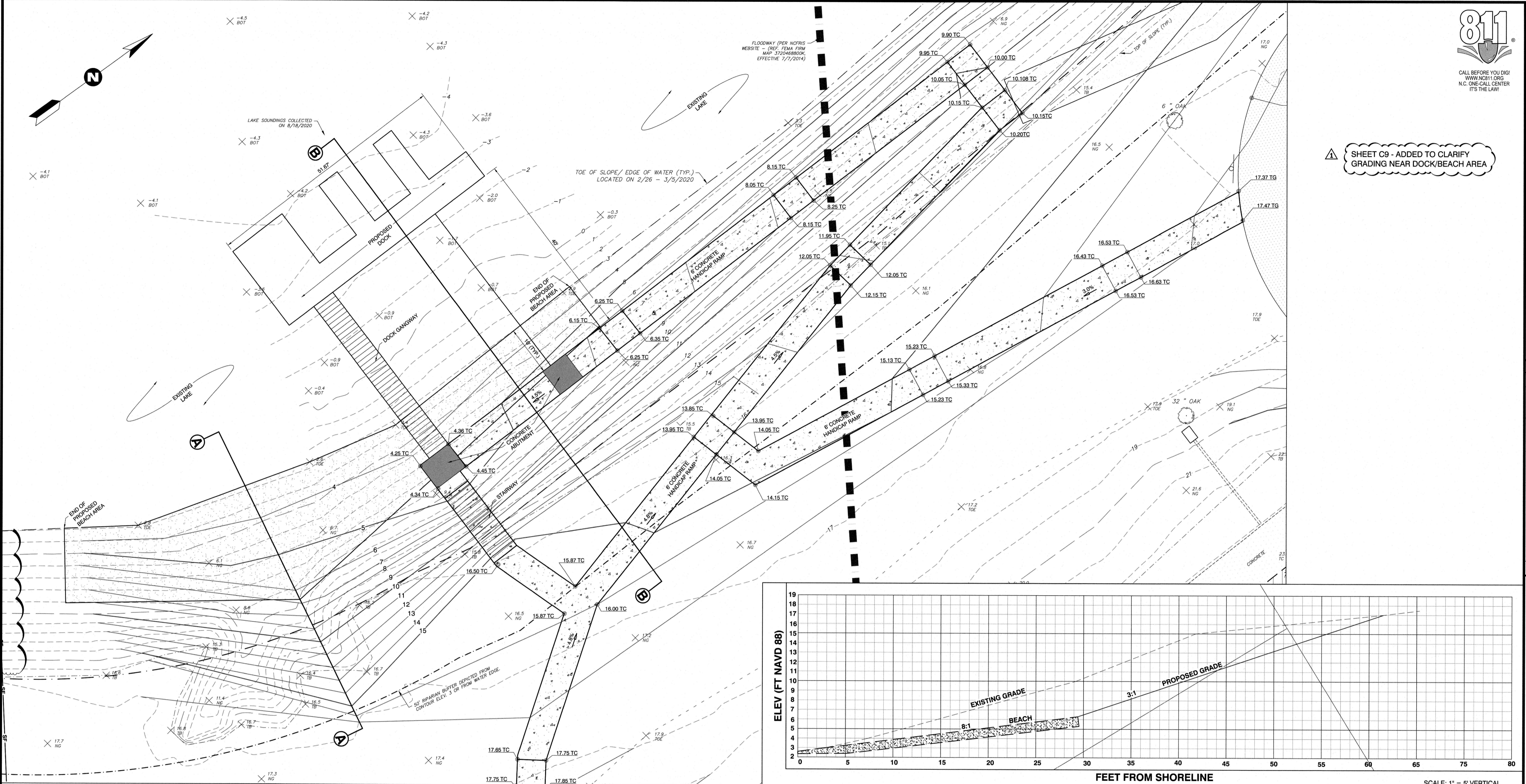
DATE: AUGUST 7, 2020  
 DESIGNED BY: MJP  
 DRAWN BY: SBC  
 CHECKED BY: JDV  
 PROJECT No.: 2017115.14  
 DRAWING No.: W-3896  
 SCALE: AS NOTED  
 SHEET No.: **C7**



**REVISIONS:**

| NO. | DESCRIPTION          | DATE     | BY  |
|-----|----------------------|----------|-----|
| 1   | CITY REVIEW COMMENTS | 9/4/2020 | IMP |





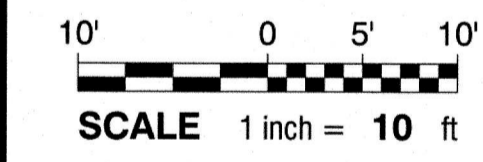
**Rivers & Associates, Inc.**  
 NC License F-0324  
 Engineers, Planners, Surveyors  
 107 East Second Street  
 Greenville, NC 27838  
 (252) 752-4135  
 Landscape Architects



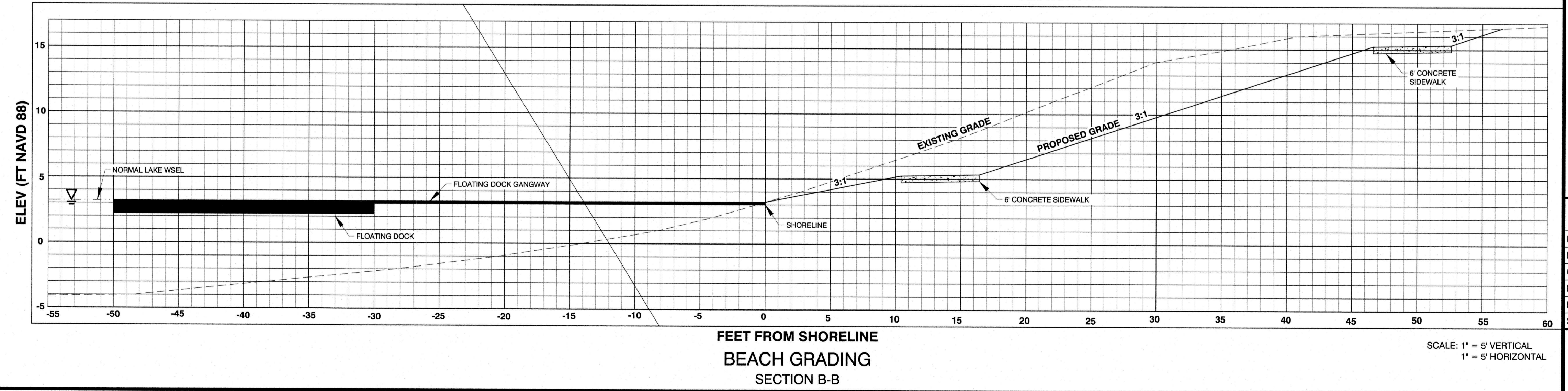
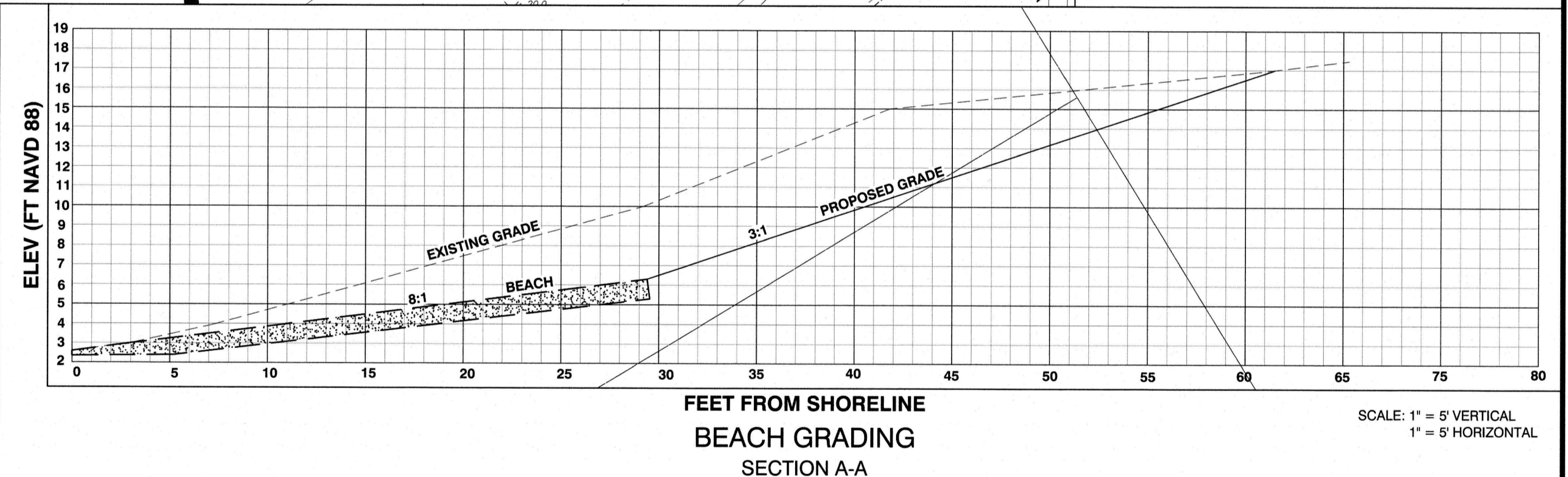
⚠️ SHEET C9 - ADDED TO CLARIFY GRADING NEAR DOCK/BEACH AREA

REVISIONS:

| NO. | DESCRIPTION          | DATE     | BY  |
|-----|----------------------|----------|-----|
| 1   | CITY REVIEW COMMENTS | 9/4/2020 | IMP |

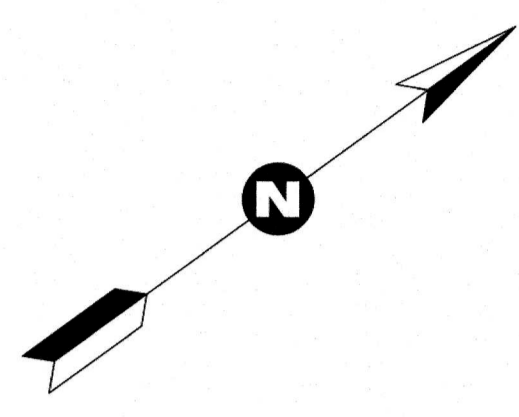


PROPOSED BEACH AND FLOATING DOCK AREA  
 SCALE 1" = 10'

