



**ADDENDUM NO. 1**

December 10, 2020

**THE CITY OF GREENVILLE NC  
FIRE RESCUE NO. 1 BAY EXPANSION  
500 S GREENE ST, GREENVILLE, NC 27834  
ARCHITECTS PROJECT NO. 1667**

Each Contractor shall be responsible for each item of the Addendum as stated herein and shall coordinate each item with his particular portion of work. Each Contractor shall coordinate with all other Contractors for satisfactory completion of each item of the addendum and the total project. The Prime Contractor shall be responsible for seeing that his subcontractors/material suppliers are properly apprised of the contents of this Clarification. The following clarifications, amendments, additions, deletions, revisions, and/or modification are hereby made a part of the Contract Documents, and change the original documents only in the manner and to the extent stated herein.

**GENERAL NOTES**

1. **\*\*\*NEW BID TIME – 3:00 pm on December 17, 2020\*\*\***, sealed proposals will be received for the Owner, The City of Greenville NC, by Stewart-Cooper-Newell-Architects, P.A., at **Public Works, 1500 Beatty St, Greenville, NC 27834**, until **3:00 pm on December 17, 2020**, at which time they will be publicly opened and read. All in attendance are to strictly follow all COVID-19 protocols, which includes all in attendance to **wear a mask and maintain social distancing**.
2. Please ensure to be on time and take into consideration any traffic and/or other delays. Please be aware that there is an active train track near the location which may add to your travel time.
3. Please find attached Pre-Bid Attendees Sign-in Sheets held on December 01, 2020.
4. **REMEMBER** to provide all MBE documents required with the bid, see Bid Instructions.
5. All initial permit fees, building and site plan, will be waived.
6. The Alternate Storage/Staging Location shall be **430/432 Bonners Lane, Greenville NC 27834**.

**BID QUESTIONS:**

Answers in **RED**.

1. Section 075423, paragraph 1.5.B.1 calls for sealed engineering calculations for the roof system. Typically the roof system is installed in accordance with the performance specification, in this case FM 1A-90. Given the size of this addition, please consider waiving this requirement.  
**We will waive the sealed engineering calculation requirement.**
2. Section 075423, paragraph 3.4.B calls for the membrane system's technical personnel to be present upon start of the membrane roofing. Please consider waiving this requirement.  
**We will waive this requirement.**

3. Section 077115, paragraph 1.4.D calls for samples of the completed coping assembly. Could be a significant charge for providing and shipping this sample assembly.  
**Color chip sample will be required. Observation of completed coping assembly can be on site and used as part of the project for approval. A separate completed assembly does not have to be sent to architects office for approval.**

#### **SPECIFICATIONS:**

Invitation to Bid: The deadline for the Bids have been *changed* from 2:00 pm on December 17, 2020 to **3:00 pm on December 17, 2020.**

Section 052100 – Steel Joist Framing: *Remove* spec section.

#### **DRAWINGS:**

#### **STRUCTURAL:**

**General Note:** All exposed expansion joint material at floor to be held down ½” from top of slab for joint sealant (see attached **ABD-1**).

#### **CIVIL:**

Note: Revisions & new sheets (4.01, 4.02, 4.03 & 4.04) issued for plan review ONLY. There is **NO CHANGE** to the scope of work.

- 4.01** Site Plan Cover Sheet (see attached revised sheet 4.01 and replace the previous sheet).
- 4.02** Site Survey (see attached revised sheet 4.02 and replace the previous sheet).
- 4.03** Existing Grading Plan (see attached new sheet 4.03).
- 4.04** Existing Utility Plan (see attached new sheet 4.04).

#### **ARCHITECTURAL:**

- C-1** Updated Index of Drawings (Architectural) and changed Alternate Storage/Staging Location to **604 S Clark St, Greenville NC 27834** instead of 600 S Pitt St, Greenville, NC 27834 (see attached revised sheet C-1 and replace the previous sheet).
- 4.10** Detail 5/4.10, Revised note for clarification to reference **Detail 2/4.10** instead of Note 2/4.10 (see attached **ABD-2**).

- 4.11** See clouded items on revised drawing which includes changes to: Detail 1/4.11 - Door Type D2, HM Door Specs, Hardware, Detail 2/4.11 - Elevation tag location & Detail 3/4.11 - Finish Plan Alternates (see attached revised sheet 4.11 and replace the previous sheet).
- 4.12** Detail 2/4.12 - Closure strips shall be removed and Add under Wood Blocking General Notes: CANTS TO BE SIZED TO AVOID STANDING WATER (see attached **ABD-3**).
- 4.12** Detail 5/4.12, Revised Roof Detail at Transition (see attached **ABD-4**).
- 5.10** Corrected Drawing Scales & Elevation Tag and added new Emergency Light (see attached revised sheet 5.10 and replace the previous sheet).
- 5.11** Detail 1/5.11 & 2/5.11, Bollard detail callout shall be **9/5.21** (see attached **ABD-5**).

**ELECTRICAL:**

- 10.00** New Emergency Light added (see attached revised sheet 10.00 and replace the previous sheet).
- 10.21** New Emergency Light added, color to be selected by Architect during construction (see attached revised sheet 10.21 and replace the previous sheet).

**ATTACHMENTS:**

1. Pre Bid Conference Attendees Sign In Sheet (1 page total)
2. Invitation to Bid (2 pages total)
3. Architectural Bulletin Drawings ABD-1 thru ABD-5 – 8 ½" x 11" (5 pages total)
4. Revised Architectural Sheets C-1, 4.01, 4.02, 4.03, 4.04, 4.11 & 5.10 – 24" x 36" (7 pages total)
5. Revised Electrical Sheets 10.00 & 10.21 – 24" x 36" (2 pages total)

**END OF ADDENDUM NO. 1**



**PRE-BID CONFERENCE**  
**GREENVILLE FIRE RESCUE NO. 1 – APPARATUS BAY EXPANSION**  
 Tuesday, December 1, 2020 - TIME: 2:00 PM  
ARCHITECTS PROJECT #1667

(Leave Business Card If Available)

NAME	COMPANY	PHONE	EMAIL ADDRESS
Jim Stumbo	Stewart-Cooper-Newell	704/865-6311	<a href="mailto:jstumbo@scn-architects.com">jstumbo@scn-architects.com</a>
Jody Jackson	Stewart-Cooper-Newell	704/865-6311	<a href="mailto:jjackson@scn-architects.com">jjackson@scn-architects.com</a>
Jawb King	IMEC Group LLC	(252) 617-0132	<a href="mailto:Jking@imecgroupllc.com">Jking@imecgroupllc.com</a>
Glenn Smith	FASCO Inc	252/522-0591	<a href="mailto:Fasco@Fascoinc.com">Fasco@Fascoinc.com</a>
ROBERT Coggins	DANCO BUILDERS	752-447-0735	BASHBURN@DANCOBUILDERS.COM
JAKE BOWMAN	MUTER CONSTRUCTION	919-404-8330	<a href="mailto:LHAGER@MUTERCONSTRUCTION.COM">LHAGER@MUTERCONSTRUCTION.COM</a>
Russ Peterson	City of Greenville	252/916/2798	<a href="mailto:rpeterson@greenvillenc.gov">rpeterson@greenvillenc.gov</a>
CARL BONNER	TERRACON	252-353-1600	<a href="mailto:Carl.bonner@terracon.com">Carl.bonner@terracon.com</a>
Luke Fenton	TERRACON	"	<a href="mailto:luke.fenton@terracon.com">luke.fenton@terracon.com</a>
Jesse Harris	G-FR	252 329 4609	<a href="mailto:jjharris@greenvillenc.gov">jjharris@greenvillenc.gov</a>



**INVITATION TO BID**

Sealed Bids For:

**The City of Greenville NC**  
**Fire Rescue No. 1 Bay Expansion**  
Purchasing Bid Number 20-21-20

**Located At 500 S. Greene Street**  
**Greenville, NC 27834**

will be received for the Owner, The City of Greenville NC, by Stewart-Cooper-Newell-Architects, P.A., at the Public Works, 1500 Beatty St, Greenville, NC 27834 until:

**3:00 P.M. Thursday, December 17, 2020**

at which time they will be publicly opened and read.

Bids will be received for: Single Prime Contracts  
(Single Prime Bids which includes General, Plumbing, Mechanical and Electrical Construction)

**Pre-Bid Conference:**

**Date:** Tuesday, December 01, 2020  
**Time:** 2:00 P.M.  
**Location:** Greenville Fire Rescue #1  
500 S Greene Sreet  
Greenville, NC 27834

**Contractor must sign up for the pre-bid meeting so we know how many people will be in attendance. COVID-19 protocols will require all in attendance to wear a mask.**

Please email Jody Jackson at [jjackson@scn-architects.com](mailto:jjackson@scn-architects.com) with company name, representative, contact information, and number of people attending.

Any qualified Bidder may submit a bid.

**Instructions for submitting bids and complete plans and specifications may be obtained online through the City of Greenville's website below beginning November 19, 2020.**

<https://www.greenvillenc.gov/government/financial-services/current-bid-opportunities>

**To become a registered plan holder you must sign up to receive plans specifications, notices, and addendums. The only means by which PDF's are to be provided is via download from the City of Greenville's website only. After download, you may distribute these documents to your potential bidders through your normal channels. This site will be open to sub-prime bidders as well, allowing them to view prime bidder information and receive bid documents. All bidding notifications of addenda, etc will come through this site and be published for all registered users to view. For technical assistance, please contact Devin Thompson (252)329.4931 or email [dthompson@greenvillenc.gov](mailto:dthompson@greenvillenc.gov).**

All Contractors are hereby notified that they shall be properly licensed under the State Laws governing their respective trades. (General Statutes 87, State Of North Carolina.)

Each Bidder will be required to certify on the Bid Form that he is properly licensed and classified to perform the work that he is bidding. This certification also guarantees that if subcontractors are used they will also be properly licensed and classified.

Bidders should have no contact with the owners or the owners' representatives. Any such contact will subject the bidder to immediate disqualification.

Bids must be on the standard forms provided by the Architects and must be marked to identify the construction or classification of the work as shown above.

Each bid shall be accompanied by a certified check drawn on some bank or trust company insured by the Federal Deposit Insurance Corporation or a bid bond in the amount of equal to 5% of the total bid. The certified check or bid bond will be retained if the successful Bidder fails to execute the contract within ten (10) days after the award or fails to give satisfactory surety as required by the Contract Documents.

A Performance Bond and Labor and Material Payment Bond in the amount of 100% of the Contract Sum will be required for this project. All Bonds must be executed in accordance with and conditioned as prescribed by the Laws of the State of North Carolina.

No Bidder may withdraw his Bid within 60 (Sixty) days after the opening thereof.

Bidders shall be required to begin work upon receipt of Notice to Proceed as issued by the Owner, and complete work within 150 Consecutive Calendar Days as stated on the Bid forms.

Liquidated Damages in the amount of \$500.00 per calendar day will be assessed for each day beyond the scheduled completion date the work remains incomplete.

Bidding documents, drawings, and specifications may be examined at the following locations:

Office Of:                      Stewart-Cooper-Newell-Architects, P.A.  
719 East Second Avenue  
Gastonia, NC 28054  
Phone: 704/865-6311    FAX: 704/865-0046

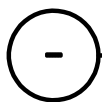
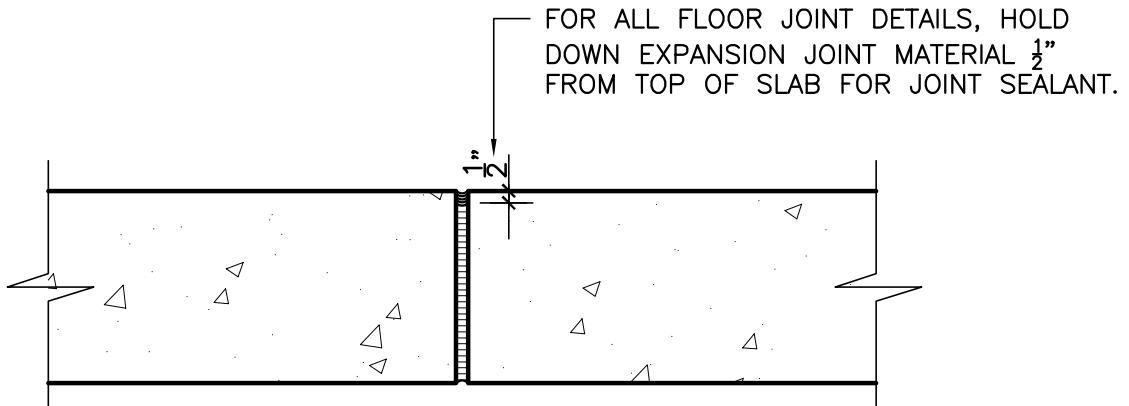
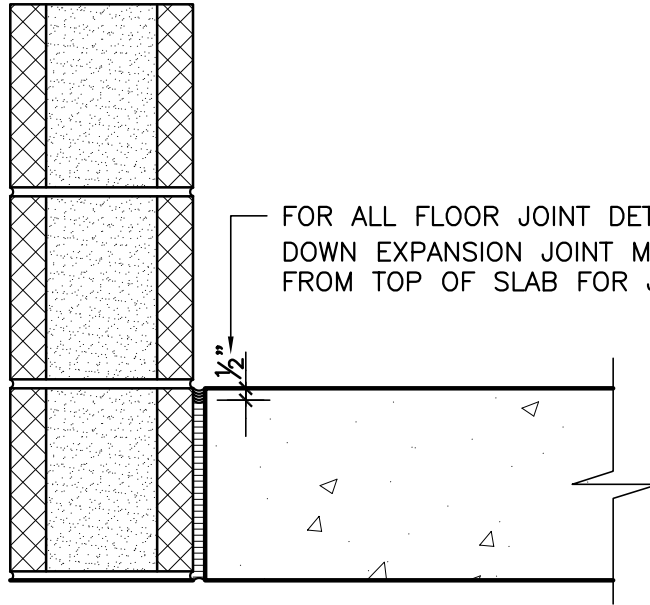
For questions concerning obtaining plans, specifications or technical questions during the bidding phase please contact Jody Jackson at [jjackson@scn-architects.com](mailto:jjackson@scn-architects.com)

**Important Note to All Bidders:**

**ALL BIDDERS ARE HEREBY NOTIFIED THAT THEY SHALL COMPLY WITH THE CITY OF GREENVILLE'S MINORITY BUSINESS ENTERPRISE PROGRAM. MBE REQUIREMENTS ARE INCLUDED IN THE SPECIFICATIONS.**

The Owners reserve the right to accept or reject any and all bids, to waive any informalities in bidding, and to award the Contract in any manner which the Owner believes is in the best interest of the citizens of The City of Greenville NC.

The City of Greenville, North Carolina  
Kevin Mulligan, Director of Public Works



**TYP. EXPANSION JOINT DETAIL**

SCALE: 1-1/2" = 1'-0"



**Stewart · Cooper · Newell**  
Architects

www.scn-architects.com

1.800.671.0621

719 East Second Avenue  
Gastonia, NC 28054  
Phone: 704.865.6311  
Fax: 704.865.0046

REFERENCE SHEET NO.