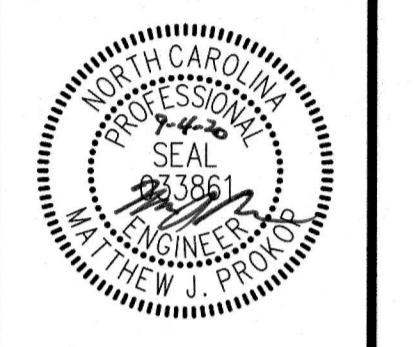
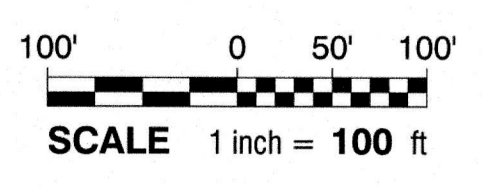
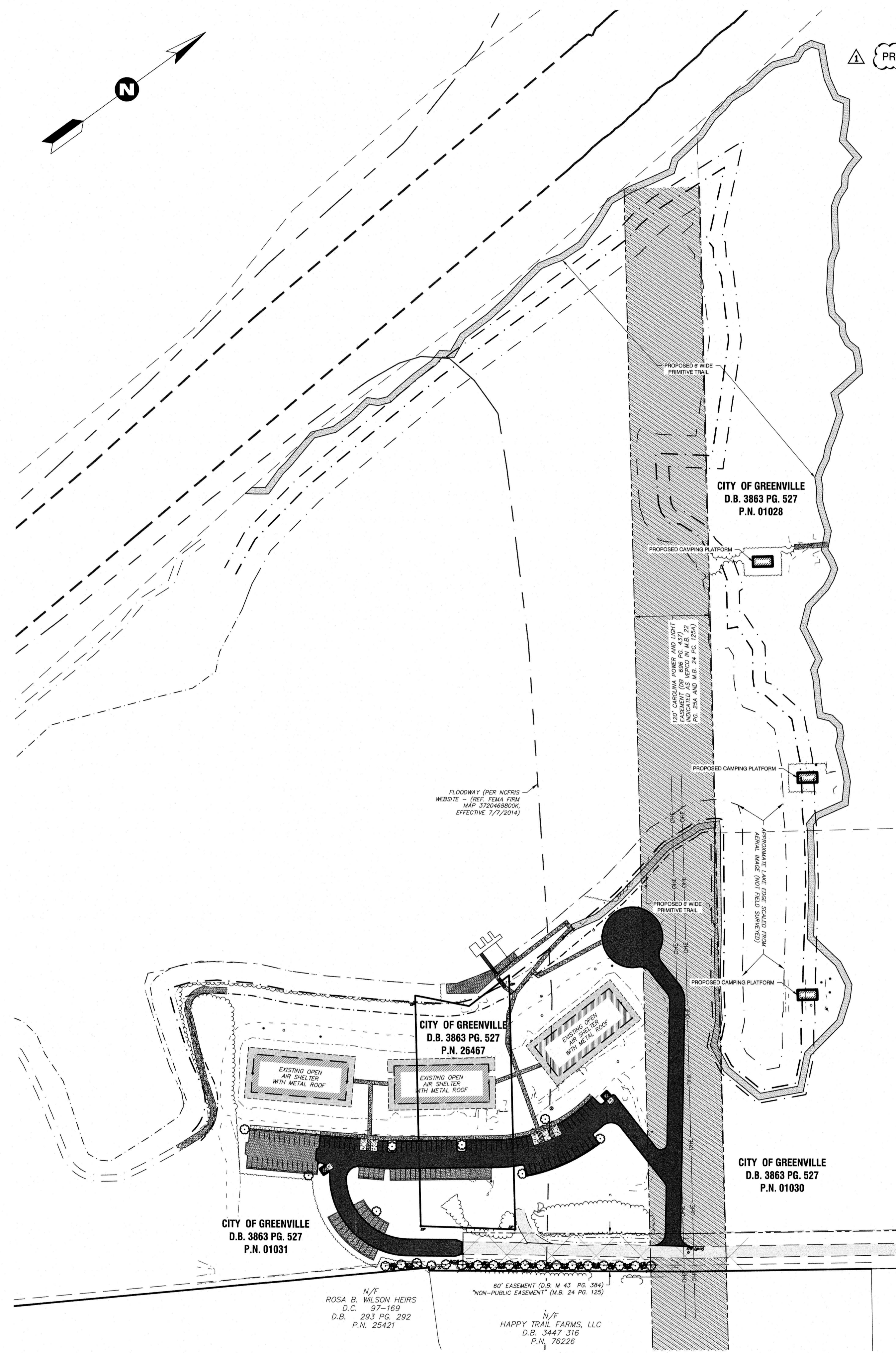


CITY OF GREENVILLE  
**ADVENTURE PARK**  
 NORTH CAROLINA  
**GRADING DETAILS - DOCK AREA AND SIDEWALK**

DATE: AUGUST 7, 2020  
 DESIGNED BY: MJP  
 DRAWN BY: SBC  
 CHECKED BY: JDV  
 PROJECT No: 2017115.14  
 DRAWING No: W-3896  
 SCALE: AS NOTED  
 SHEET No.



PRIMITIVE TRAIL ADDED



| REVISIONS: |                      |
|------------|----------------------|
| NO.        | DESCRIPTION          |
| 1          | CITY REVIEW COMMENTS |
|            | DATE                 |
|            | BY                   |

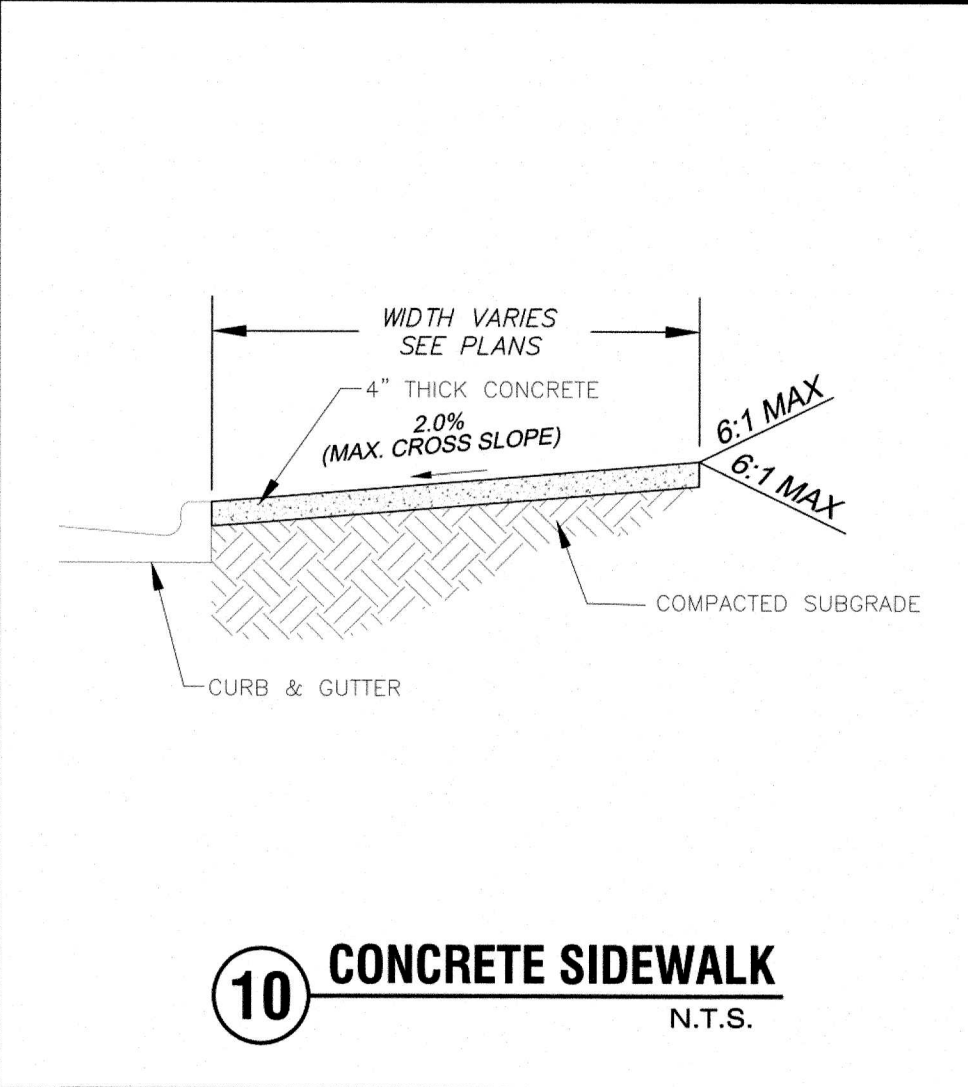
CITY OF GREENVILLE  
**ADVENTURE PARK**  
 PITT COUNTY NORTH CAROLINA  
**PROPOSED PRIMITIVE TRAIL LAYOUT**

|              |                |
|--------------|----------------|
| DATE:        | AUGUST 7, 2020 |
| DESIGNED BY: | MJP            |
| DRAWN BY:    | SBC            |
| CHECKED BY:  | JDV            |
| PROJECT No:  | 2017115.14     |
| DRAWING No:  | W-3896         |
| SCALE:       | AS NOTED       |
| SHEET No.    |                |