TYPICAL FLOOR EXPANSION JOINT DETAILS



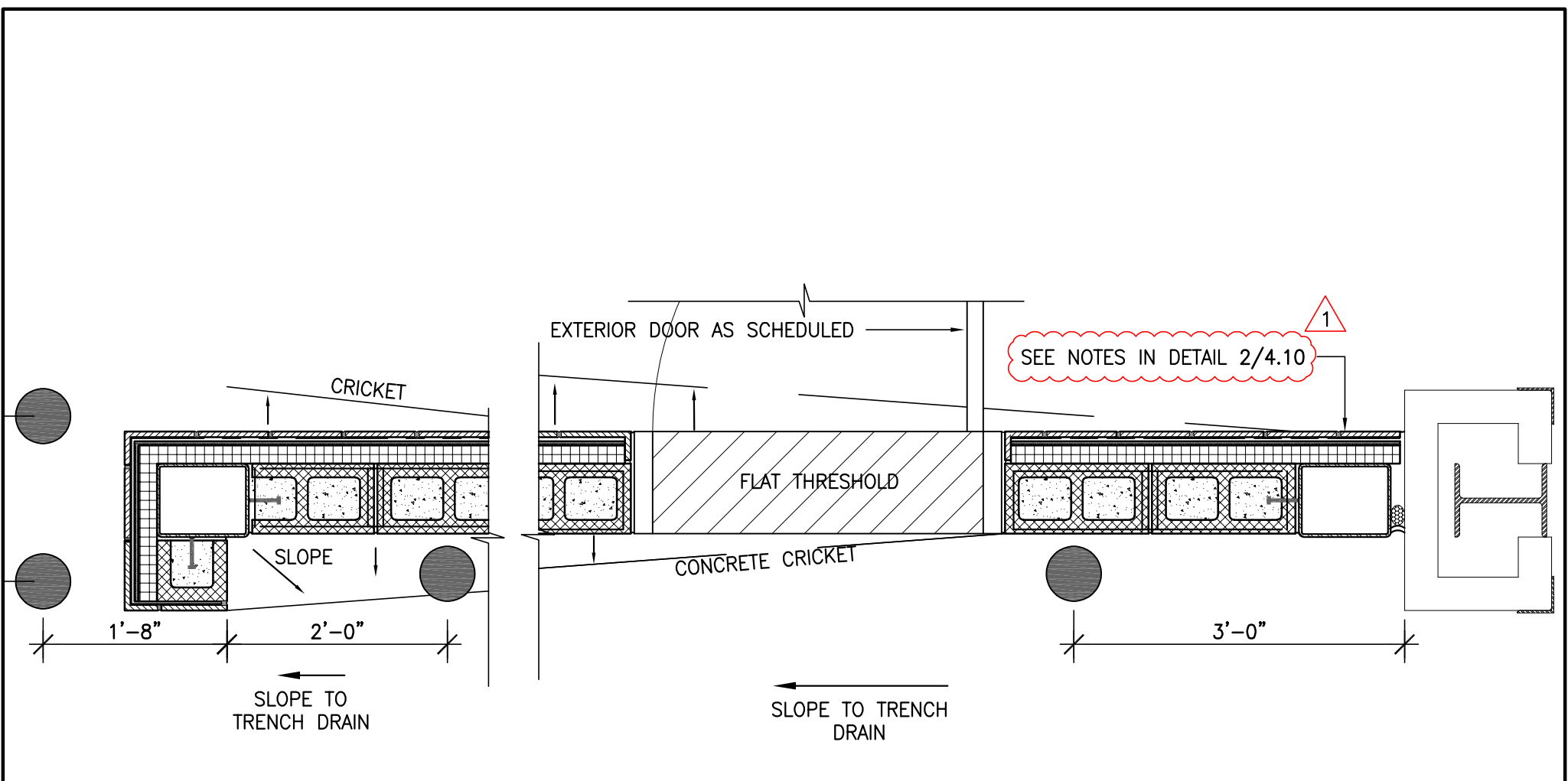
DATE

12.10.2020

**GREENVILLE FIRE RESCUE #1**

**Architectural Bulletin Drawings · ADDENDUM #01**

**ABD-1**



**5 PLAN SECTION END WALL (LOWER)**  
 SCALE: 3/4" = 1'-0"

**Stewart · Cooper · Newell**  
 Architects  
 www.scn-architects.com 1.800.671.0621

719 East Second Avenue  
 Gastonia, NC 28054  
 Phone: 704.865.6311  
 Fax: 704.865.0046

**REFERENCE SHEET NO. 4.10**  
 NOTE REVISED FOR CLARIFICATION

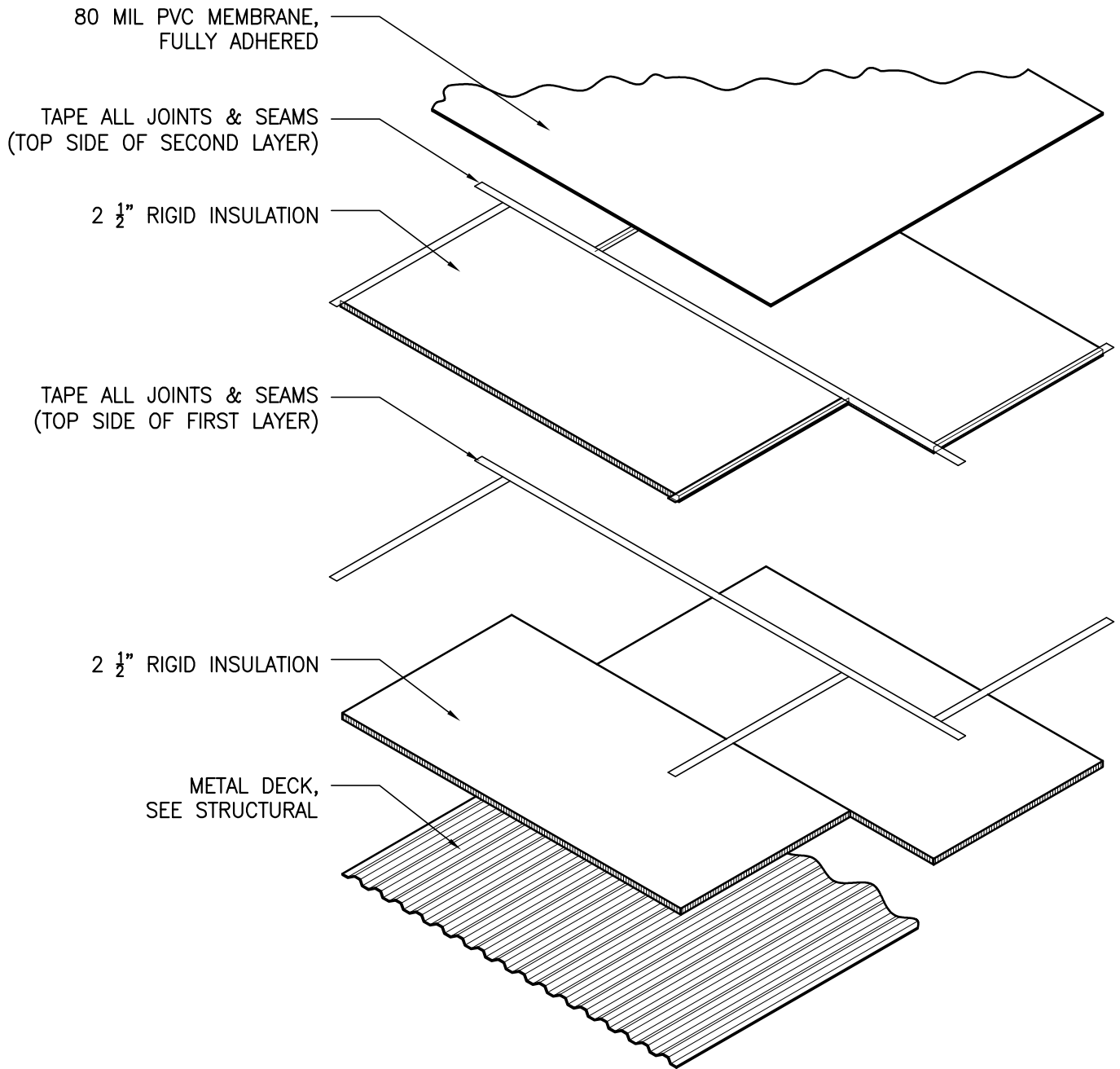


**DATE**  
 12.10.2020

**GREENVILLE FIRE RESCUE #1**

**Architectural Bulletin Drawings · ADDENDUM #01**

**ABD-2**



2

**EXPLODED VIEW DETAIL  
@ ROOF INSULATION LAYOUT**

SCALE: NOT TO SCALE

1

**WOOD BLOCKING GENERAL NOTES**

CANTS TO BE SIZED TO AVOID STANDING WATER.

1

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Fax: 704.865.0046

REFERENCE SHEET NO. 4.12

CLOSURE STRIPS SHALL BE REMOVED.  
WOOD BLOCKING GENERAL NOTE ADDED.

1

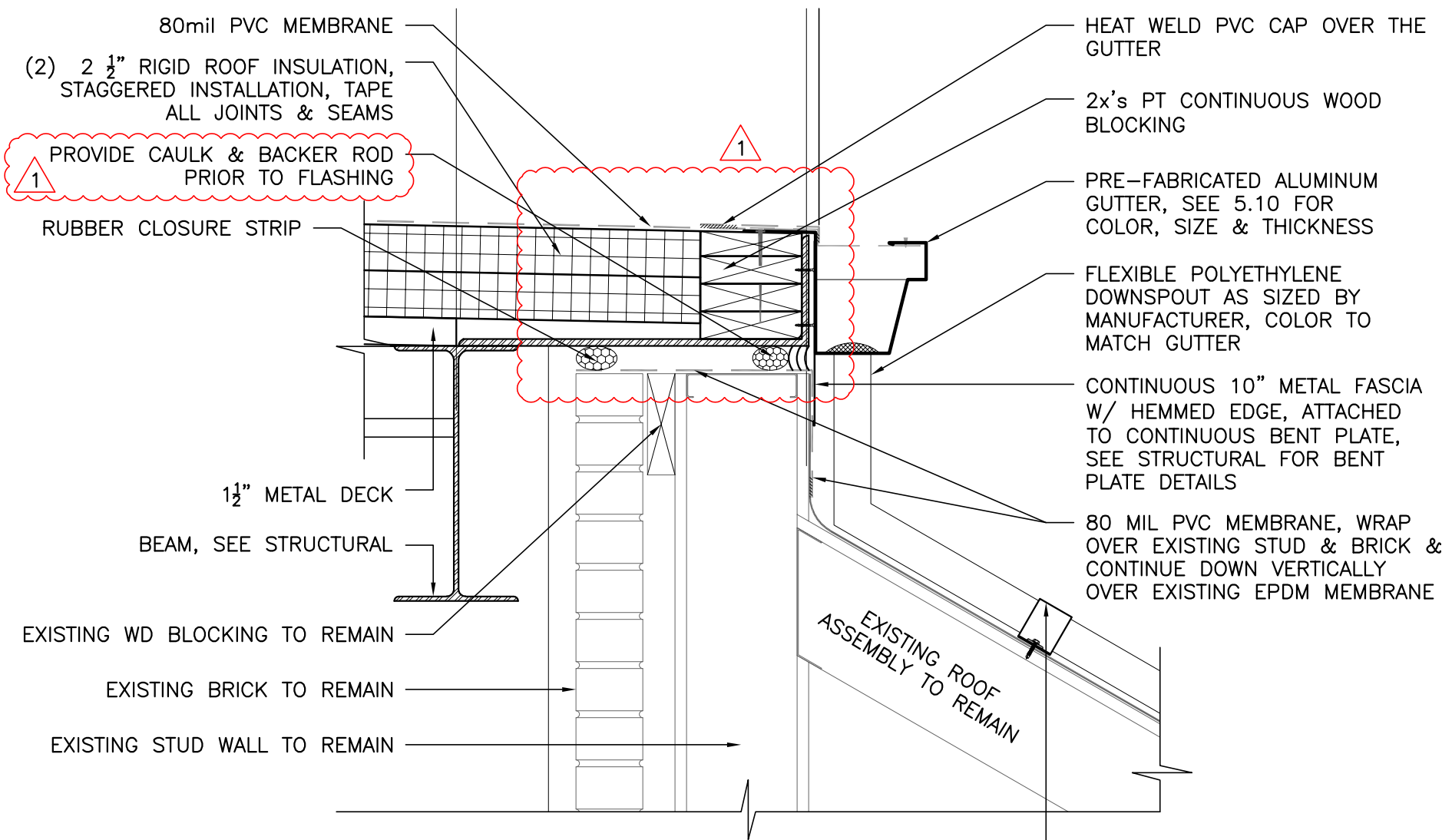
DATE

12.10.2020

**GREENVILLE FIRE RESCUE #1**

**Architectural Bulletin Drawings · ADDENDUM #01**

**ABD-3**



**5** **ROOF DETAIL AT TRANSITION**  
 SCALE: 1-1/2" = 1'-0"

**Stewart · Cooper · Newell**  
 Architects  
 www.scn-architects.com 1.800.671.0621

719 East Second Avenue  
 Gastonia, NC 28054  
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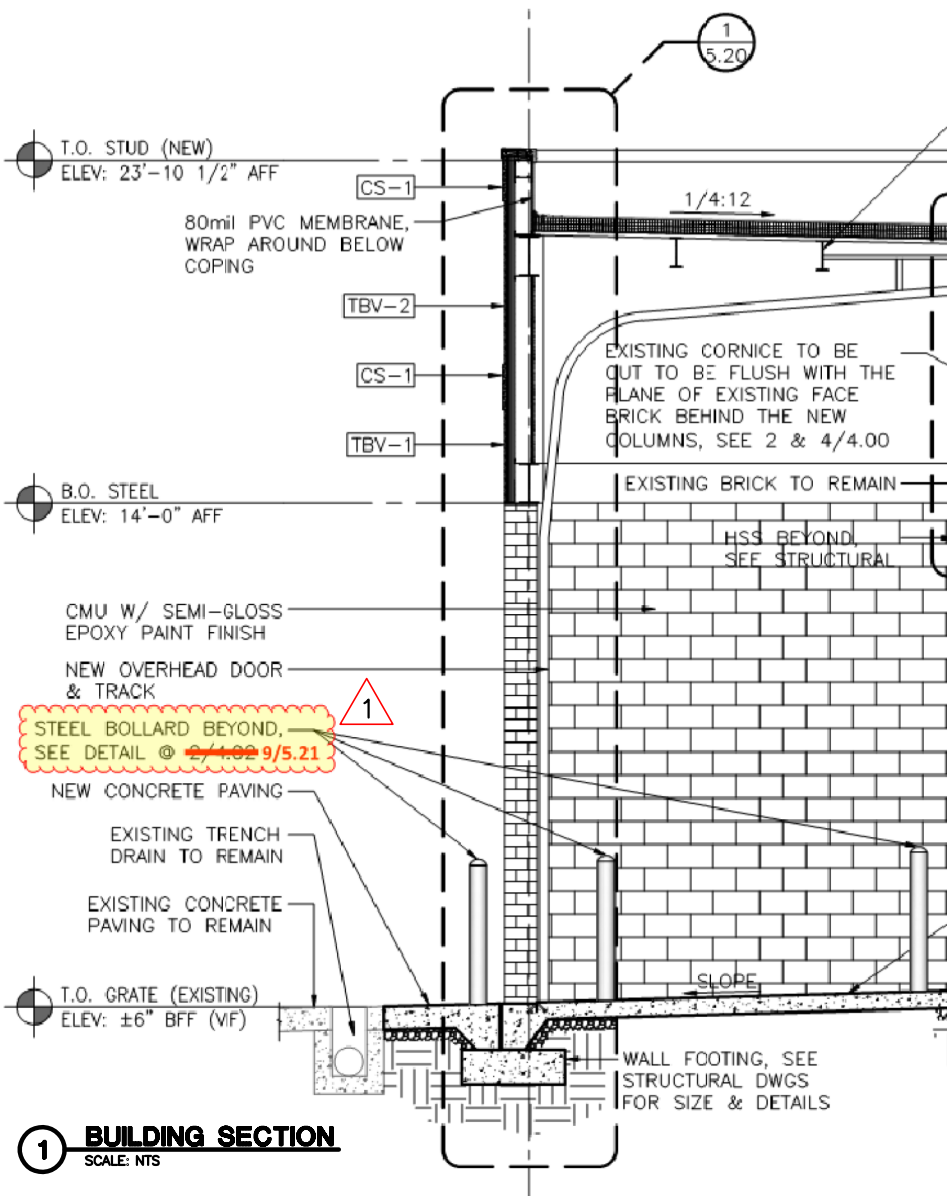
**REFERENCE SHEET NO. 4.12**  
**REVISED ROOF DETAIL AT TRANSITION**