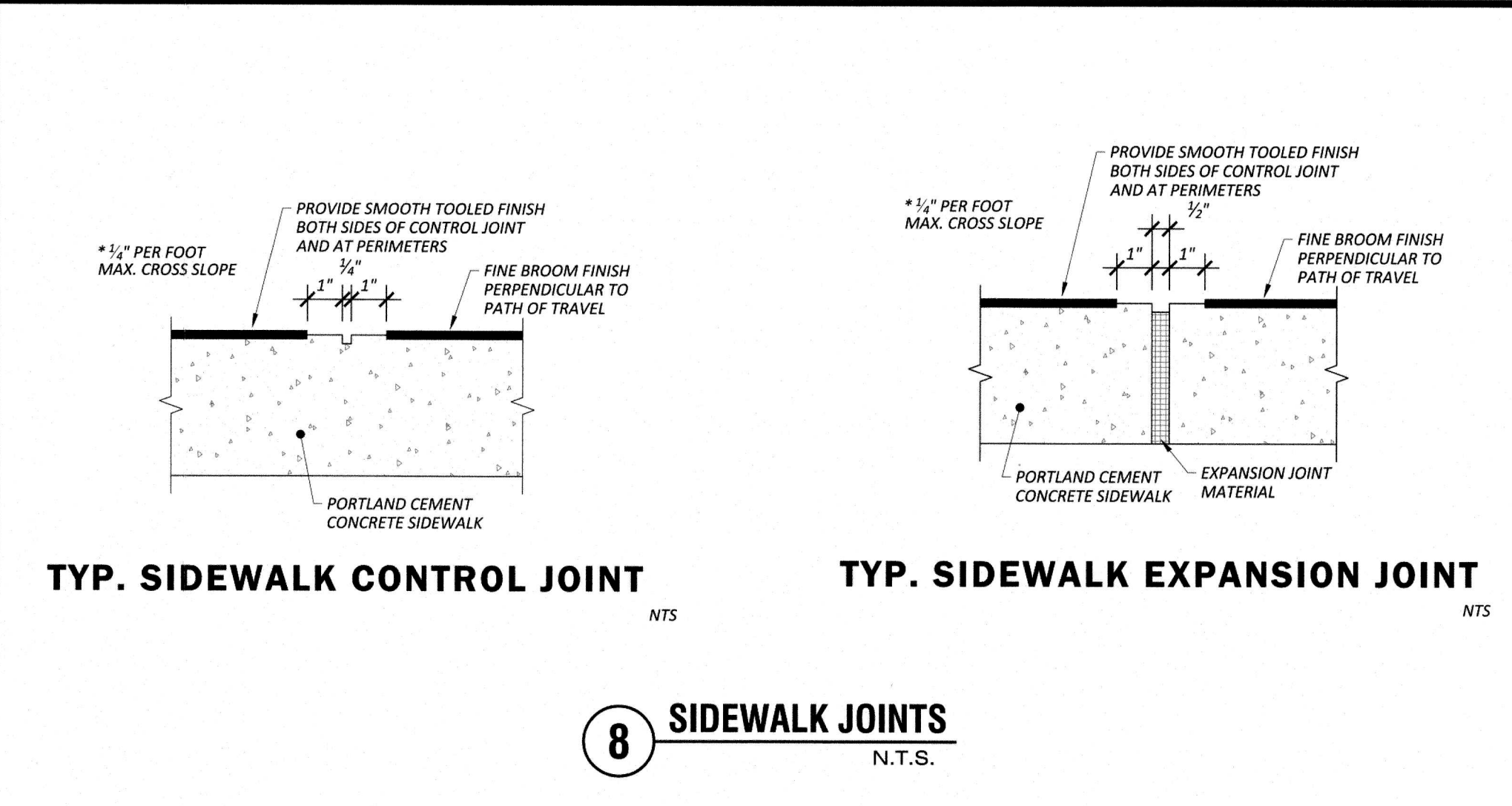
**C10**



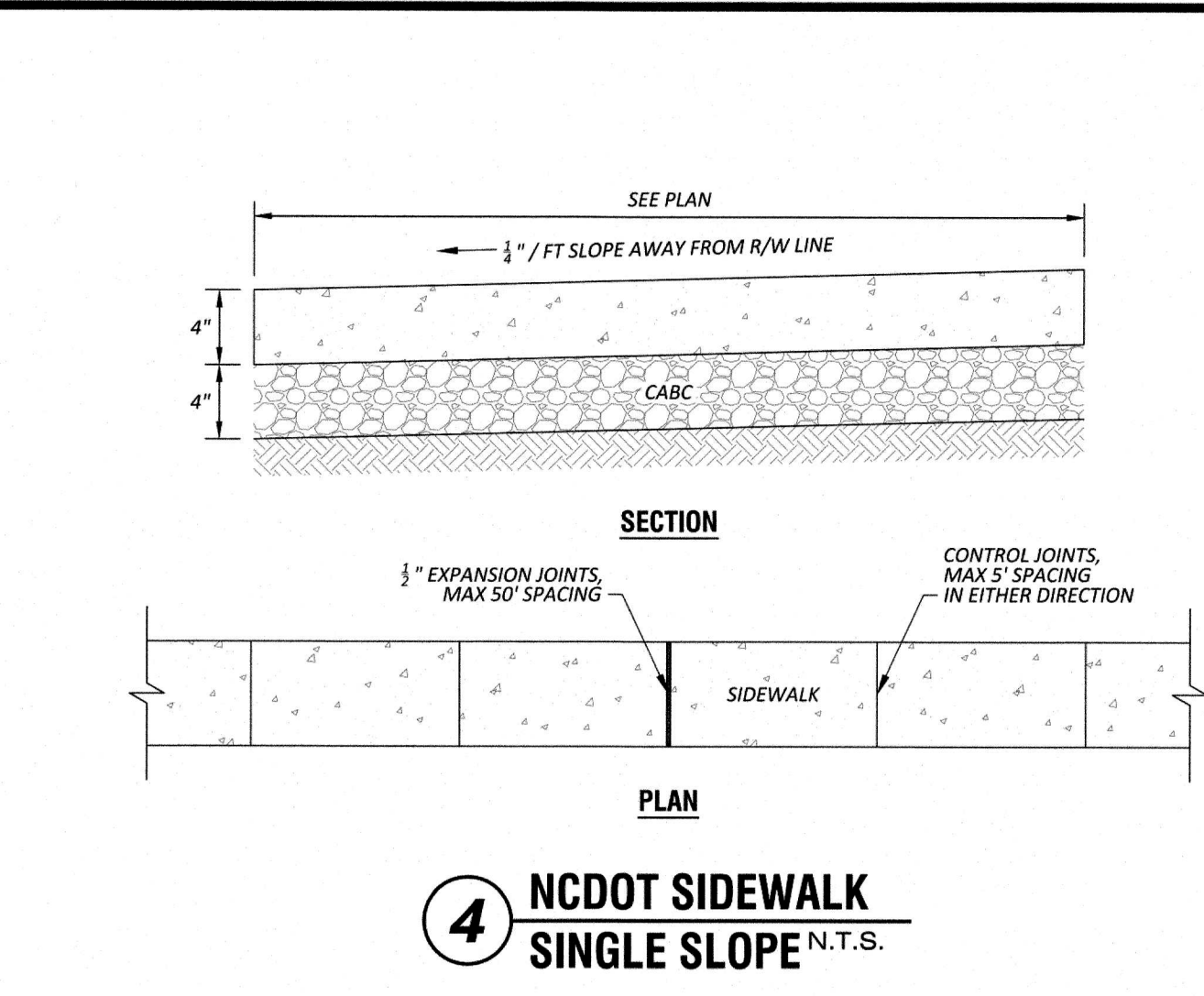
8/10/2020 11:00 AM - 11:00 AM  
 107 EAST SECOND STREET  
 GREENVILLE, NC 27858  
 (252) 752-4135  
 WWW.RIVERSANDASSOCIATES.COM



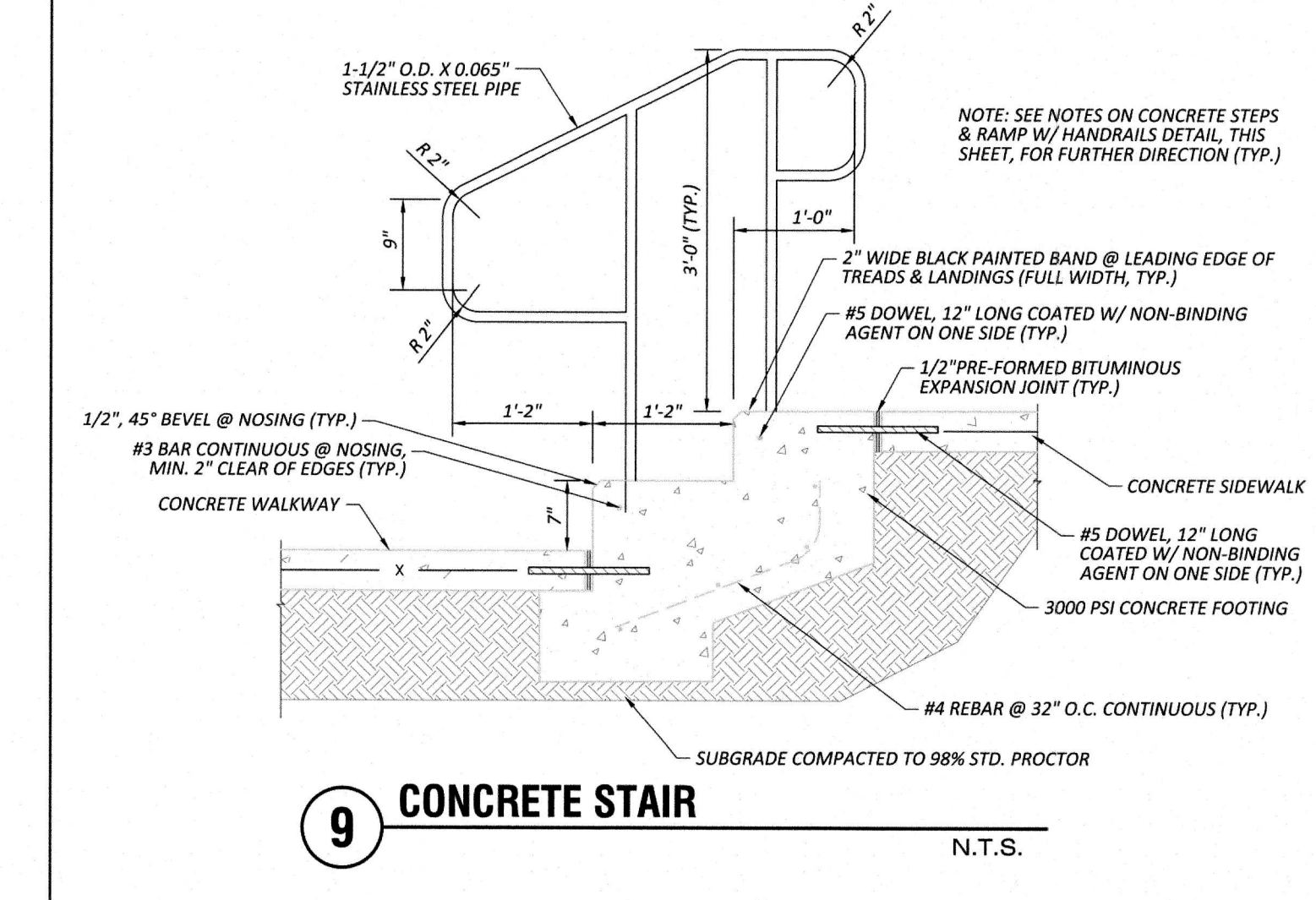
**10 CONCRETE SIDEWALK**  
N.T.S.



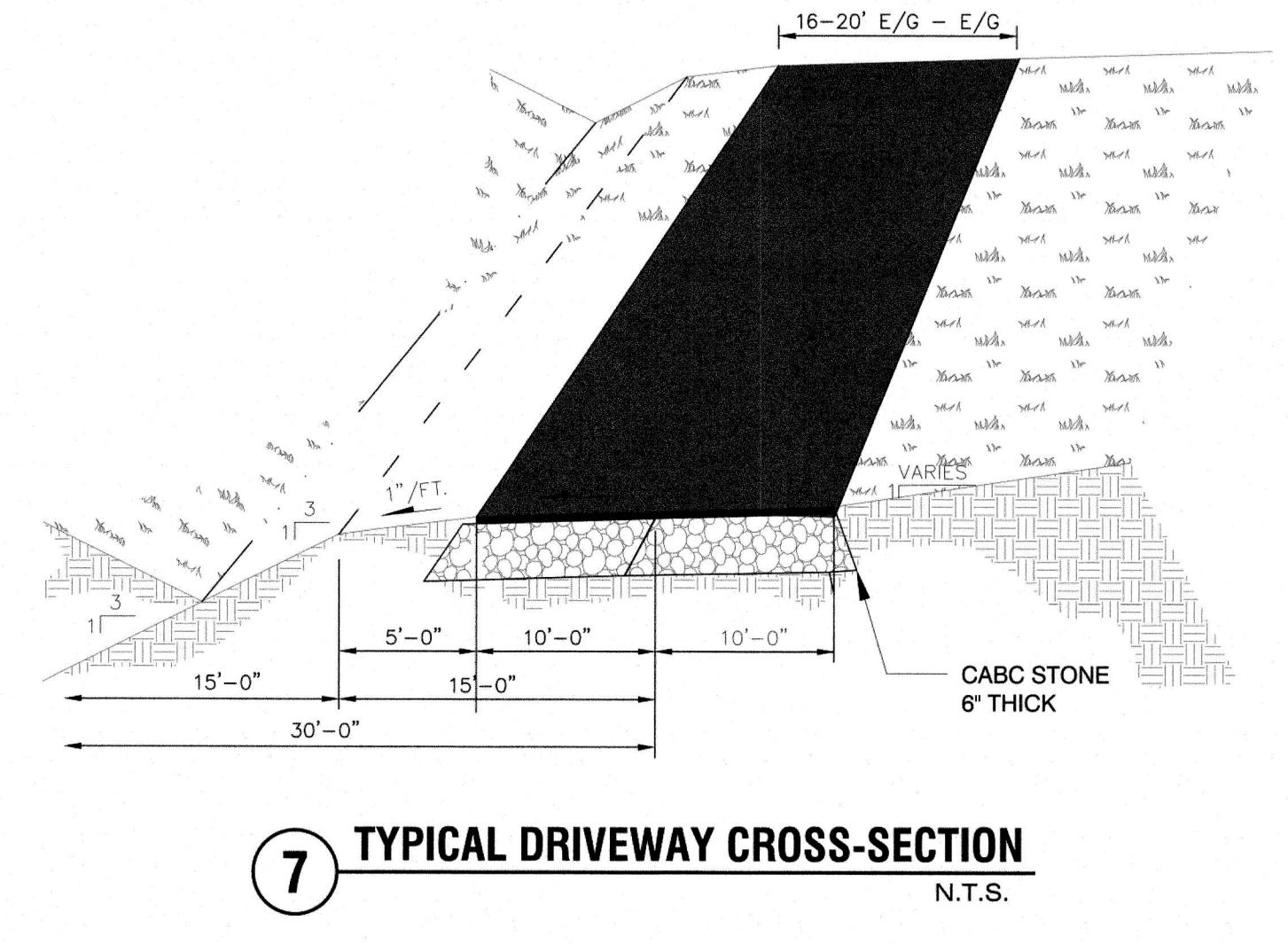
**8 SIDEWALK JOINTS**  
N.T.S.