**DATE**  
 12.10.2020

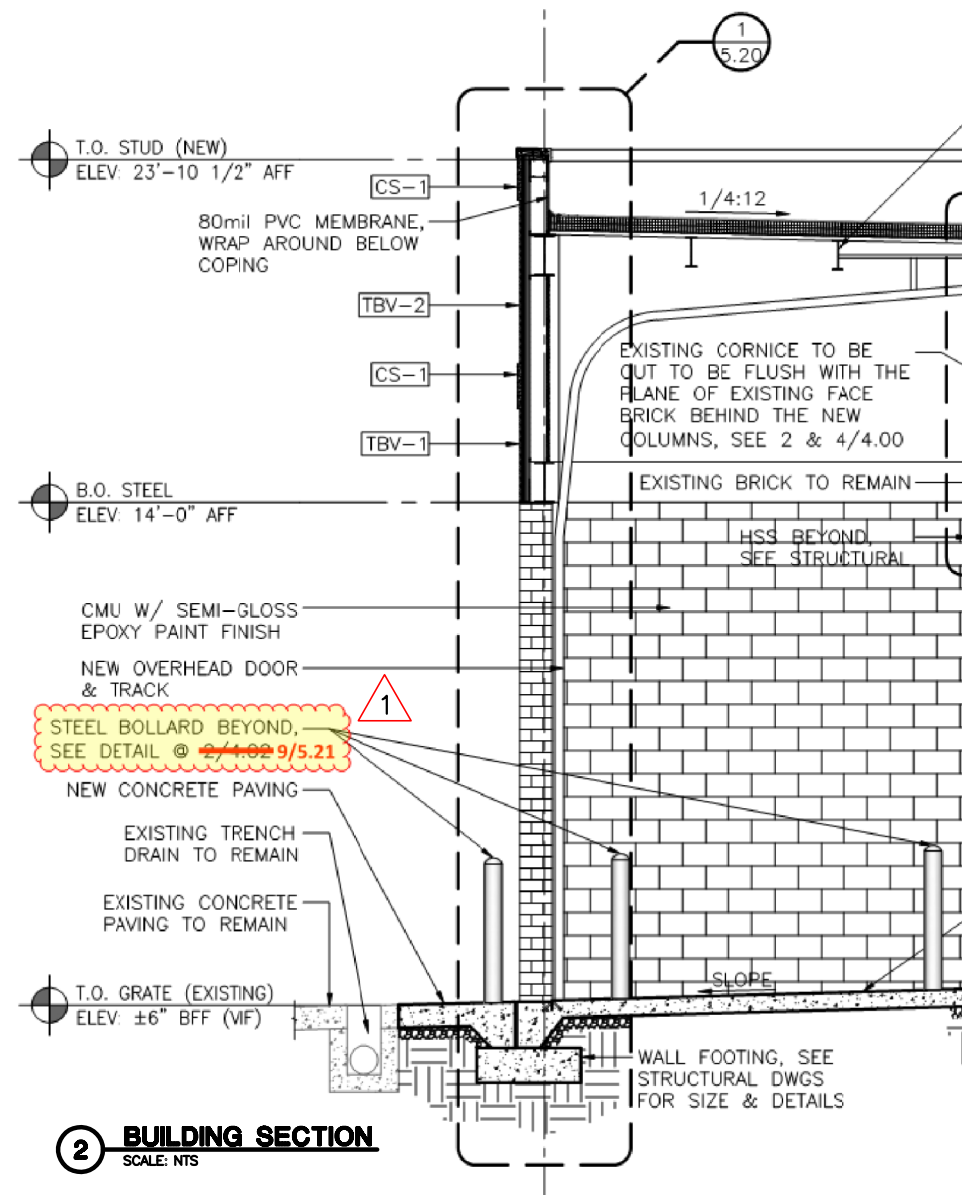
**GREENVILLE FIRE RESCUE #1**

**Architectural Bulletin Drawings · ADDENDUM #01**

**ABD-4**



**1 BUILDING SECTION**  
SCALE: NTS



**2 BUILDING SECTION**  
SCALE: NTS

**Stewart · Cooper · Newell**  
Architects  
www.scn-architects.com 1.800.671.0621

719 East Second Avenue  
Gastonia, NC 28054  
Phone: 704.865.6311  
Fax: 704.865.0046

REFERENCE SHEET NO. 5.11  
REVISED NOTE ON 1/5.11 & 2/5.11

DATE  
12.10.2020

**GREENVILLE FIRE RESCUE #1**

**Architectural Bulletin Drawings · ADDENDUM #01**

**ABD-5**



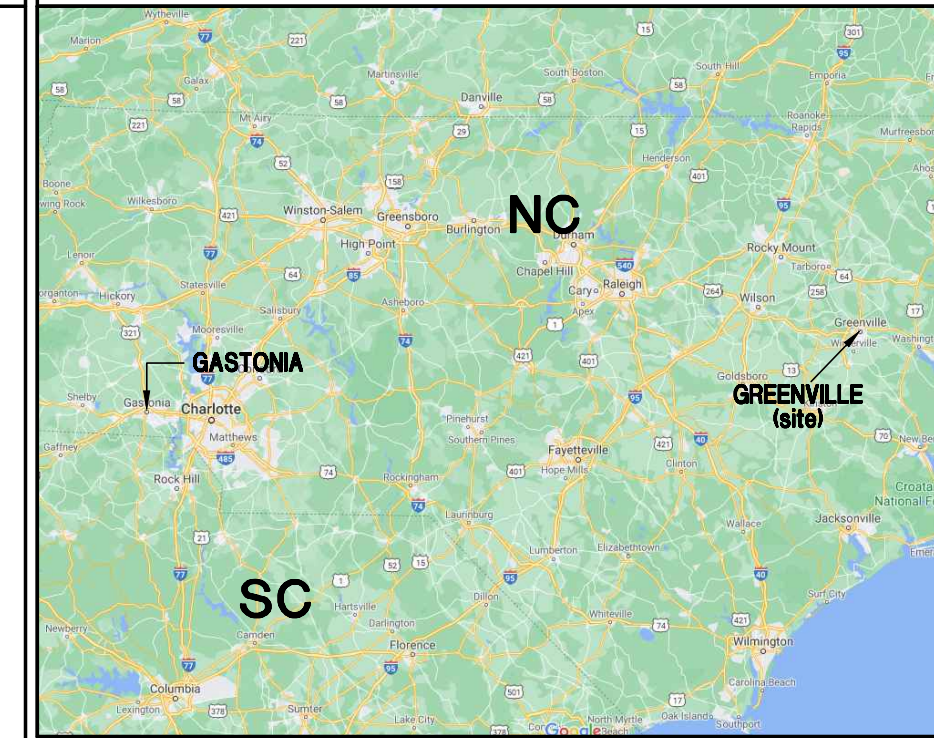
# GREENVILLE FIRE RESCUE #1 BAY EXPANSION

GREENVILLE, NC 27834

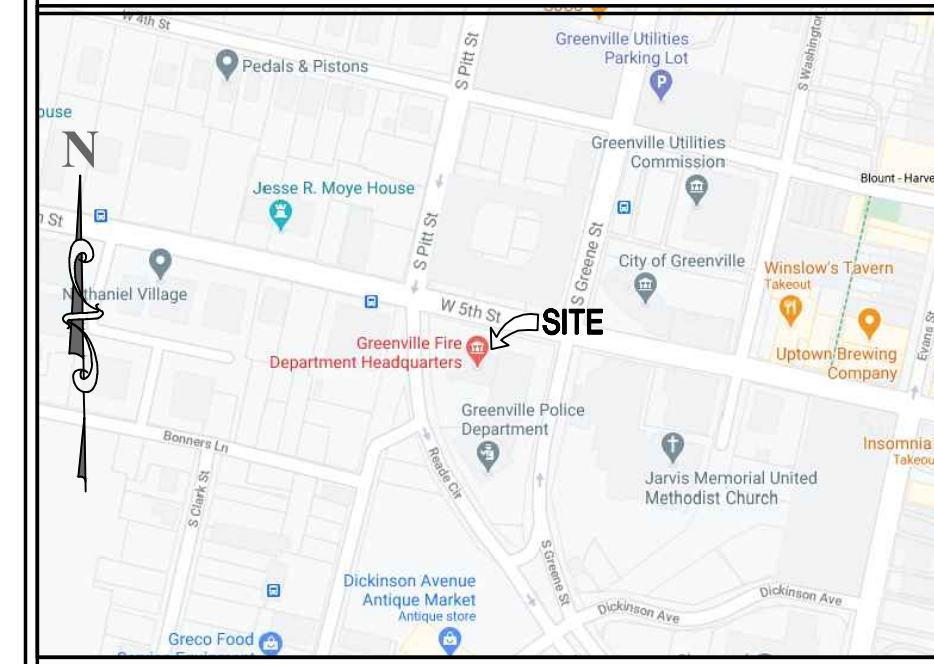
## ABBREVIATIONS

<b>A</b> AMP ABV A/C ACOU ACT ADA  ADJ. ADMIN AF AFC AFF AGG AHU ALUM ALUM ALT L ANOD AP ACT APC  APPROX ARCH ASSY ASTM AUX AWI	<b>CHBD</b> CJ CL CLO CLR CMU COL COMP CONC CONF CONNX CONSTR CONT. CORR. CRDR CRS CS CT CTK CTR CUB CUST CWFP  D DBL DECON DEF DIA DIAG DIM DISP DIV DN DOCS DP DR DRY DS FUR FV  G GAS GALV GB GC GD GOW GYP GEN GL GMMU GND GSFT GYP	<b>EMT</b> EQ ETC EW EWC EX EXGR EXH EXIST EXP EXT  F FAH FA FC FD FE FEC FF FFE FGD FHC FIN FLSH FLR FOC FOW FOLD FRP FR-WD FRX FS FT FY FV  G GAS GALV GB GC GD GOW GYP GEN GL GMMU GND GSFT GYP	<b>H</b> HB HC HCFV HD HOG HWR HEWC HLB HM HORIZ. HP HR HT HTB HWAC HWD HWM ID IG IN INCL INSUL INT IT  J J/C JAN JST JT  K KIT KS  L LAM LAIN LAV LB LBS LF LG LIB LLH LLV LSD	<b>LVR</b> LVT LW  M MAINT MAS MASH MAT MAX MB MC MECH MEP MEZ MET MFR MGR MH MI MIN MIR MISC MKB MM MBO MP MPH MSG MTC MT MULL MW  N NA NEG NIC NO. NOM NTS  O OCD OCEN OCG OD OFF OH OPH OPNG OPP	<b>ORD</b> PA PAR PCP  PEN PERP PFT PL P PLAM PLAS PLT PLY PNL POS PR PRFAB PREFIN PNT PNTGR PSI  PT PTD PTN PVC PMT  Q QA QT  R R/F R RAF RB RCP RD REIN REF REP REQ. RM RWF  S SB SC	<b>P</b> PUBLIC ADDRESS PARALLEL PORTLAND CEMENT PLASTER PENETRATION PERPENDICULAR PORCELAIN FLOOR TILE PLATE PLASTIC LAMINATE PLASTER PLYWOOD PANEL POSITIVE PAIR PREFAB PREFINISHED PAINT PAIR PREFAB PARTITION POLYVINYL CHLORIDE PAVEMENT  SCH. SCHED SD SEC SF SGF SGL SH SHSHT SHR SIM SJ SLD SND SNT SNV SPA SPEC SF SQ SR SSK STD STL STOR STRUCT. SYS  T TEL TOP TBV TC TECH TEMP THK TKBD TKS TKSF TLT T.O. TOC TOD TOG TOM TOS TP TTD TV TWC TYP  U UBC UL UNO	<b>SCV</b> SCHEDULE SMOKE DETECTOR SECONDARY SQUARE FEET STRUCTURAL GLAZED FACING TILE SINGLE SHEET SHOWER SIMILAR SAWN CONTROL JOINT SEALANT SANITARY NAPKIN DISPOSAL UNIT SEALANT SANITARY NAPKIN VENDOR SPACES SPECIFICATIONS SPORT FLOORING SQUARE SHOWER ROD STAINLESS STEEL SERVICE SINK STANDARD STEEL STORAGE STRUCTURE, STRUCTURAL SUSPENDED SYSTEM  TELEPHONE THIN BRICK VENEER TEACHER CABINET TECHNICAL TEMPERATURE THICK, THICKNESS TACKBOARD TACK STRIP TACK SURFACE TOILET TOP OF TOP OF CURB TOP OF DRAIN TURN OUT GEAR TOP OF MASONRY TOP OF STEEL TOILET PARTITION TOILET TISSUE DISPENSER TELEVISION TEXTILE WALL COVERING TYPICAL  UNIFORM BUILDING CODE UNDERWRITER LABORATORIES UNLESS NOTED	<b>OTHERWISE</b> URINAL SCREEN UTILITY ULTRAVIOLET  V V. VERT VCT VEND VEST VTR VWC  W W W/ WASH WB WBWP WC WD WH WINDW WO WOM WP WPG WR WRB WRGBB WR-WD WTRIP WT WWF
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## SITE MAP



## VICINITY MAP



**PROJECT LOCATION:**  
500 S GREENE ST, GREENVILLE, NC 27834

**ALTERNATE STORAGE/STAGING LOCATION:**  
430/432 BONNERS LANE, GREENVILLE, NC 27834

## INDEX OF DRAWINGS

<b>GENERAL</b>	C-1 COVER SHEET
<b>LIFE SAFETY</b>	1.00 CODE DATA - APPENDIX B / LIFE SAFETY PLAN
<b>STRUCTURAL</b>	S0.01 GENERAL NOTES S0.02 ABBREVIATIONS / PLAN LEGEND S1.10 FOUNDATION PLAN S1.20 LOW STEEL FRAMING PLAN S1.30 HIGH STEEL ROOF FRAMING PLAN S3.10 SECTIONS S3.20 SECTIONS S5.10 TYPICAL DETAILS S5.20 TYPICAL DETAILS
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<b>FIRE PROTECTION</b>	F0.01 FIRE PROTECTION SPECIFICATIONS, DESIGN DATA, AND DETAILS F1.01 NEW WORK PLAN - FIRE PROTECTION
<b>MECHANICAL</b>	M0.01 MECHANICAL NOTES, LEGEND, AND SPECIFICATIONS M0.02 MECHANICAL SCHEDULES AND DETAILS M1.01 NEW WORK DUCTWORK PLAN - MECHANICAL M2.01 NEW WORK PIPING PLAN - MECHANICAL
<b>ELECTRICAL</b>	10.00 ELECTRICAL LEGEND AND NOTES 10.01 ELECTRICAL SPECIFICATIONS 10.02 WALL PENETRATION DETAILS 10.03 ELECTRICAL DETAILS 10.10 ELECTRICAL FLOOR PLAN - EXISTING & DEMOLITION 10.11 ELECTRICAL FLOOR PLAN - NEW WORK 10.12 ELECTRICAL ROOF PLAN 10.21 LIGHTING PLAN - NEW WORK 10.51 ELECTRICAL SCHEDULES & RISER DIAGRAM