**4 NCDOT SIDEWALK SINGLE SLOPE**  
N.T.S.



**9 CONCRETE STAIR**  
N.T.S.

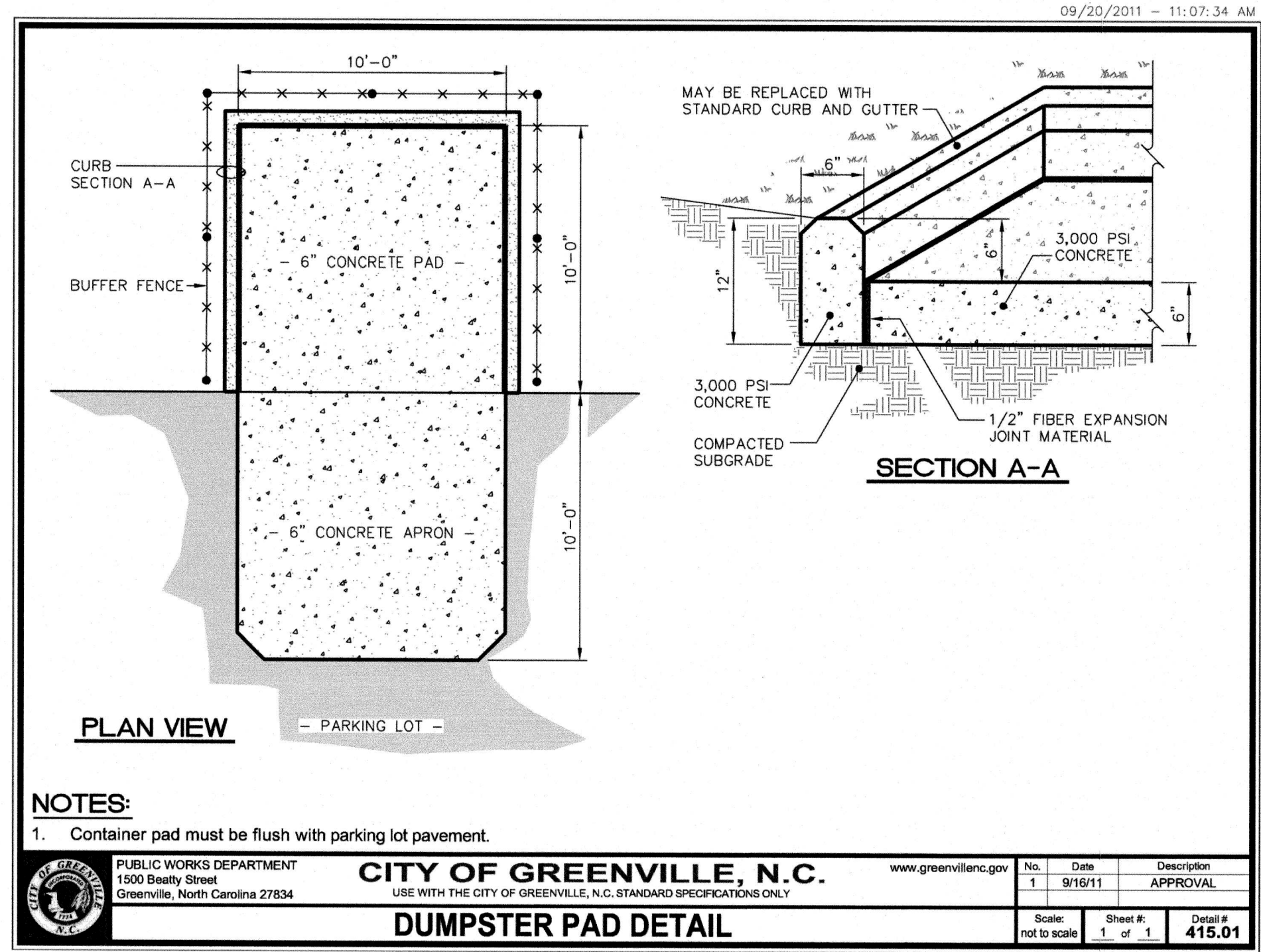


**7 TYPICAL DRIVEWAY CROSS-SECTION**  
N.T.S.

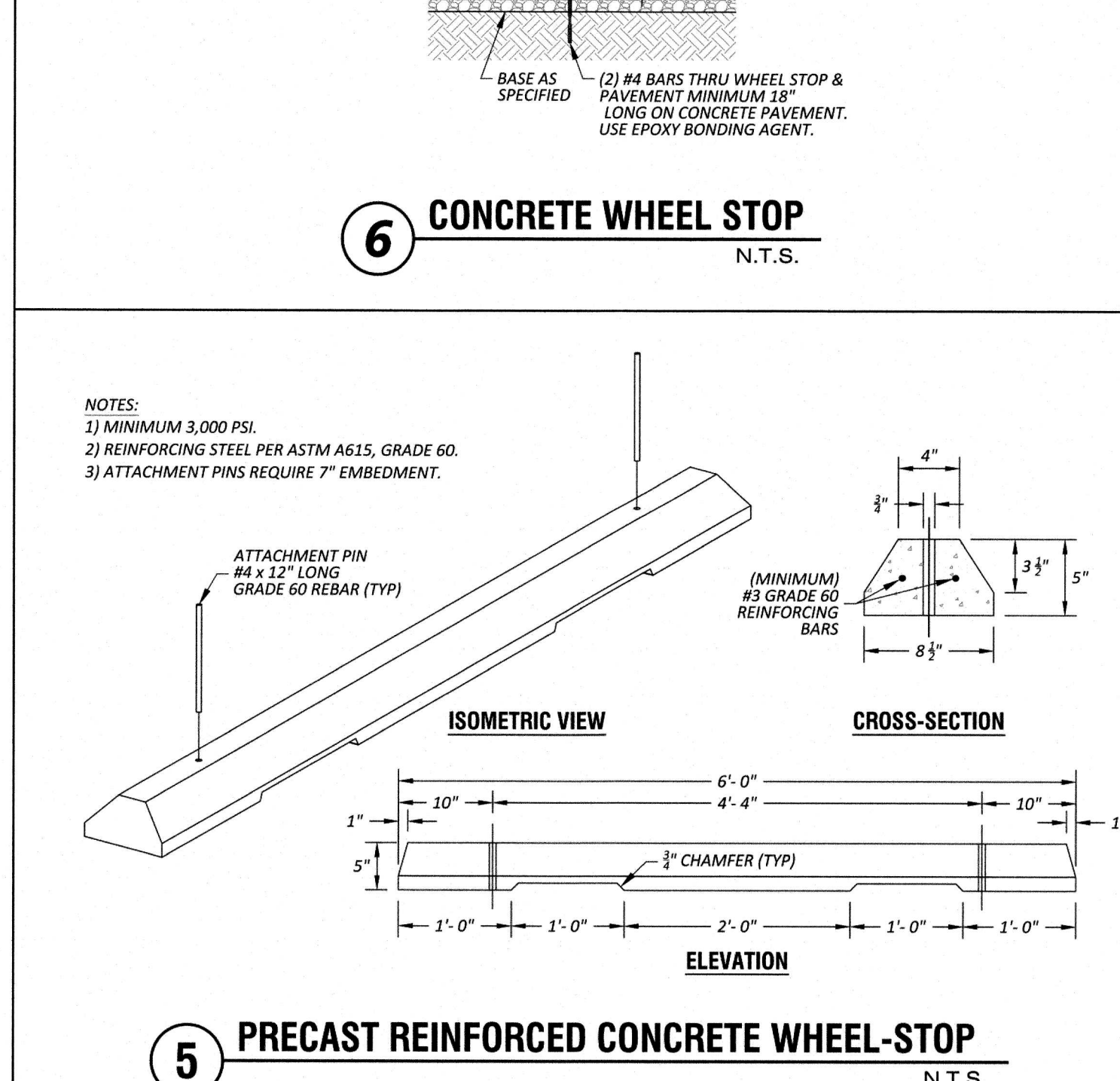
**NOTES:**

- CONSTRUCT THE WALKING SURFACE OF THE DETECTABLE DOMES WITH SLIP RESISTANCE AND A 70% CONTRASTING COLOR TO THE SIDEWALK.
- CROSSWALK WIDTHS AND CONFIGURATIONS VARY, BUT MUST CONFORM TO TRAFFIC DESIGN STANDARDS.
- PROVIDE WHEELCHAIR RAMPS AT LOCATIONS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. LOCATE WHEELCHAIR RAMPS AS DIRECTED BY THE ENGINEER WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT. WHERE TWO RAMPS ARE INSTALLED, PLACE NOT LESS THAN TWO FEET OF FULL HEIGHT CURB BETWEEN THE RAMPS. PLACE DUAL RAMPS AS NEAR PERPENDICULAR TO THE TRAVEL LANE BEING CROSSED AS POSSIBLE.
- DO NOT EXCEED 0.08 (12-1) SLOPE ON THE WHEELCHAIR RAMP IN RELATIONSHIP TO THE GRADE OF THE STREET.
- CONSTRUCT WHEELCHAIR RAMPS 40" (3'-4") OR GREATER FOR DUAL RAMPS.
- USE CLASS "B" CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH, NON-SKID TYPE SURFACE.
- PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE WHEELCHAIR RAMP JOINS THE CURB AND AS SHOWN ON STD. DWG. 848-01.
- PLACE THE INSIDE PEDESTRIAN CROSSWALK LINES IN THE INTERSECTION BY BISECTING THE INTERSECTION RADI WITH ALLOWANCE OF A 4' CLEAR ZONE IN THE VEHICULAR TRAVEL WAY WHEN ONE RAMP IS INSTALLED.
- COORDINATE THE CURB CUT AND THE PEDESTRIAN CROSSWALK LINES SO THE FLOOR OF THE WHEELCHAIR RAMP WILL FALL WITHIN THE PEDESTRIAN CROSSWALK LINES. PLACE DIAGONAL RAMPS WITH FLARED SIDES SO 24" OF FULL HEIGHT CURB FALLS WITHIN THE CROSSWALK MARKINGS ON EACH SIDE OF THE FLARES.
- CONSTRUCT THE PEDESTRIAN CROSSWALK WITH A MINIMUM WIDTH OF SIX FEET. A CROSSWALK WIDTH OF TEN FEET OR GREATER IS DESIRABLE.
- USE STOP LINES, NORMALLY PERPENDICULAR TO THE LANE LINES WHERE IT IS IMPORTANT TO INDICATE THE POINT BEYOND WHICH VEHICLES ARE REQUIRED TO STOP IN COMPLIANCE WITH A TRAFFIC SIGNAL, STOP SIGN OR OTHER LEGAL REQUIREMENT. AN UNUSUAL APPROACH SKEW MAY REQUIRE THE PLACEMENT OF THE STOP LINE TO BE PARALLEL TO THE INTERSECTING ROADWAY.
- PLACE ALL PAVEMENT MARKINGS IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION AND THE NORTH CAROLINA SUPPLEMENT TO THE MUTCD.
- OTHER DETECTABLE WARNING MATERIALS MAY BE CONSIDERED FROM THAT SHOWN, BUT REQUIRE CITY ENGINEER'S WRITTEN APPROVAL PRIOR TO INSTALLATION.
- FOR ALL ROADS WITH RADII 25' OR LESS, ONLY ONE WHEELCHAIR RAMP IS REQUIRED. WHEELCHAIR RAMPS TO BE PLACED AS PER TRAFFIC DESIGN STANDARDS TO INSURE PEDESTRIANS ENTER AND EXIT WITHOUT ENTERING TRAVEL LANES.

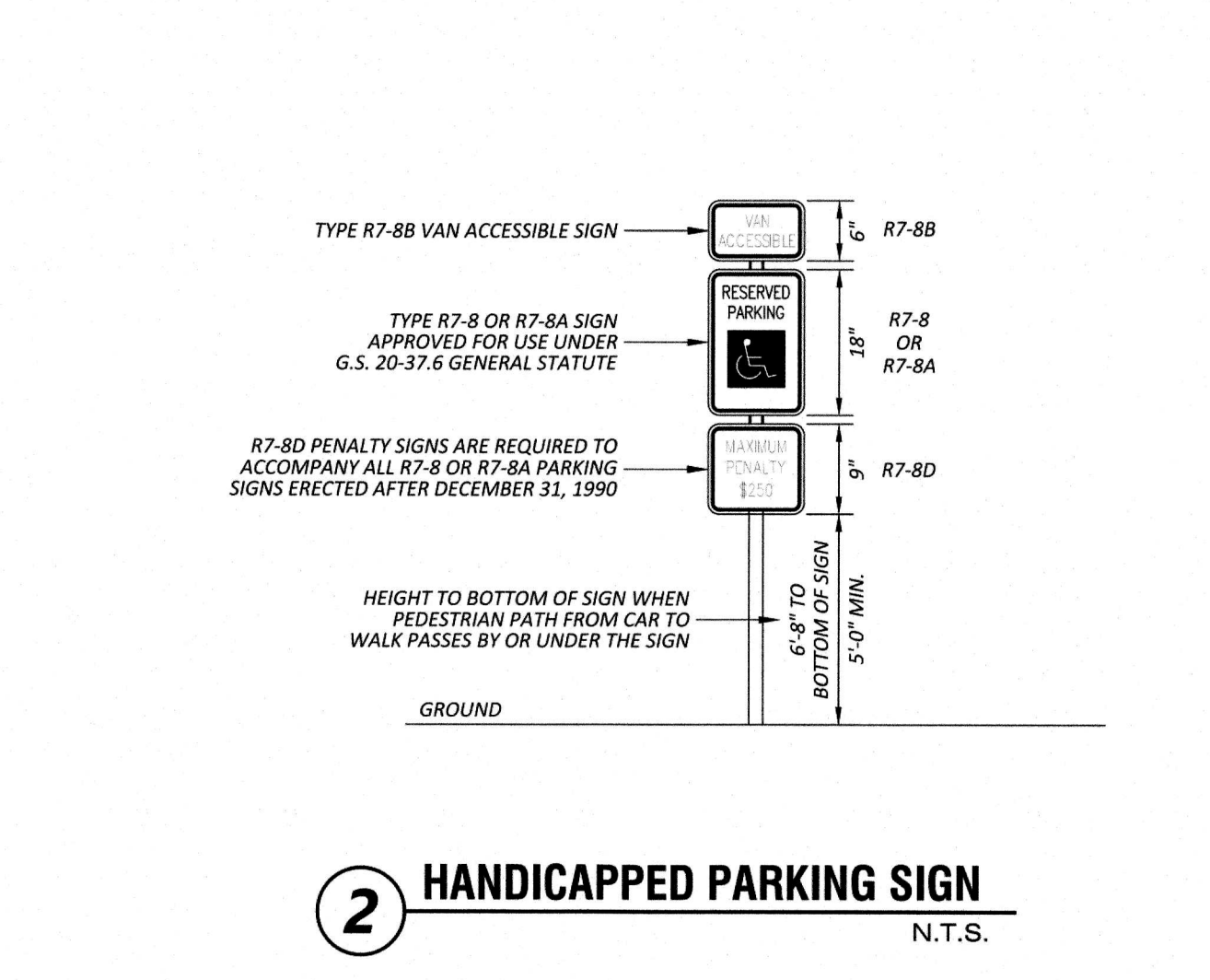
**3 HANDICAP RAMP NOTES**  
N.T.S.