## MATERIAL LEGEND

	EARTH (UNDISTURBED)
	EARTH (COMPACTED)
	STRUCTURAL CONCRETE
	BRICK (COMMON OR FACE)
	CONCRETE MASONRY UNITS (CMU)
	CUT STONE
	METAL
	TERRAZZO
	PLASTER, SAND, CEMENT, GROUT
	GLASS
	RIGID INSULATION
	BATT INSULATION
	ROUGH WOOD (CONTINUOUS)
	ROUGH WOOD (NON-CONTINUOUS)
	FINISH WOOD

## ARCHITECT'S RENDERING



## PROJECT TEAM

**ARCHITECT**  
STEWART COOPER NEWELL ARCHITECTS  
719 E. SECOND AVENUE  
GASTONIA, NC 28054  
PH (704) 865-6311 FAX (704) 865-0046

**STRUCTURAL**  
LYNCH MYKINS STRUCTURAL ENGINEERS  
301 N WEST STREET, SUITE 105  
RALEIGH, NC 27603  
PH (919) 782-1833 FAX (919) 782-7630

**PLUMBING, FIRE PROTECTION, MECHANICAL, ELECTRICAL**  
OPTIMA ENGINEERING, P.A.  
150 FAYETTEVILLE STREET, SUITE 520  
RALEIGH, NC 27601  
PH (919) 926-2200

## PLAN SYMBOLS

+ 445	NEW OR REQUIRED POINT ELEVATION		WALL TYPE
+ 233.4	EXISTING POINT ELEVATION		SECTION
334	EXISTING CONTOURS		ELEVATION
223	NEW CONTOURS		DETAIL
ROOM NAME 101	ROOM NAME AND NUMBER		REVISION #
1	COLUMN REFERENCE GRID (LETTER, NUMBER)		FRAME TYPE
A	COLUMN REFERENCE GRID (LETTER, NUMBER)		WINDOW TYPE
100 A 112	DOOR NUMBER, DOOR TYPE, INSTALL NUMBER & HARDWARE GROUP		LEVEL LINE
N	TRUE NORTH		PLAN NORTH
DIM TO STEEL LINE    DIM TO CENTER LINE    DIM FACE OF STUD OR MASONRY			

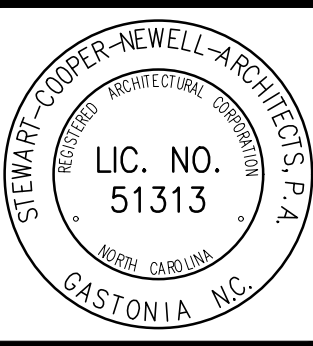
Project No.  
1667

Date Printed  
11.12.2020  
Drawn by  
IS/JJ  
Checked by  
JRS  
Revisions

12.10.2020

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719 East Second Avenue  
Gastonia, NC 28054  
Phone: 704.865.6311  
Fax: 704.865.0046

1.800.671.0621

Stewart Cooper Newell Architects  
www.scn-architects.com



BAY EXPANSION FOR  
GREENVILLE FIRE RESCUE #1  
GREENVILLE, NC  
COVER SHEET

Sheet No.  
C-1



# GREENVILLE FIRE RESCUE #1 BAY EXPANSION

GREENVILLE, NC 27834

PARCEL #26966 (CD)  
JARVIS MEMORIAL UNITED METHODIST CHURCH

S GREENE ST

PARCEL #36309 (CD)  
CITY OF GREENVILLE

PARCEL #28618 (CD)  
CITY OF GREENVILLE

PARCEL #34235 (CD)  
CITY OF GREENVILLE

PITT-GREENE CONNECTOR

EXISTING BUILDING

NEW EXPANSION

EXISTING BAYS

EXISTING BUILDING

PARCEL #16544 (CD)  
SIDEWALK GREENVILLE LLC

SEE 4.02 SITE SURVEY FOR ADDITIONAL DETAILS

W 5TH ST

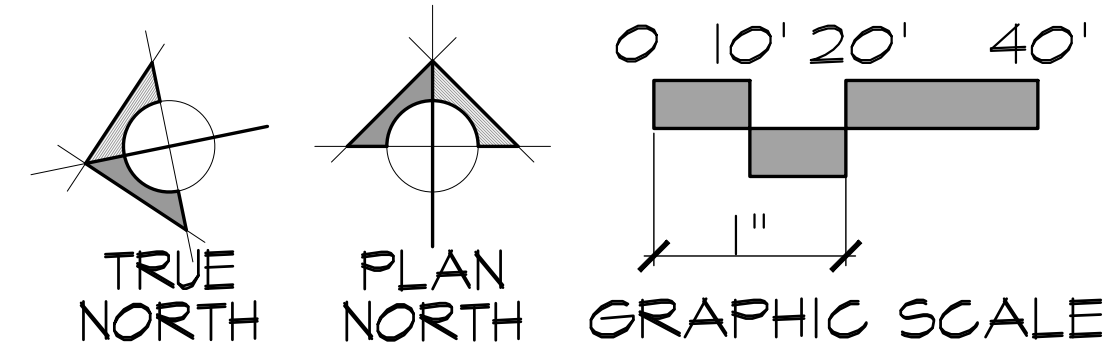
PARCEL #83399 (CD)  
RDC GATHER UPTOWN LLC

S PITT ST

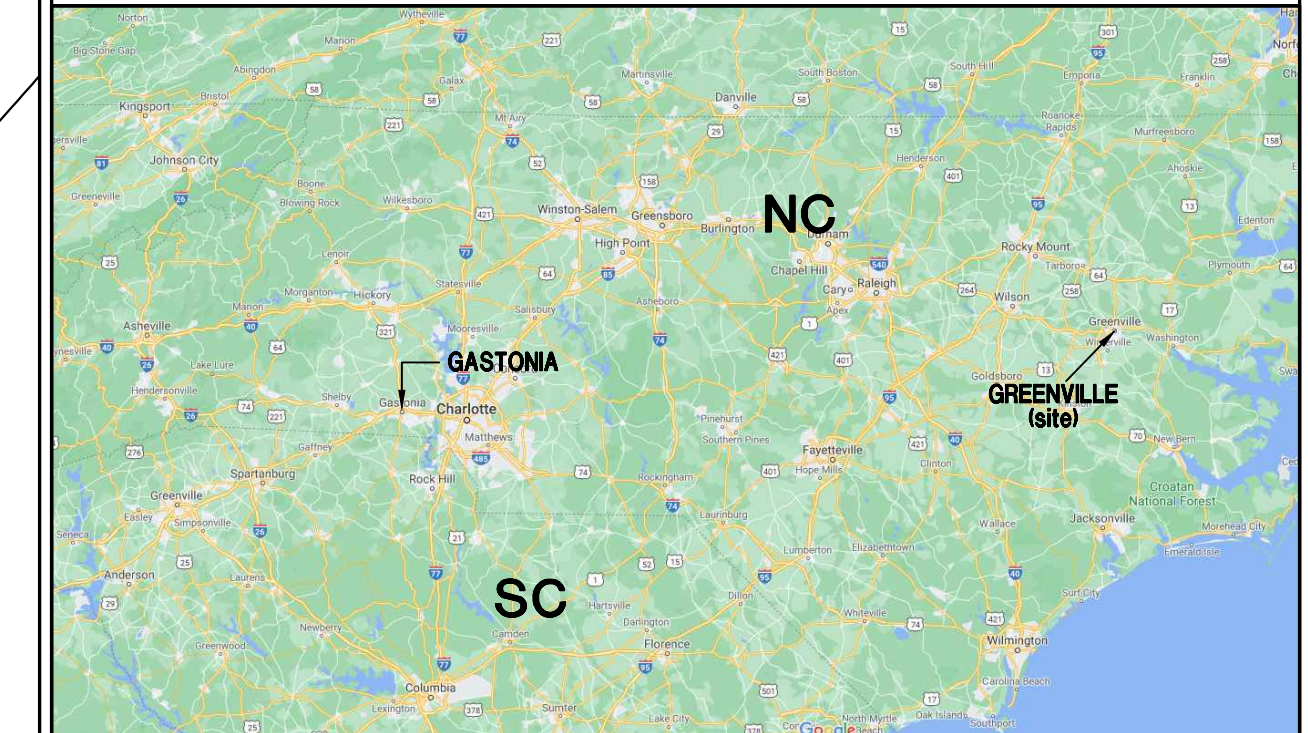
PARCEL #06932 (CD)  
CITY OF GREENVILLE

PARCEL #28843 (CDF)  
CAROLINA TELEPHONE AND TELEGRAPH CO

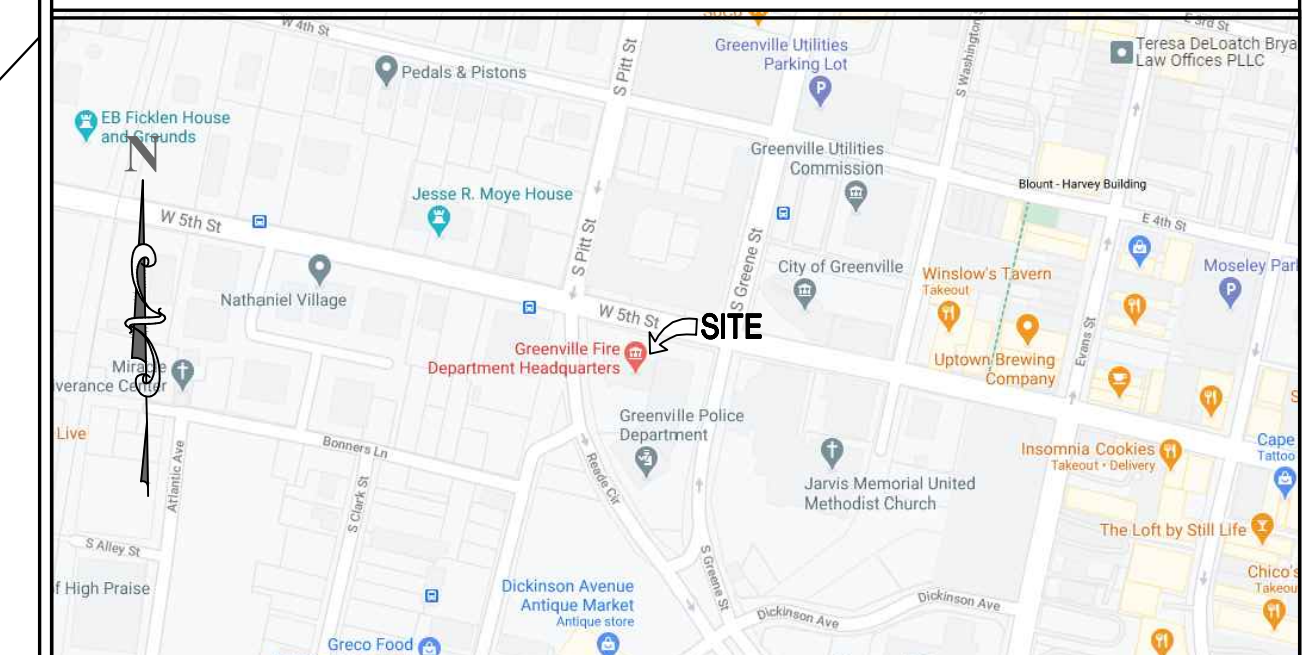
**PARCEL:**  
28618, 34235, 36309  
**PHYSICAL ADDRESS:**  
500 S GREENE ST, GREENVILLE, NC 27834  
**LAND USE CLASSIFICATION:**  
FIRE STATION



## SITE MAP



## VICINITY MAP



**PROJECT LOCATION:**  
500 S GREENE ST, GREENVILLE, NC 27834

## INDEX OF DRAWINGS

- 4.01 SITE PLAN COVER SHEET
- 4.02 SITE SURVEY
- 4.03 EXISTING GRADING PLAN
- 4.04 EXISTING UTILITY PLAN

## OWNER

CITY OF GREENVILLE  
PO BOX 7207, GREENVILLE, NC 28054  
PH (252) 329-4467 (252) 329-4522

## PREPARED BY

STEWART COOPER NEWELL ARCHITECTS  
719 E. SECOND AVENUE  
GASTONIA, NC 28054  
PH (704) 865-6311 FAX (704) 865-0046

## CITY OF GREENVILLE SITE PLAN APPROVAL

<input type="checkbox"/> APPROVED	<input type="checkbox"/> APPROVED AS NOTED
ZONING	ENGINEERING
SURVEYOR/FLOODPLAIN	INSPECTIONS
FIRE/RESCUE	GUC ELECTRIC
GUC WATER/SEWER	GUC GAS
NCDOT	VEGETATION
TRAFFIC SERVICES	NOTES

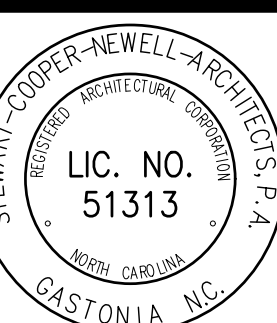
\*SITE PLAN APPROVAL ONLY. ENGINEER/ARCHITECT/SURVEYOR SHALL BE RESPONSIBLE FOR ADEQUACY OF DESIGN, ERRORS OR OMISSIONS IN THE PLANS. ALL PLANS SHALL MEET ALL SPECIFICATIONS, STANDARDS AND APPLICABLE REGULATIONS.