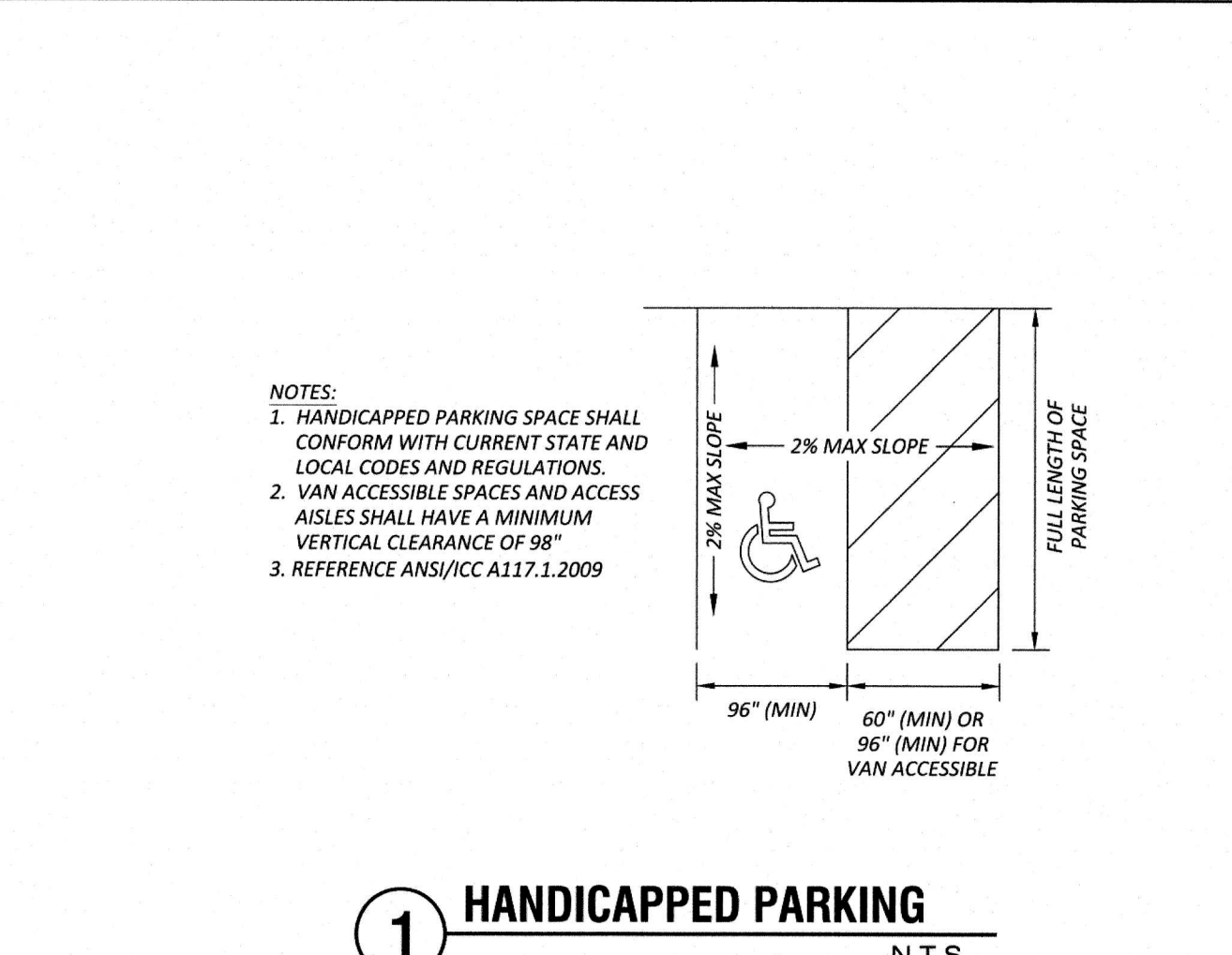
**5 PRECAST REINFORCED CONCRETE WHEEL-STOP**  
N.T.S.



**6 CONCRETE WHEEL STOP**  
N.T.S.



**2 HANDICAPPED PARKING SIGN**  
N.T.S.



**1 HANDICAPPED PARKING**  
N.T.S.



| REVISIONS: |                      |
|------------|----------------------|
| NO.        | DESCRIPTION          |
| 1          | CITY REVIEW COMMENTS |

|              |                |
|--------------|----------------|
| DATE:        | AUGUST 7, 2020 |
| DESIGNED BY: | MJP            |
| DRAWN BY:    | SBC            |
| CHECKED BY:  | JDV            |
| PROJECT No:  | 2017115.14     |
| DRAWING No:  | W-3896         |
| SCALE:       | AS NOTED       |
| SHEET No:    | C11            |



| REVISIONS: |                      |
|------------|----------------------|
| NO.        | DESCRIPTION          |
| 1          | CITY REVIEW COMMENTS |
| DATE       | IMP                  |
| 9/14/2020  |                      |

CITY OF GREENVILLE  
**ADVENTURE PARK**  
 PITT COUNTY NORTH CAROLINA  
**SITE DETAILS**

DATE: AUGUST 7, 2020  
 DESIGNED BY: MJP  
 DRAWN BY: SBC  
 CHECKED BY: JDV  
 PROJECT No. 2017115.14  
 DRAWING No. W-3896  
 SCALE: AS NOTED  
 SHEET No.

**PLANTING NOTES**

The Contractor shall furnish plant material shown on the drawings, as specified and as indicated on the plant list. The Owner or his authorized representative shall be notified prior to the beginning of planting operations.

**STANDARDS:** All plants shall be in accordance with the American Standard For Nursery Stock, latest edition, published by the American Association of Nurserymen, Inc. with regard to sizing and description.

**QUALITY:** All plants shall be nursery grown and hardy under climatic conditions similar to those in the locality of the project. All plants shall be typical of their species or variety and shall have a normal habit of growth. They shall be sound, healthy and vigorous, well branched and densely foliated when in leaf. They should be free of disease and insect pests, eggs or larvae. They shall have healthy, well-developed root systems.

**SUBSTITUTIONS:** When plants of a specified kind or size are not available within a reasonable distance, the contractor may make substitutions upon request, if approved by the Project Consultant. Proposal for substitution of plant material shall be submitted at least 5 days prior to the final bid date for consideration.

**SIZE:** All plants shall conform to the measurements specified on the plant list unless otherwise authorized in writing by the Project Consultant.

**PRUNING:** Each tree and shrub shall be pruned in accordance with American Association of Nurserymen, Inc. standards to preserve the natural character of the plant. All dead wood or suckers and all broken or badly bruised branches shall be removed.

**ROOT SYSTEMS:** Balled & burlapped plants shall be dug with firm natural balls of earth of diameter and depth to include most of the fibrous roots. Container grown stock shall have been grown in a container long enough for the root system to have developed sufficiently to hold its soil together firm and whole. No plants shall be loose in container or ball.

**PROTECTION:** Root balls, trunks, branches and foliage of plants shall be adequately protected at all times from sun and drying wind or frost. Plants with broken root balls or excessive damage to the crown shall be replaced, in kind, prior to installation.

**MULCH:** Immediately following plant installations all tree and shrub planting pits shall be covered with three (3) layer of double shredded hardwood mulch (dyed color enhanced - Brown). The limits of this mulch for deciduous trees and single evergreen trees shall be the area of the pit; for evergreen tree clusters or shrub masses; a mulched bed shall be created.

**ANTI-DESICCANT SPRAY:** Trees and when planted in leaf shall be treated with anti-desiccant such as "Wet-Proof".

**PLANTING MIX:** Before backfilling, the topsoil back fill mixture shall be prepared and mixed to the following proportions:  
 Deciduous plants - two parts by volume of topsoil, one part organic compost and five pounds bone meal per cubic yard.  
 Evergreen Plants - three parts by volume of topsoil and one part organic compost.

**Fertilizer -** to the above mixtures, add three pounds of specified commercial fertilizer for trees up to three (3) inches in caliper and one pound per inch of caliper for larger trees. Shrubs shall be fertilized with six (6) ounces of fertilizer for shrubs four (4-0') feet and over.

**STAKING & GUYING:** Trees shall be staked and guyed as is detailed on the drawings and according to accepted industry practice.

**LAYOUT:** The contractor shall layout with identifiable stakes, the location of all plants and the arrangement and outlines of planting beds as indicated on the drawings. Prior to any excavation of plant pits or preparation of plant beds, the Project Consultant shall approve the layout of planting. All planting shall be at the locations indicated on the drawings. The Contractor shall be responsible for planting at the correct grades, alignment and layout of planting beds. Minor adjustments to tree locations may be necessary due to field conditions and final grading. The Contractor shall notify the Project Consultant if major adjustments are anticipated.

**ADVERSE CONDITIONS:** The contractor shall notify the Project Consultant in writing of any soil or drainage conditions which the Contractor considers detrimental to plant growth. The documented conditions shall include a proposal for correcting the situation, including any change in cost, for review and acceptance by the Project Consultant.

**QUANTITY:** The quantity of plants in the Plant Schedule is for general reference only. The Contractor shall obtain quantities for pricing by compiling numbers from the plants illustrated on the drawings. Should there be a discrepancy between the drawings and the plant schedule, the quantities illustrated on the drawings shall take precedence.

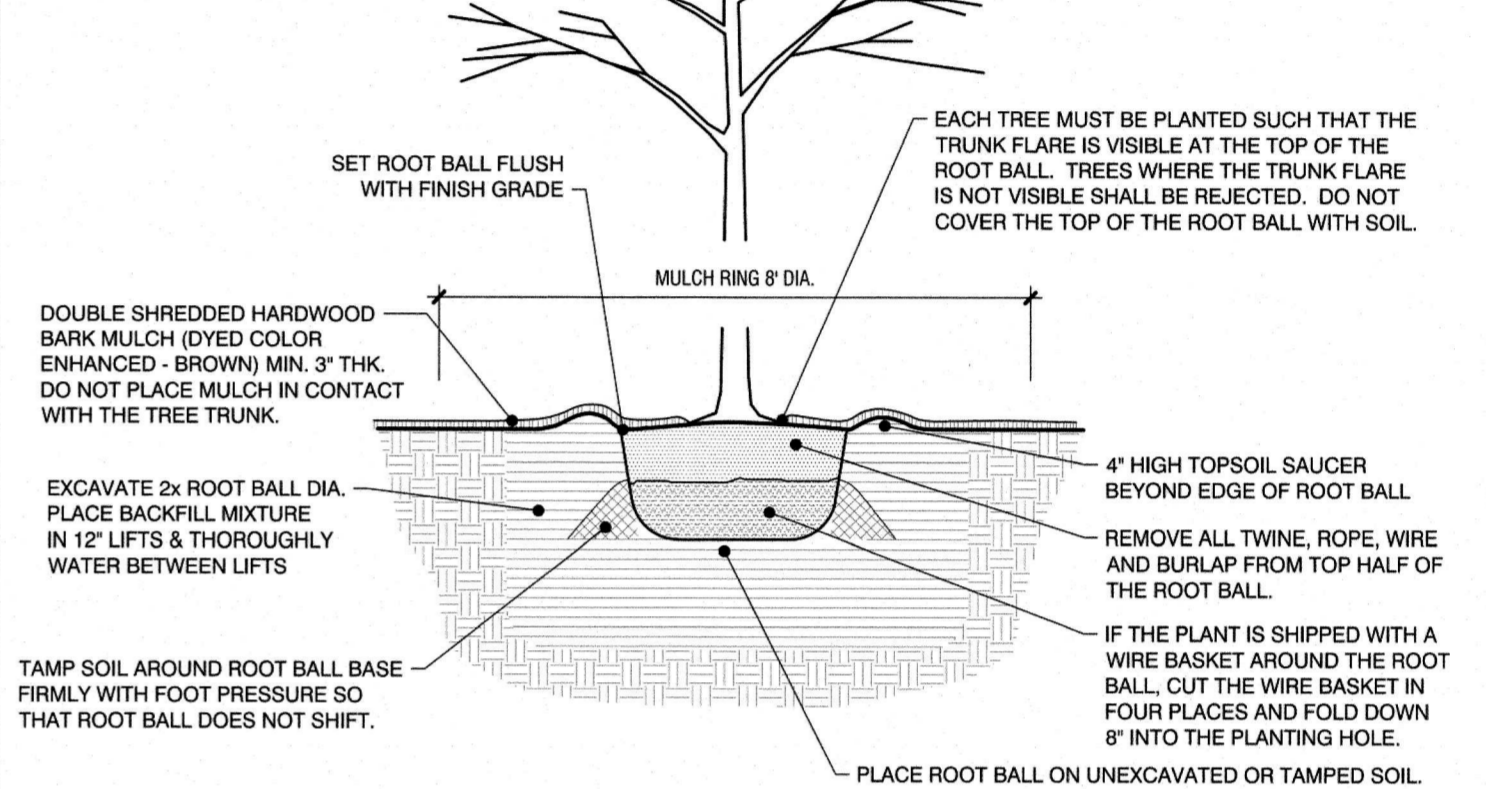
**GUARANTEE:** The Contractor shall guarantee all plant material for a full year from the date of initial acceptance. The Owner shall be responsible for maintenance unless otherwise agreed. It is the Contractor's responsibility to monitor the project during the guarantee period and notify the Owner in writing if problems are occurring or situations developed that appear detrimental to the plant material. Any plant material that is 25% dead or more shall be considered dead and must be replaced at no charge to the Owner. A tree is considered dead when the main leader has died back or there is 25% of the crown dead.