Project No.  
1667

Date Printed:  
11.12.2020  
Drawn by:  
IS/JJ  
Checked by:  
JRS  
Revisions  
12.10.2020

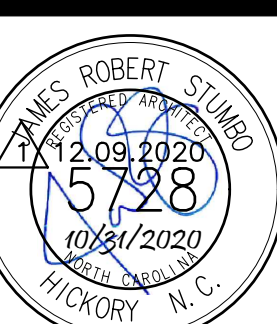
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Stewart-Cooper-Newell Architects  
www.scn-architects.com  
1.800.671.0621



BAY EXPANSION FOR  
GREENVILLE FIRE RESCUE #1  
GREENVILLE, NC  
SITE PLAN COVER SHEET

Sheet No.  
4.01



NC GRID NORTH NAD 83 (2011)



**LEGEND**

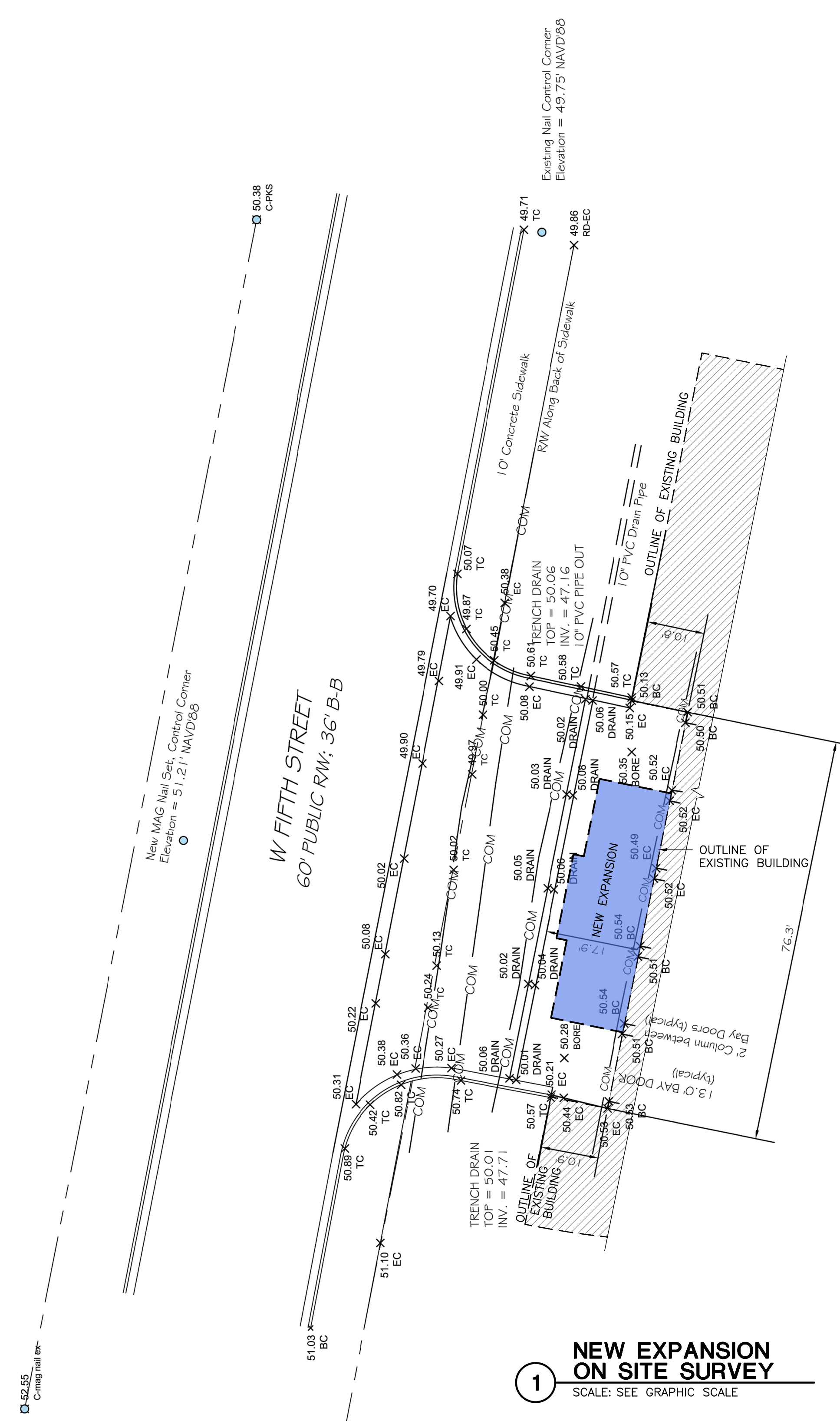
- = CONTROL CORNER
- x = TOPO SHOT, CODE, ELEVATION
- TC = TOP OF CURB OR TOP OF CONCRETE
- BC = BUILDING CORNER OF PARAPET WALL
- EC = EDGE OF CONCRETE
- BORE = LOCATION MARKED FOR A SOIL BORE
- DRAIN = TOP OF FRAME OF TRENCH DRAIN
- COM = COMMUNICATION LINE AS MARKED

**GRAPHIC SCALE**

Location Survey  
**CITY OF GREENVILLE**  
BEING THE NORTH APRON OF THE TRUCK BAY OF FIRE STATION #1  
GREENVILLE, GREENVILLE TOWNSHIP, PITT COUNTY, NORTH CAROLINA

OWNER: CITY OF GREENVILLE  
ADDRESS: PO BOX 7207, GREENVILLE, NC 27835  
PHONE: 252-329-4467

City of Greenville Public Works 1500 BEATTY STREET GREENVILLE NC, 27834 (252) 329-4467	SURVEYED: BLM DRAWN: BLM CHECKED: KM	APPROVED: KM DATE: 10-01-20 SCALE: 1" = 20'
--	--	---



**1** NEW EXPANSION ON SITE SURVEY  
SCALE: SEE GRAPHIC SCALE

**SITE INFORMATION:**

TOTAL AREA IN SITE	1.6 ACRES
TOTAL AREA DISTURBED	0.032 ACRES
CURRENT ZONING	CD
PARCEL NUMBER	28618, 34235, 36309
STREET ADDRESS	500 S GREENE ST
ACREAGE IN COMMON AREA(S)	NO CHANGE FROM EXISTING
ACREAGE IN RECREATION AREA(S) AND THE LIKE	NO CHANGE FROM EXISTING
TOTAL NO. OF UNITS/BEDROOMS	N/A
GROSS FLOOR AREA (TOTAL / NEW ADDITION)	47956 SQ.FT. / 677 SQ.FT.
BUILDING LOT COVERAGE	NO CHANGE FROM EXISTING
BUILDING HEIGHT	NO CHANGE FROM EXISTING
TOTAL NO. OF PARKING SPACES	NO CHANGE FROM EXISTING
TOTAL NO. OF HANDICAP PARKING SPACES	NO CHANGE FROM EXISTING
IMPERVIOUS AREA	NO CHANGE FROM EXISTING
VEGETATION REQUIREMENTS	NO CHANGE FROM EXISTING

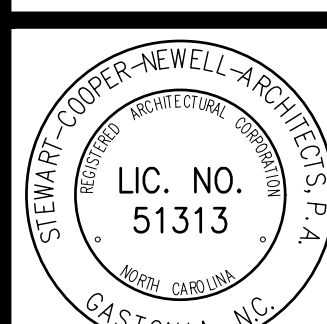
- SITE NOTES:**
1. CITY OR NCDOT DRIVEWAY PERMIT REQUIRED. ANY ENCROACHMENT AGREEMENTS SHALL BE APPROVED BEFORE INSTALLATION.
  2. AN UNUSED DRIVEWAY MUST BE CLOSED IN ACCORDANCE WITH THE CITY OF GREENVILLE'S DRIVEWAY ORDINANCE.
  3. CONTRACTOR MUST NOTIFY ONE - CALL CENTER, INC. (NC ONE-CALL) (811) AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION OR TRENCHING TO HAVE ALL UNDERGROUND UTILITIES LOCATED.
  4. ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO THE CITY OF GREENVILLE MANUAL OF STANDARD DESIGNS AND DETAILS (MSDD).
  5. CONTRACTOR SHALL NOTIFY PUBLIC WORKS, STREET MAINTENANCE DIVISION 48 HOURS PRIOR TO MAKING CONNECTIONS TO EXISTING STORM DRAINS LOCATED WITHIN PUBLIC STORM DRAINAGE EASEMENTS OR RIGHT-OF-WAY.
  6. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
  7. LANE CLOSURES ON THOROUGHFARE ROADS ARE ONLY PERMITTED BETWEEN THE HOURS OF 9:00AM AND 4:00PM, MONDAY THROUGH FRIDAY, UNLESS OTHERWISE PERMITTED BY THE TRAFFIC ENGINEER. IN ADDITION, THERE WILL BE NO LANE CLOSURES ON HOLIDAYS INCLUDING THE DAY BEFORE OR AFTER SAID HOLIDAY. A TRAFFIC CONTROL PLAN PREPARED IN ACCORDANCE WITH THE NCDOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES IS REQUIRED FOR ALL LANE CLOSURES AND MUST BE APPROVED BY THE TRAFFIC ENGINEER.
  8. FRONT APRON IS AVAILABLE FOR MATERIAL STORAGE & STAGING DURING CONSTRUCTION IN ADDITION TO THE LOCATION AT 430/432 BONNERS LANE, GREENVILLE, NC 27834.

**GENERAL NOTES**

ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.

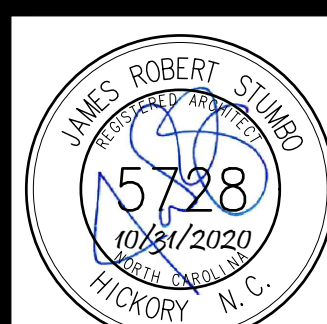
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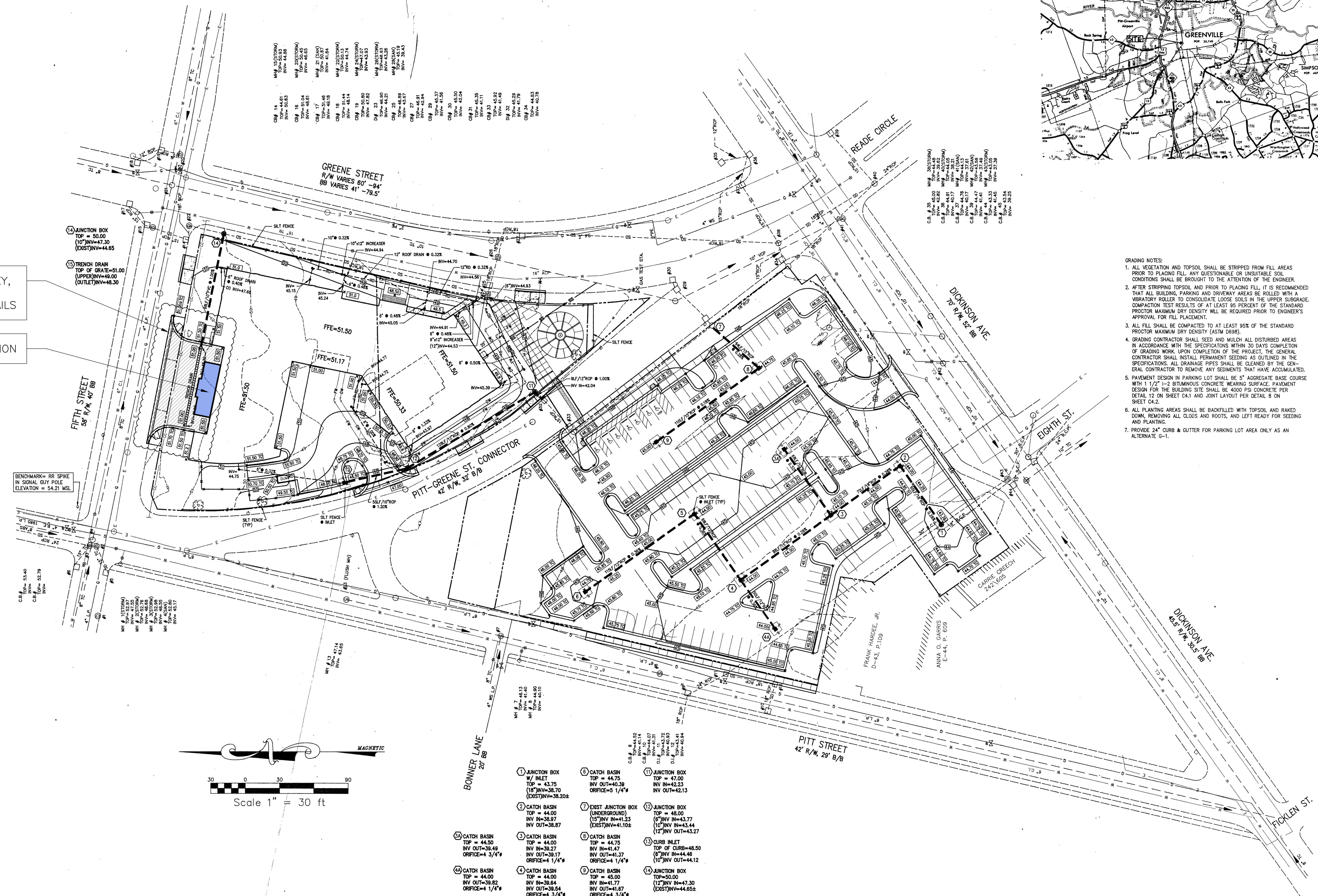
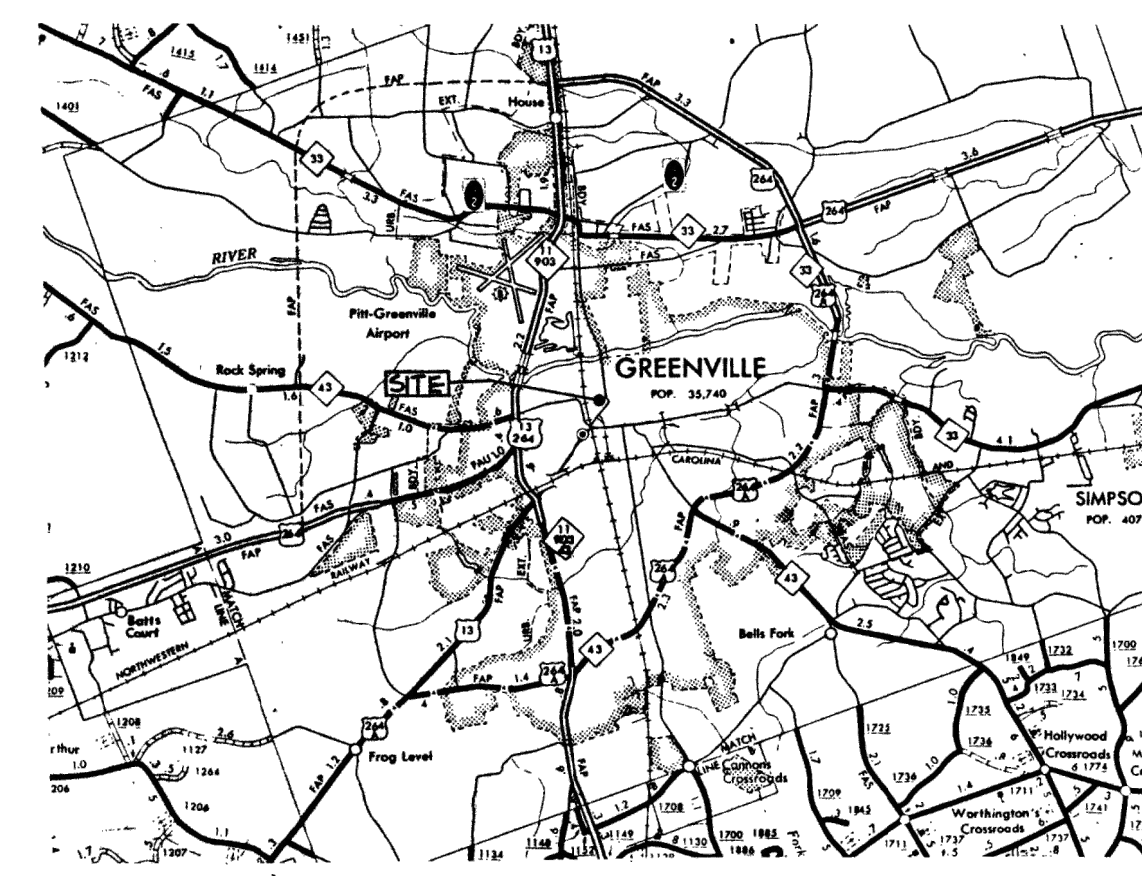