**GENERAL LANDSCAPING NOTES:**

- CONTRACTOR SHALL INSTALL SOD AS DESIGNATED ON PLANS. SOD SHALL EXTEND FROM BACK OF PARKING LOT CURB TO BACK OF PUBLIC SIDEWALK OR PROPERTY LINE, AS SHOWN ON PLANS.
- PROVIDE MULCH AROUND SHRUBS AT ALL ISLANDS, PARKING LOT SCREENING AND AROUND PYLON SIGNS. MULCH SHALL BE DOUBLE-SHREDDED, COLOR ENHANCED (DYED) HARDWOOD BARK MULCH (BROWN OR BLACK ONLY). USE DEWITT 15 YEAR WEED BARRIER, WOVEN POLYPROPYLENE, OR APPROVED EQUAL, IN ALL PLANT BEDS AND AT TREE RING.
- LANDSCAPER TO COORDINATE INSTALLATION OF LIGHTING, UTILITIES, PYLON SIGN AND LANDSCAPING WITH ALL OTHER CONTRACTORS.
- PROVIDE STRONGLY ROOTED DROUGHT RESISTANT SOD, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES AND MACHINE CUT TO PAD THICKNESS OF 3/4" (+1/4"). EXCLUDING TOP GROWTH AND THATCH. PROVIDE ONLY SOD CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED (VIABLE, NOT DORMANT).
- INSTALL AND ADJUST SPRINKLER HEADS TO ENSURE 100% COVERAGE OF ALL PLANTED AREAS.
- PLANTING SHALL BE IN ACCORDANCE WITH CITY OF GREENVILLE LANDSCAPING ORDINANCE.
- BOTTOM 2/3 OF BURLAP WRAPPING TO REMAIN ON ROOT BALL FOR TREE PLANTINGS.

**NOTE:**

TREES SHALL BE STAKED ONLY IF DIRECTED BY THE OWNER

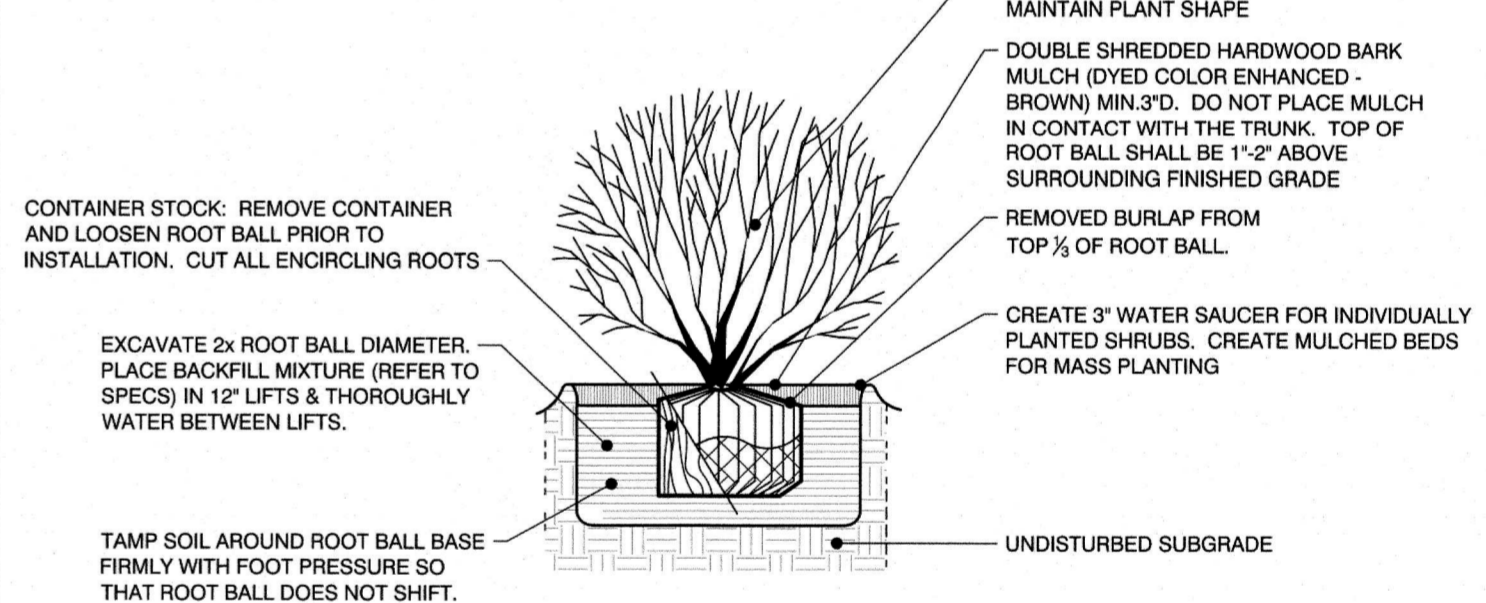


**3 TREE PLANTING - LARGE & SMALL**

N.T.S.

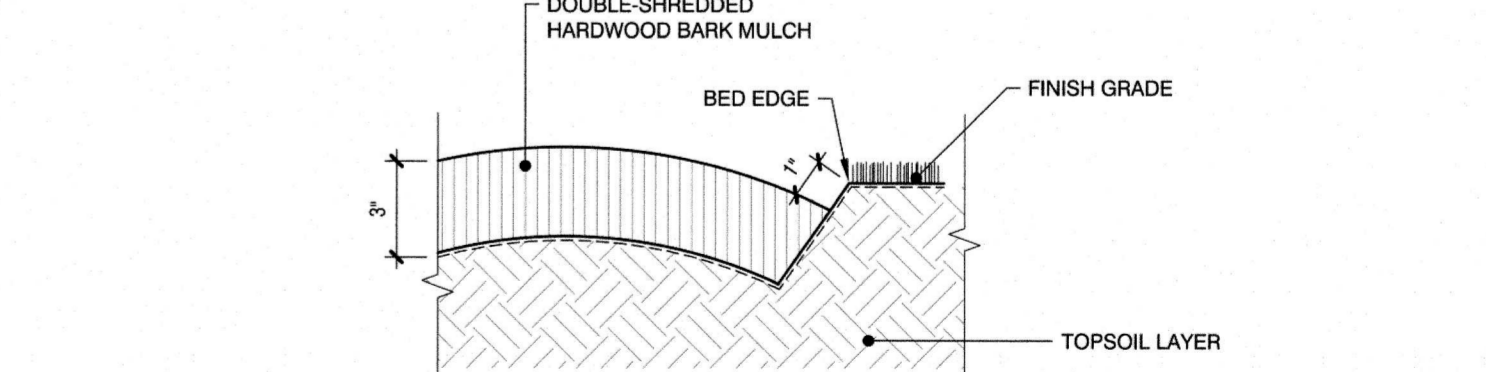
**NOTE:**

FOR PARKING LOT SCREENING, SHRUBS SHALL BE PLACED 4' O.C.