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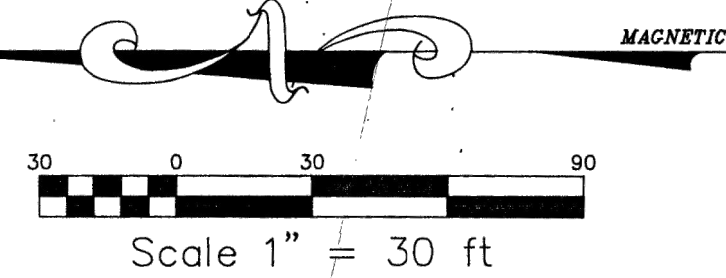
**Stewart-Cooper-Newell Architects**  
www.scn-architects.com  
1-800-671-0621



BAY EXPANSION FOR GREENVILLE FIRE RESCUE #1 GREENVILLE, NC  
EXISTING GRADING PLAN



- GRADING NOTES:
1. ALL VEGETATION AND TOPSOIL SHALL BE STRIPPED FROM FILL AREAS PRIOR TO PLACING FILL. ANY QUESTIONABLE OR UNSUITABLE SOIL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
  2. AFTER STRIPPING TOPSOIL AND PRIOR TO PLACING FILL, IT IS RECOMMENDED THAT ALL BUILDING, PARKING AND DRIVEWAY AREAS BE ROLLED WITH A VIBRATORY ROLLER TO CONSOLIDATE LOOSE SOILS IN THE UPPER SUBGRADE. COMPACTION TEST RESULTS OF AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY WILL BE REQUIRED PRIOR TO ENGINEER'S APPROVAL FOR FILL PLACEMENT.
  3. ALL FILL SHALL BE COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698).
  4. GRADING CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS IN ACCORDANCE WITH THE SPECIFICATIONS WITHIN 30 DAYS COMPLETION OF GRADING WORK. UPON COMPLETION OF THE PROJECT, THE GENERAL CONTRACTOR SHALL INSTALL PERMANENT SEEDING AS OUTLINED IN THE SPECIFICATIONS. ALL DRAINAGE PIPES SHALL BE CLEANED BY THE GENERAL CONTRACTOR TO REMOVE ANY SEDIMENTS THAT HAVE ACCUMULATED.
  5. PAVEMENT DESIGN IN PARKING LOT SHALL BE 5" AGGREGATE BASE COURSE WITH 1 1/2" 1-2 BITUMINOUS CONCRETE WEARING SURFACE. PAVEMENT DESIGN FOR THE BUILDING SITE SHALL BE 4000 PSI CONCRETE, PER DETAIL 12 ON SHEET C4.1 AND JOINT LAYOUT PER DETAIL 8 ON SHEET C4.2.
  6. ALL PLANTING AREAS SHALL BE BACKFILLED WITH TOPSOIL AND RAKED DOWN, REMOVING ALL CLODS AND ROOTS, AND LEFT READY FOR SEEDING AND PLANTING.
  7. PROVIDE 24" CURB & GUTTER FOR PARKING LOT AREA ONLY AS AN ALTERNATE G-1.



Scale 1" = 30 ft

- 1 JUNCTION BOX  
W/ INLET  
TOP = 43.75  
INV IN=38.70  
(EXIST) INV=38.20
- 2 CATCH BASIN  
TOP = 44.00  
INV OUT=38.87  
ORFICE=4 3/4"
- 3 CATCH BASIN  
TOP = 44.00  
INV IN=39.27  
INV OUT=39.17  
ORFICE=1 1/4"
- 4 CATCH BASIN  
TOP = 44.00  
INV IN=39.84  
INV OUT=39.54  
ORFICE=4 3/4"
- 5 CATCH BASIN  
TOP = 44.50  
INV IN=39.88  
INV OUT=39.88  
ORFICE=5 1/4"
- 6 CATCH BASIN  
TOP = 44.75  
INV IN=40.39  
ORFICE=5 1/4"
- 7 EXIST JUNCTION BOX  
(UNDERGROUND)  
(15") INV IN=41.23  
(EXIST) INV=41.10±
- 8 CATCH BASIN  
TOP = 44.75  
INV IN=41.47  
INV OUT=41.37  
ORFICE=1 1/4"
- 9 CATCH BASIN  
TOP = 45.00  
INV IN=41.77  
INV OUT=41.67  
ORFICE=4 3/4"
- 10 JUNCTION BOX  
TOP = 47.00  
INV IN=42.23  
INV OUT=42.13
- 11 JUNCTION BOX  
TOP = 48.00  
(6") INV IN=43.77  
(10") INV IN=43.44  
(12") INV OUT=43.27
- 12 CURB INLET  
TOP OF CURB=48.50  
(6") INV IN=44.46  
(10") INV OUT=44.12
- 13 JUNCTION BOX  
TOP=50.00  
(12") INV IN=47.30  
(EXIST) INV=44.85±

NEW SITE SURVEY,  
SEE 4.02 FOR  
ADDITIONAL DETAILS

NEW EXPANSION

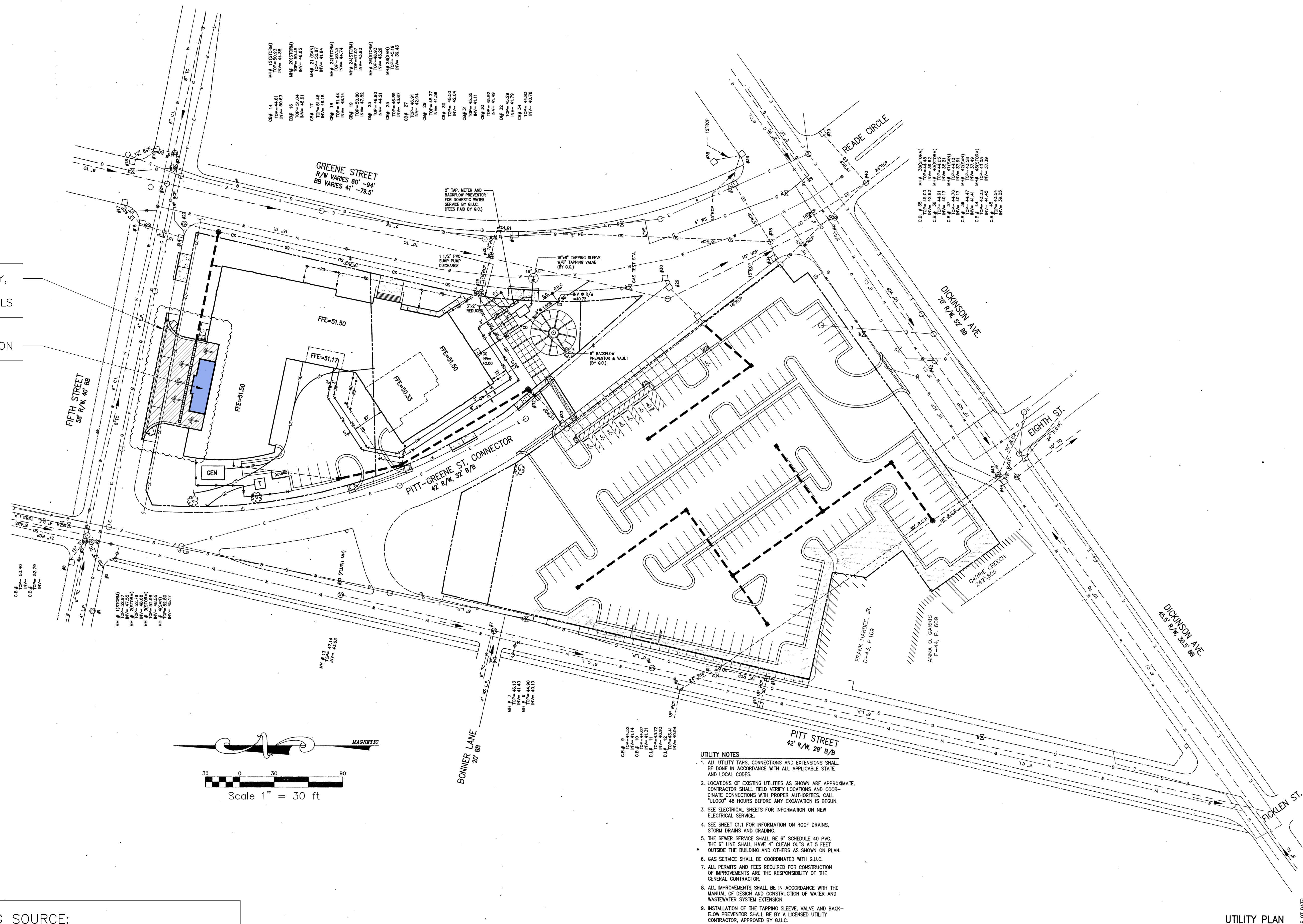
UNDERLAY DRAWING SOURCE:  
SHEET C1.1, AS-BUILTS  
POLICE/FIRE RESCUE HEADQUARTERS  
THE EAST GROUP (1993)  
  
THIS DRAWING IS PROVIDED FOR REFERENCE ONLY.

**NEW EXPANSION ON EXISTING GRADING PLAN**  
SCALE: SEE GRAPHIC SCALE

**GENERAL NOTES**

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NEW SITE SURVEY, SEE 4.02 FOR ADDITIONAL DETAILS  
NEW EXPANSION

UNDERLAY DRAWING SOURCE:  
SHEET C3.1, AS-BUILTS  
POLICE/FIRE RESCUE HEADQUARTERS  
THE EAST GROUP (1993)  
THIS DRAWING IS PROVIDED FOR REFERENCE ONLY.

**1** NEW EXPANSION ON EXISTING UTILITY PLAN  
SCALE: SEE GRAPHIC SCALE

- UTILITY NOTES**
1. ALL UTILITY TAPS, CONNECTIONS AND EXTENSIONS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
  2. LOCATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND COORDINATE CONNECTIONS WITH PROPER AUTHORITIES. CALL "ULOCOT" 48 HOURS BEFORE ANY EXCAVATION IS BEGUN.
  3. SEE ELECTRICAL SHEETS FOR INFORMATION ON NEW ELECTRICAL SERVICE.
  4. SEE SHEET C1.1 FOR INFORMATION ON ROOF DRAINS, STORM DRAINS AND GRADING.
  5. THE SEWER SERVICE SHALL BE 6" SCHEDULE 40 PVC. THE 6" LINE SHALL HAVE 4" CLEAN OUTS AT 5 FEET OUTSIDE THE BUILDING AND OTHERS AS SHOWN ON PLAN.
  6. GAS SERVICE SHALL BE COORDINATED WITH G.U.C.
  7. ALL PERMITS AND FEES REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
  8. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MANUAL OF DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER SYSTEM EXTENSION.
  9. INSTALLATION OF THE TAPPING SLEEVE AND BACKFLOW PREVENTOR SHALL BE BY A LICENSED UTILITY CONTRACTOR, APPROVED BY G.U.C.

**GENERAL NOTES**

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**FINISH SCHEDULE & NOTES**

**GENERAL NOTE:** ALL SURFACES SHALL RECEIVE A FINISH WHETHER NOTED OR NOT. ITEMS NOT NOTED WILL BE SELECTED BY THE ARCHITECT DURING CONSTRUCTION.

**PAINTS (NOTED AS PNT-)**

**GENERAL NOTE:** ALL PAINTS SHALL BE SCUFF RESISTANT PAINT. PREPARE SUBSTRATE PER MANUFACTURER'S RECOMMENDATIONS.

- PNT-1** SW 7014 EIDER WHITE, SEMI-GLOSS FINISH (FIELD WALL - SEE 4/4.11)
- PNT-2** SW 6039 POISED TAUPE, SEMI-GLOSS FINISH (FIELD WALL - SEE 4/4.11)
- PNT-3** SW 9183 DARK CLOVE, SEMI-GLOSS FINISH (ACCENT WALL - SEE 4/4.11)
- PNT-4** SW 9183 DARK CLOVE, SEMI-GLOSS FINISH (HOLLOW METAL DOORS & FRAMES)

1. ALL INTERIOR CMU TO RECEIVE 2 COATS OF BLOCK FILLER & 2 COATS OF ACRYLIC PAINT.
2. PAINT ALL EXPOSED STRUCTURE, VENTS, GRILLES, PIPING, ETC. TO MATCH ADJACENT PAINT COLOR, UNLESS NOTED OTHERWISE.
3. ALL EXPOSED STEEL TO RECEIVE EXTERIOR HIGH-PERFORMANCE COATING.
4. COORDINATE PAINT FOR MEP, FP PIPING & CONDUITS PER CODE.

**BASE-BID:** PAINT NEW CONSTRUCTION.  
**ALTERNATE #2:** PAINT NEW CONSTRUCTION & EXISTING APPARATUS BAYS.

**FLOOR**

- SC-1** SEALED CONCRETE WITH 2 COATS OF CONCRETE SEALER, FINISH TO MATCH EXISTING BAY FLOOR
1. PROTECT EXPOSED CONCRETE SLAB FROM MUD AND OIL STAINS. ALL STAINS MUST BE COMPLETELY REMOVED FROM CONCRETE.
  2. ALL EXPOSED CONCRETE SLABS MUST RECEIVE A SECOND FINAL CLEAR COAT OF SEALER PRIOR TO TURNING PROJECT OVER TO OWNER UNLESS INSTRUCTED OTHERWISE.
  3. OWNER MUST RECOMMEND FINISH FOR BAY AREA CONCRETE SLAB PRIOR TO GENERAL CONTRACTOR'S POURING UNLESS INSTRUCTED OTHERWISE.

**CEILING**

- CLG-1** EXPOSED CEILING STRUCTURE, PAINT TO MATCH EXISTING CEILING
1. ALL STRUCTURE AND DECKING TO BE PAINTED. ANY STRUCTURE THAT HAS NOT BEEN PRE-FINISHED SHALL BE PRIMED WITH SHERWIN WILLIAMS ALL PURPOSE METAL PRIMER (GRAY) PRIOR TO TOPCOAT APPLICATION OF DRY FOG SEMI-GLOSS PAINT (WHITE).

**DOORS**

**HOLLOW METAL DOOR & FRAME**

- ASSA ABLOY CURRIES (707 SERIES, F04 STYLE, TYPE 1 & 2 WINDOW MOULDING) OR APPROVED EQUAL.
1. HOLLOW METAL DOOR TO BE HEAVY DUTY, (PAINT) 1-3/4" HOLLOW METAL WITH CLOSED TOP & BOTTOM (14 GAUGE).
  2. HOLLOW METAL DOOR FRAME TO BE COLD ROLLED GALVANIZED STEEL (14 GAUGE).
  3. HOLLOW METAL DOOR AND FRAME TO BE PAINTED (PNT-4).
  4. METAL FRAME, DOOR AND HARDWARE TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
  5. ALL HARDWARE IS TO BE WEATHER RESISTANT.
  6. PAINT TOP AND BOTTOM OF ALL HOLLOW METAL DOOR.
  7. KEYING IS TO BE DETERMINED BY THE OWNER AND COORDINATED BY G.C.
  8. ENSURE DOOR IS FACTORY REINFORCED & PREPPED TO RECEIVE CLOSER & CONTINUOUS HINGE.
  9. SUPPLIER TO FURNISH CUT SHEET ON ALL ITEMS THAT HAS BEEN SPECIFIED ON THESE ARCHITECTURAL DOCS. HERE-IN.

**OVERHEAD DOORS**

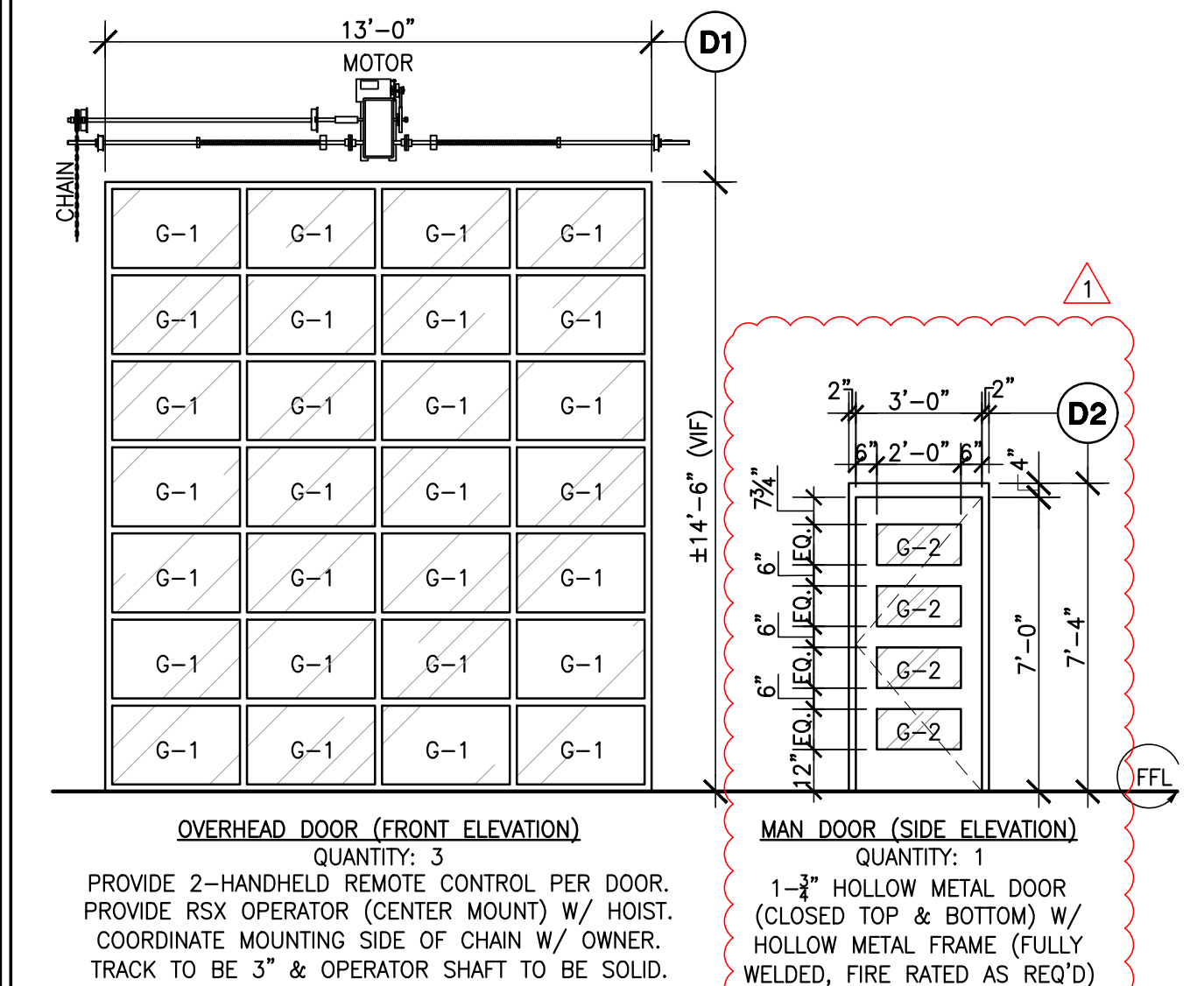
- OVERHEAD DOOR COMPANY OR APPROVED EQUAL.  
 (ALUMINUM INSULATED GLASS IN STANDARD COLOR, TBD)
1. GC TO VERIFY DOOR OPENING BEFORE FABRICATION.
  2. NO EXPOSED ELECTRICAL CONDUIT.
  3. GC TO COORDINATE MOUNTING HEIGHTS OF PHOTO EYE SENSORS WITH THE FIRE DEPARTMENT.
  4. SEE ULTIMATE DESIGN WIND SPEED IN S.01.

**GLAZING**

- G-1** MANUFACTURER'S UV TINTED 3/4" THICK DOUBLE PANE INSULATED DSB GLASS.  
 COLOR: TO MATCH EXISTING OVERHEAD DOOR GLAZING.
- G-2** 1" THICK THERMOPANE (SOLARBAN 60) POLISHED PLATE INSULATING GLASS, BOTH PANES TEMPERED, LOW-E, AS MANUFACTURED BY VITRO ARCHITECTURAL GLASS. COLOR: CLEAR GLASS

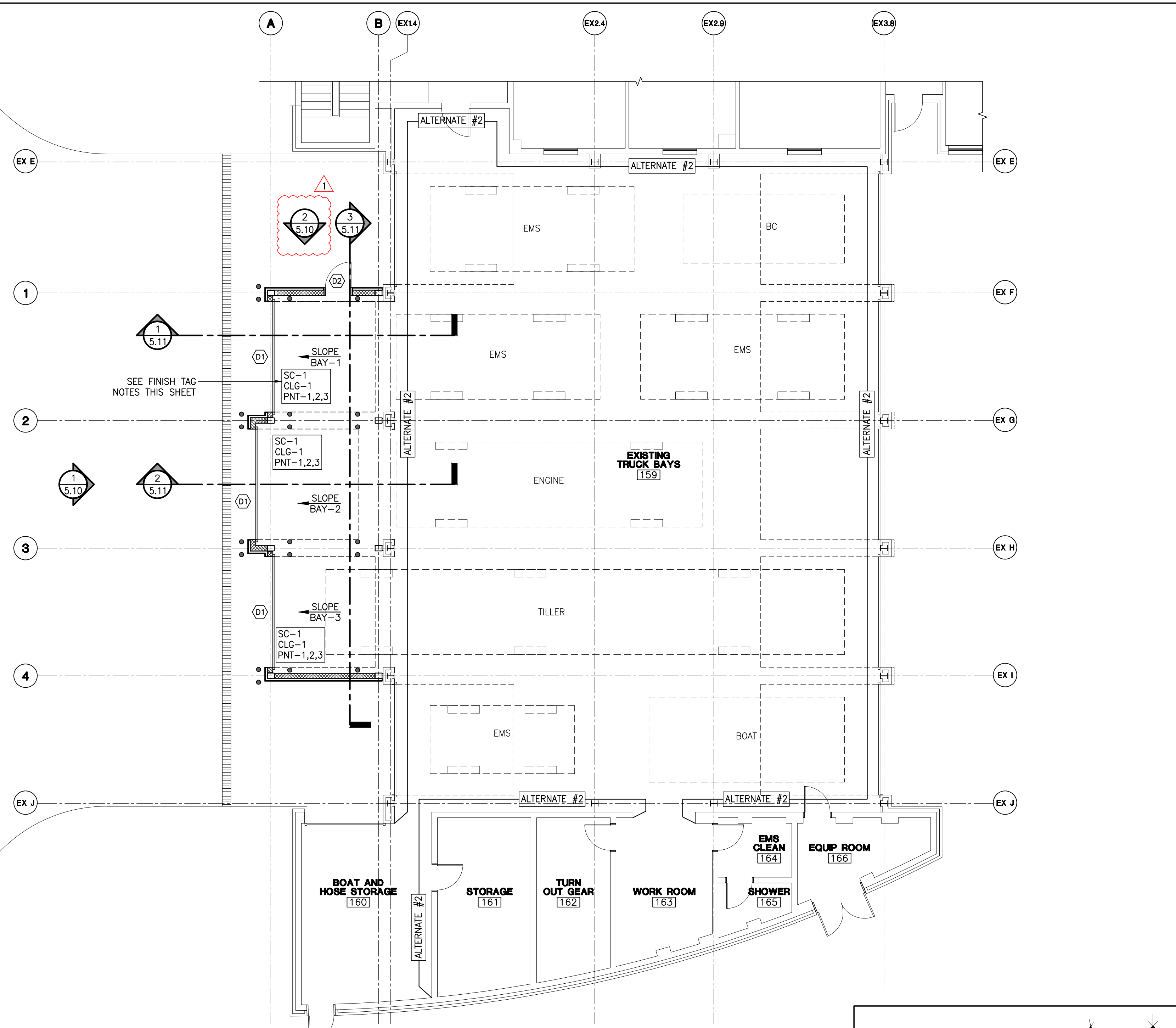
**HARDWARE** (NOTE: ALL HARDWARE FINISHES TO BE SELECTED DURING CONSTRUCTION.)

- LOCK-LATCH VON DUPRIN: 98L X 03 LEVEL X US32D
- KEYPAD TRILOGY ETDL27
- HINGES PEMKO\_FM\_HD FULL MORTISE HINGE
- SILENCERS (3) IVES SR64
- CLOSER (1) HEAVY DUTY LCN 4040XP SERIES X US32D (MOUNT ON INTERIOR SIDE OF DOOR), PROVIDE STOP ARM
- THRESHOLD ZERO #566A ALUMINUM THRESHOLD (SET IN WATERPROOF MASTIC)
- WEATHERSTRIPPING PEMKO 290 PK HEAVY DUTY PERIMETER GASKETING
- DOOR BOTTOM PEMKO 3452\_NB BRUSH SEAL/ALUMINUM RETAINER W/ RAIN DRIP
- DRIP GUARD PEMKO 346\_NB BRUSH SEAL/ALUMINUM RETAINER W/ RAIN DRIP
- ASTRAGAL PEMKO 3572\_SECURITY ASTRAGAL

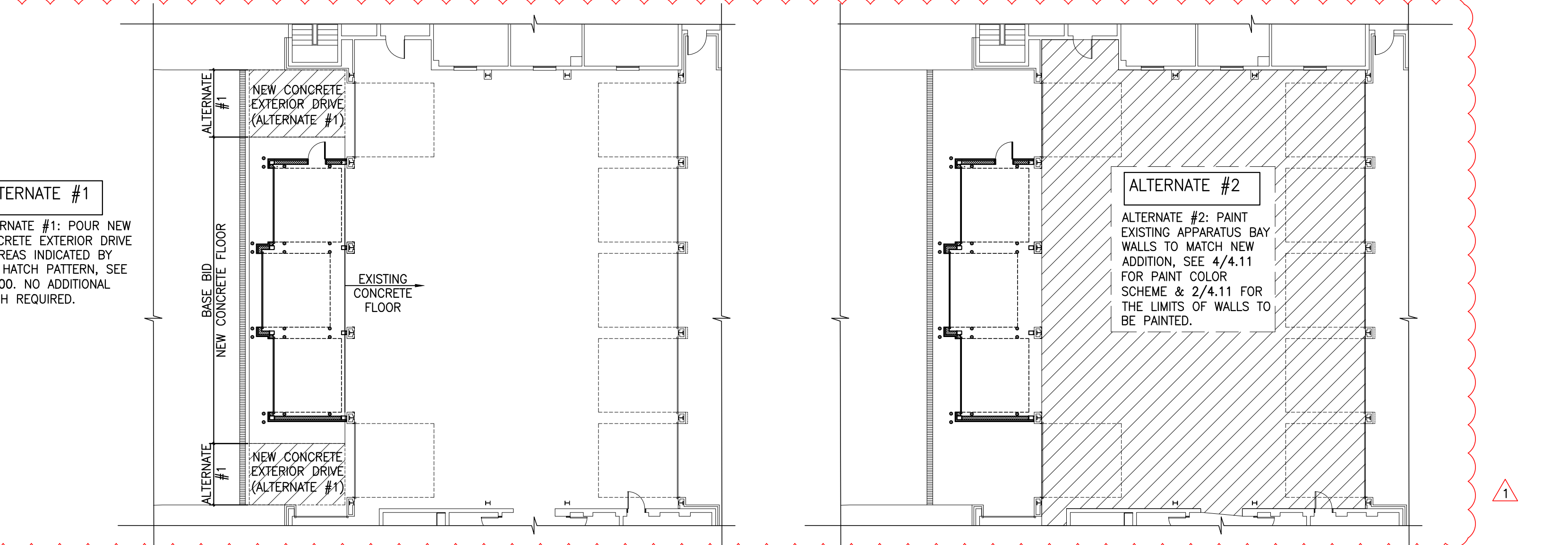
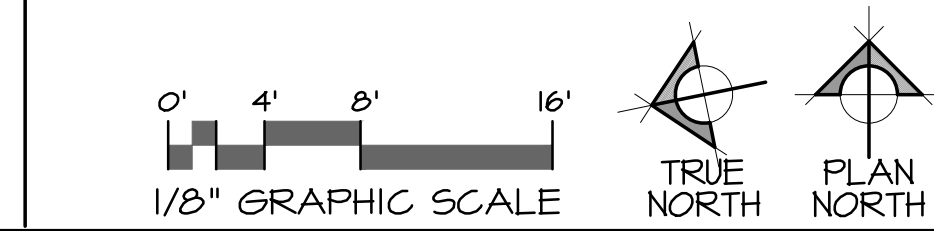


**1 DOOR TYPES**

SCALE: 1/4" = 1'-0"



**2 FLOOR PLAN (FINISH NOTES & TAGS)**  
 SCALE: 1/8" = 1'-0"



**3 FINISH PLAN ALTERNATES**  
 SCALE: 1/16" = 1'-0"

**PLAN GENERAL NOTES**

1. ALL CONTRACTORS MUST MAKE ON SITE VISITATIONS TO PROJECT SITE PRIOR TO BIDDING TO FAMILIARIZE THEMSELVES WITH THE EXTENT OF CONSTRUCTION.
2. DISCREPANCIES: THE CONTRACTOR SHALL INFORM THE ARCHITECT IN WRITING OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS OR OF ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO CODES, RULES AND REGULATIONS. UPON RECEIPT OF SUCH INFORMATION, THE ARCHITECT WILL SEND WRITTEN INSTRUCTION TO ALL CONCERNED. ANY SUCH DISCREPANCY, OMISSION, OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND WORK SHALL BE PERFORMED IN A MANNER DIRECTED BY THE ARCHITECT.
3. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PERSONS USING THE SURROUNDING FACILITIES WHO COME IN CONTACT WITH THE AREA OF CONSTRUCTION. HE SHALL PROPERLY BARRICADE THE AREA TO PREVENT INTRUSION BY PERSONS NOT ASSOCIATED WITH CONSTRUCTION.
4. DRAWING SCALES: THESE DRAWINGS ARE PREPARED TO THE SCALES NOTED, HOWEVER, DIMENSIONS ARE NOT TO BE DERIVED BY SCALING THE PLANS, SECTIONS OR DETAILS. IF THERE IS ANY QUESTION ABOUT DETAILS OR DIMENSIONS, CONTACT THE ARCHITECT FOR INFORMATION PRIOR TO STARTING WORK.
5. ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES.
6. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.
7. CONTRACTOR SHALL MEET WITH THE ARCHITECT PRIOR TO CONSTRUCTION OF THE PROJECT TO REVIEW ALL EXISTING CONDITIONS AND THE EXACT EXTENT OF THE WORK TO BE COMPLETED.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE STATE OF NORTH CAROLINA BUILDING CODE AND ALL OTHER LOCAL CODES AND REGULATIONS HAVING JURISDICTION.
9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING CONSTRUCTION AROUND THE SITE WHICH WILL REMAIN. ANY DAMAGES SHALL BE REPAIRED TO THE OWNERS' SATISFACTION AT NO COST.
10. FRAMING LUMBER IN CONTACT WITH MASONRY, CONCRETE, OR STEEL SHALL BE ALL PRESSURE TREATED.
11. GENERAL CONTRACTOR SHALL PROVIDE ALL MISCELLANEOUS LOOSE STEEL LINTELS AS REQUIRED WHERE MECHANICAL, PLUMBING, OR ELECTRICAL EQUIPMENT PASS THRU WALLS OR OVER ANY BUILT-IN ITEMS IN MASONRY WALLS.
12. PROVIDE BLOCKING IN METAL STUD WALLS AS REQUIRED FOR ALL SUSPENDED ITEMS INCLUDING BUT NOT LIMITED TO PLUMBING, MECHANICAL, ELECTRICAL, ETC. - COORDINATE WITH OTHER TRADES.
13. PROVIDE MASONRY CONTROL JOINTS AS REQUIRED.
14. DIMENSIONS SHOWN ON FLOOR PLANS ARE TO FACE OF CMU UNLESS NOTED OTHERWISE. SEE SHEET 4.10 FOR ALL DIMENSIONS.