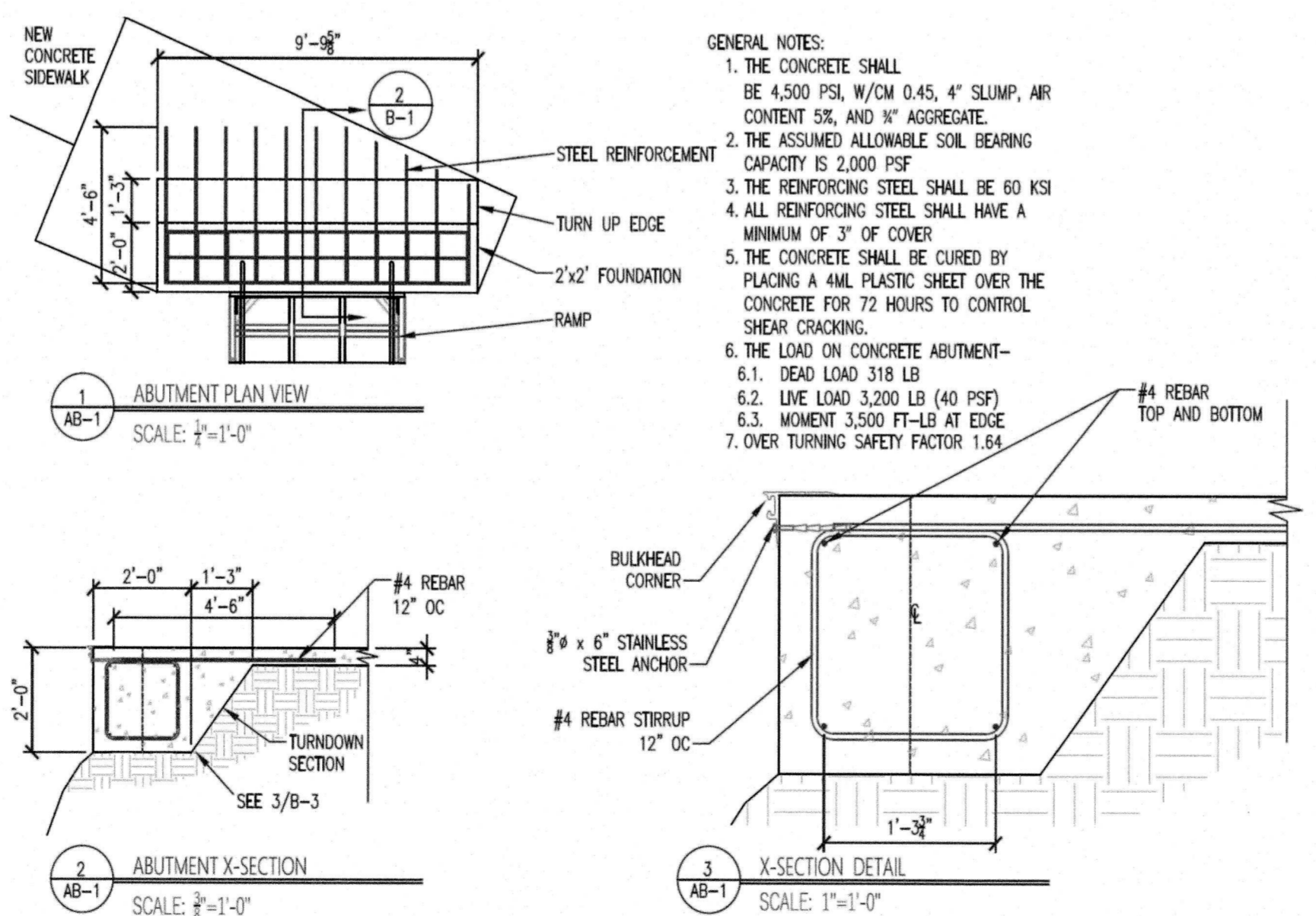
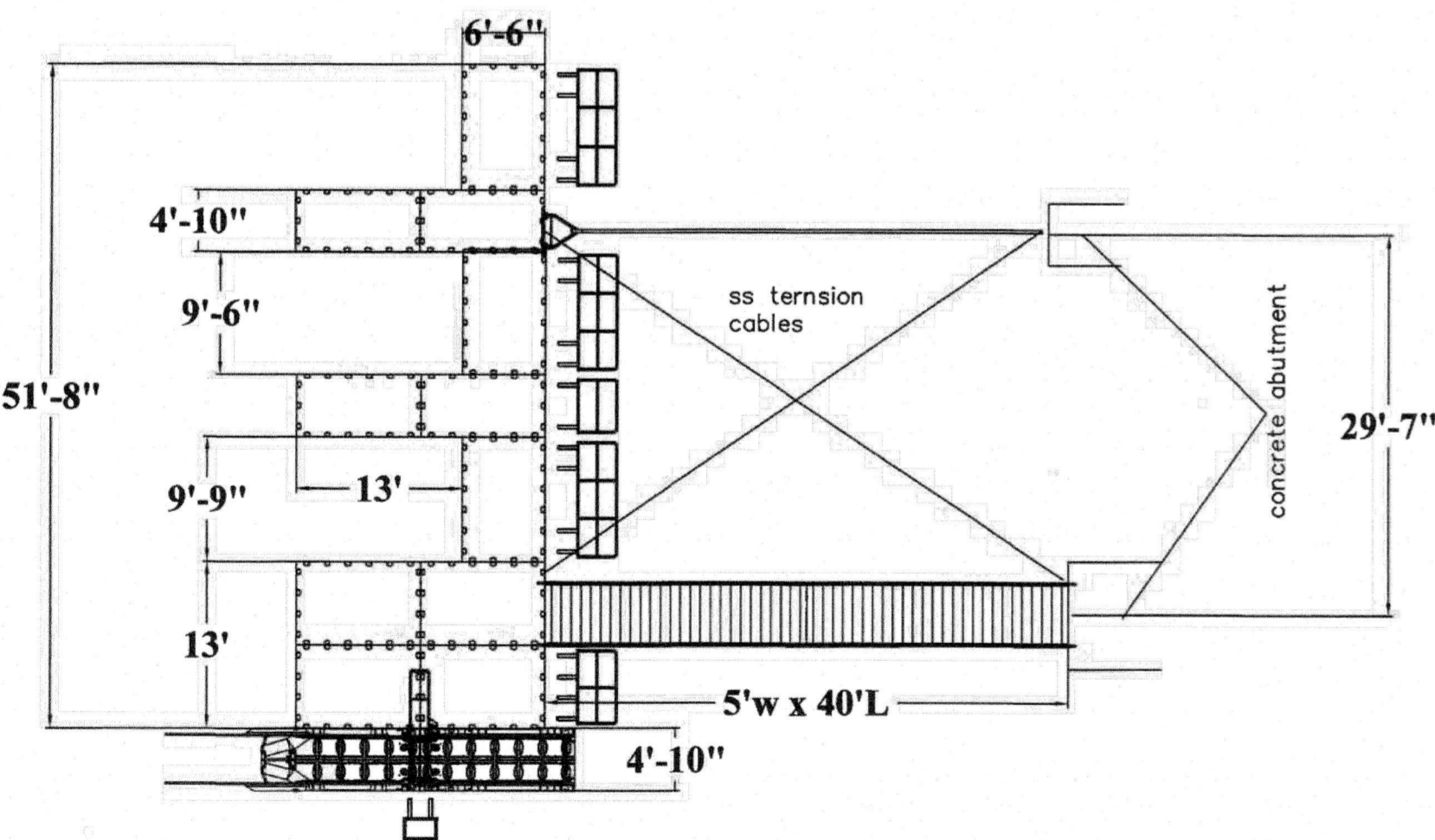
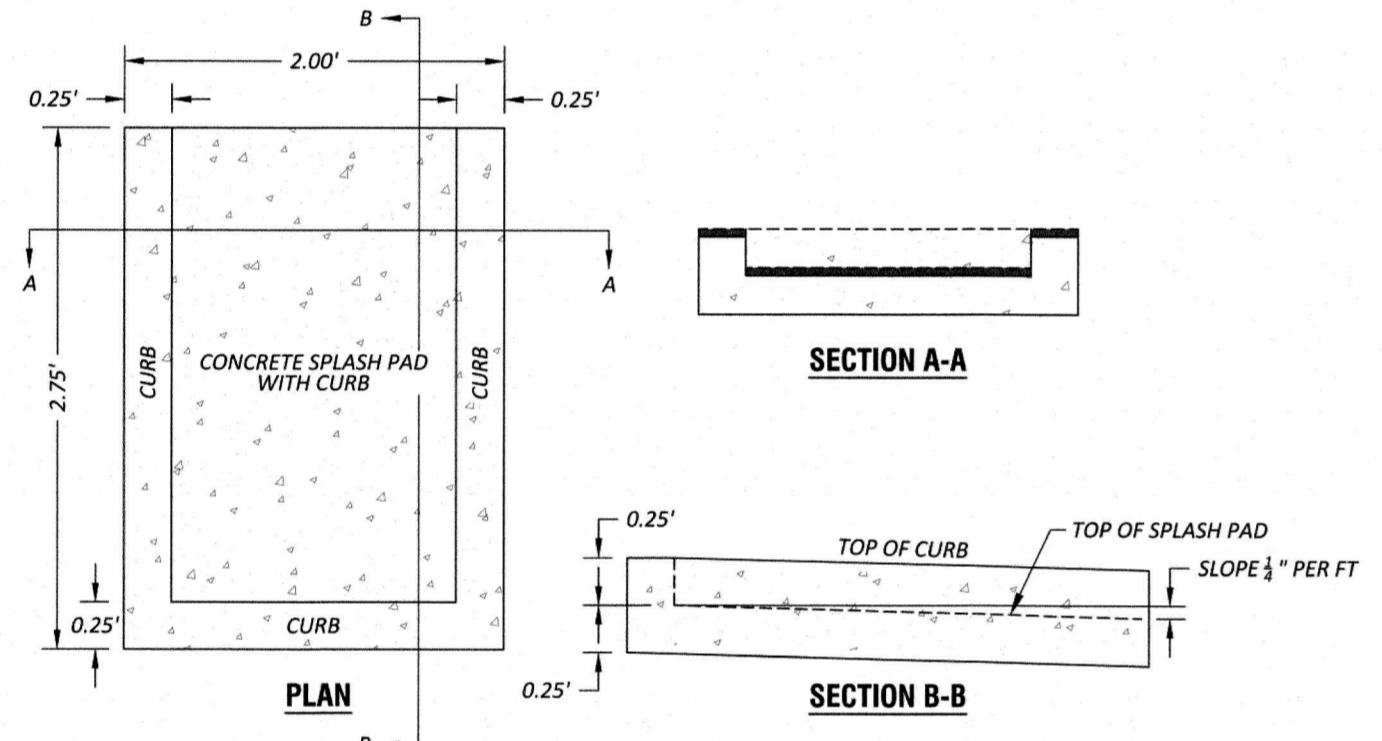
**2 SHRUB PLANTING**

N.T.S.



**1 PLANTING BED EDGE**

N.T.S.



- GENERAL NOTES:**
- THE CONCRETE SHALL BE 4,500 PSI, W/CM 0.45, 4" SLUMP, AIR CONTENT 5%, AND 1/2" AGGREGATE.
  - THE ASSUMED ALLOWABLE SOIL BEARING CAPACITY IS 2,000 PSF.
  - THE REINFORCING STEEL SHALL BE 60 KSI.
  - ALL REINFORCING STEEL SHALL HAVE A MINIMUM OF 3" OF COVER.
  - THE CONCRETE SHALL BE CURED BY PLACING A 4ML PLASTIC SHEET OVER THE CONCRETE FOR 72 HOURS TO CONTROL SHEAR CRACKING.
  - THE LOAD ON CONCRETE ABUTMENT-  
 6.1. DEAD LOAD 318 LB  
 6.2. LIVE LOAD 3,200 LB (40 PSF)  
 6.3. MOMENT 3,500 FT-LB AT EDGE  
 7. OVER TURNING SAFETY FACTOR 1.64

NOTICE! Read EZ Dock Limited Warranty carefully. Among other things, EZ Dock does not warrant damages, failures or defects caused by unauthorized modification of EZ Dock Product, and/or unauthorized attachment to/of EZ Dock Product.