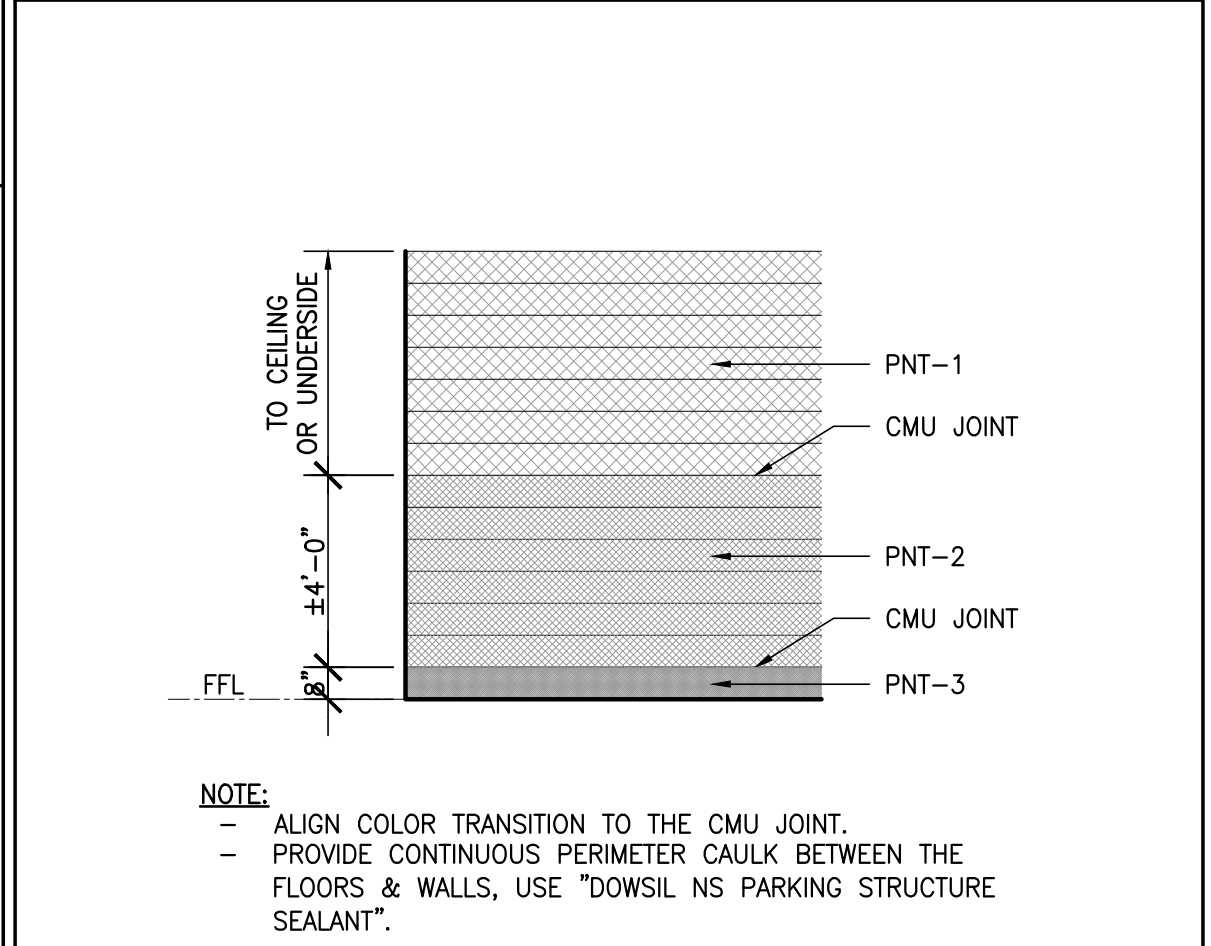
**IMPORTANT NOTE**

THE CONTRACT DOCUMENTS WERE PREPARED BASED ON EXISTING DRAWINGS PROVIDED TO THE ARCHITECT BY THE OWNER AND BASED ON FIELD OBSERVATIONS. ACTUAL FIELD CONDITIONS MAY VARY AND THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL CONDITIONS AND COORDINATING ANY VARIANCES WITH THE ARCHITECT PRIOR TO DEMOLITION OR CONSTRUCTION AS THE CASE MAY BE.

**PLAN LEGEND**

- 8" CMU AND BRICK WYTHE EXTERIOR WALLS, SEE STRUCTURAL DRAWINGS FOR REINFORCEMENT.
- 6" METAL STUD AND BRICK WYTHE EXTERIOR WALLS, SEE STRUCTURAL DRAWINGS FOR STUD SPACING AND BRACING.
- D1 DOOR TAG

**FINISH ELEVATION**



**4 TYP. WALL ELEVATION**  
 SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

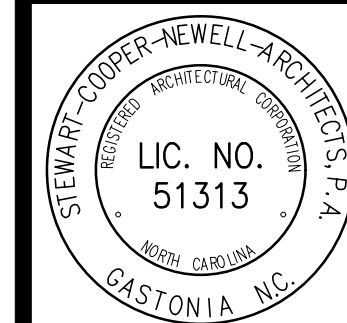
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WHENEVER THERE ARE DISCREPANCIES BETWEEN DRAWINGS, OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR CONFLICTS WITHIN THE SPECIFICATIONS AND/OR DRAWINGS, AND SUCH DISCREPANCY IS NOT CALLED TO THE ARCHITECT'S ATTENTION IN TIME TO PERMIT CLARIFICATION BY ADDENDUM, THE CONTRACTOR SHALL BASE HIS BID UPON PROVIDING THE BETTER QUALITY OR GREATER WORK OR MATERIAL CALLED FOR. SHALL SUBMIT A WRITTEN STATEMENT WITH HIS PROPOSAL NOTING SUCH DISCREPANCIES, AND SHALL SO FURNISH AND INSTALL SUCH BETTER QUALITY OR GREATER QUALITY UNLESS OTHERWISE ORDERED IN WRITING.

Project No. 1667

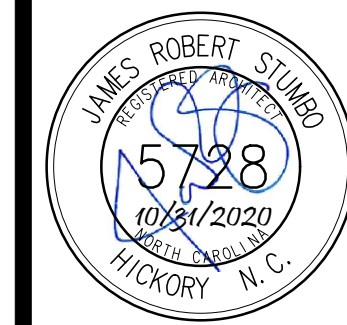
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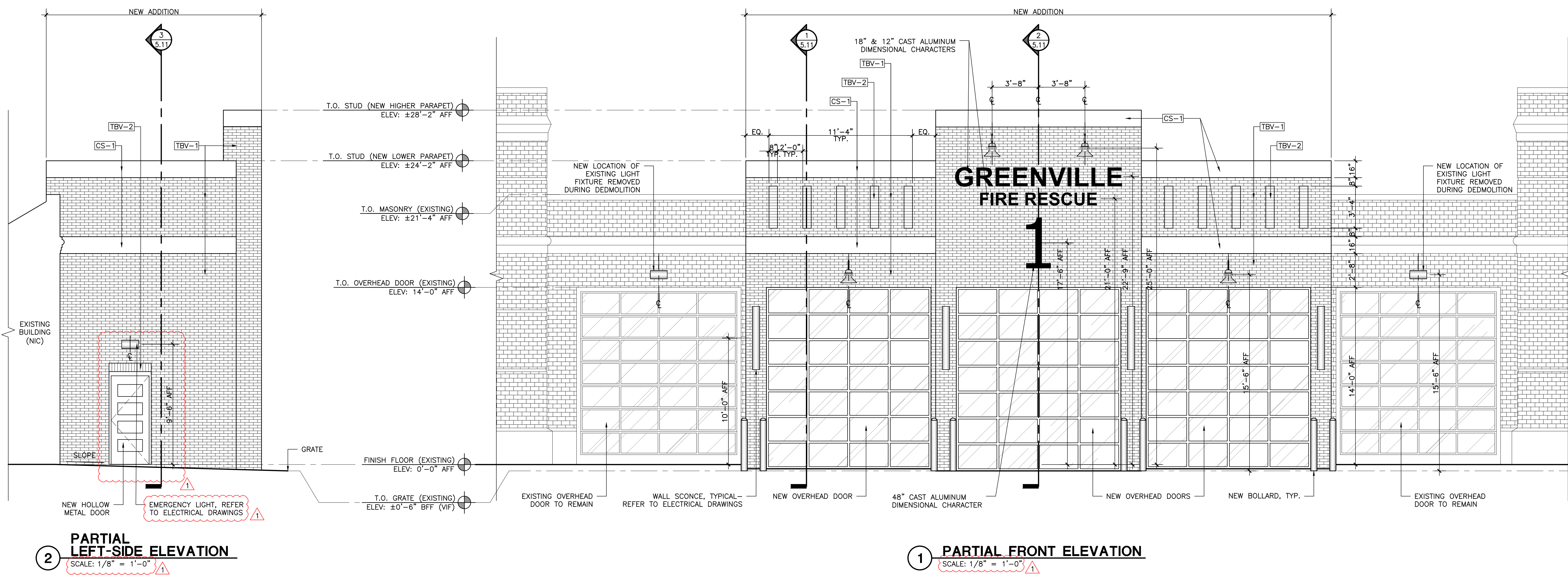
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**BAY EXPANSION FOR GREENVILLE FIRE RESCUE #1**  
 GREENVILLE, NC  
**FLOOR PLAN & FINISHES with NOTES & TAGS**

Sheet No. 4.11





**EXTERIOR FINISHES**

**THIN BRICK VENEER WALLS**

TBV-1 TAYLOR CLAY PRODUCTS, 317 RED, MODULAR THIN BRICK, WIRECUT. (FIELD BRICK) PROVIDE CORNERS & EDGE CAPS AS REQD.

TBV-2 TAYLOR CLAY PRODUCTS, PEARL GRAY, MODULAR THIN BRICK, SMOOTH. (ACCENT BRICK)

**NOTE:**

COORDINATE THE ALIGNMENT OF NEW BRICK MORTAR JOINT WITH OLD BRICK MORTAR JOINTS.

**PRE-CAST STONES**

CS-1 READING ROCK CAST THIN ARCHITECTURAL STONE, CHARLOTTE TAN, SMOOTH PA-6810-24.

**MORTAR - TYPE 'S'**

FOR THIN BRICK: USE STANDARD NATURAL GRAY COLOR.  
FOR CAST STONE: MORTAR COLOR TO MATCH CAST STONE.  
MORTAR JOINTS - CONCAVE ROUND TOOLED JOINTS  
MODIFIED ASTM C270 TYPE N OR S MORTAR.

**PVC ROOF (80 mil)**

80 MIL SIKA SARNAFIL PVC ROOF MEMBRANE (G410-80), FULLY ADHERED, COLOR: REFLECTIVE GRAY

**ALUMINUM COPING & FLASHING**

MBCI 22 GA. ALUMINUM COPING (COLOR TO MATCH CAST STONE)

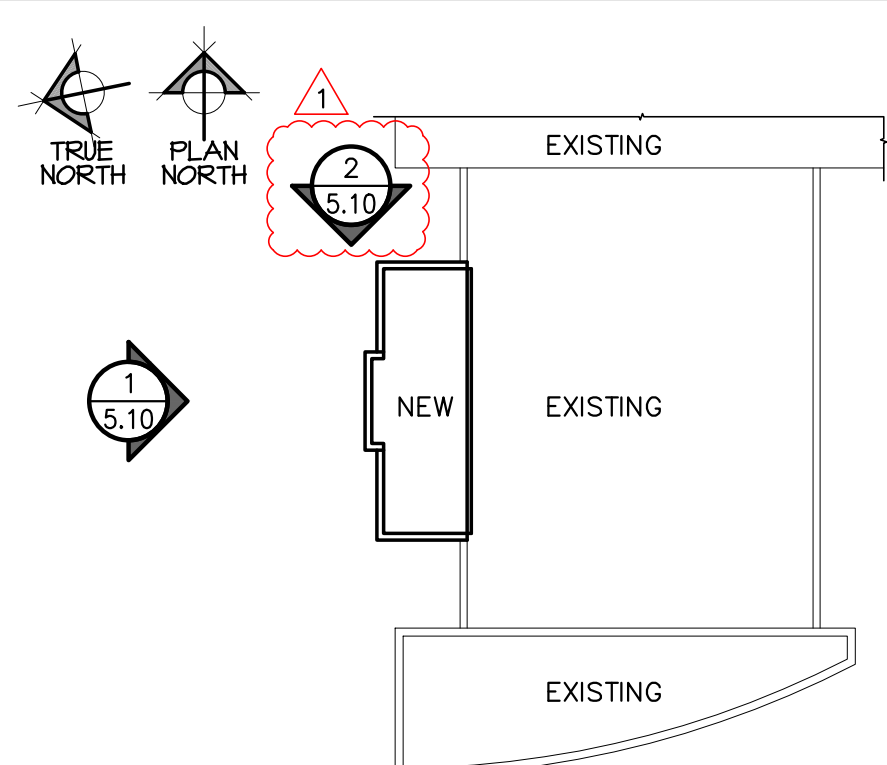
**ALUMINUM GUTTERS & DOWNSPOUTS**

COLOR & GAUGE TO MATCH ALUMINUM COPING. PROVIDE PERFORATED ALUMINUM LEAF GUARD FOR ALL GUTTERS (GUTTER SIZE: 4"WX6"H).

**EXTERIOR SIGN**

CAST ALUMINUM DIMENSIONAL CHARACTERS, COLOR: TBD DURING CONSTRUCTION.

**ELEVATION KEY PLAN**





## SYMBOL SCHEDULE

### 2018 NORTH CAROLINA ENERGY CONSERVATION CODE

COMMERCIAL ENERGY EFFICIENCY – ELECTRICAL SUMMARY

C401 METHOD OF COMPLIANCE

2018 NCECC CHAPTER 4  NC SPECIFIC COMCHECK PROVIDED  
 N/A BASED ON PROJECT SCOPE  ASHRAE 90.1-2013

C406 ADDITIONAL EFFICIENCY PACKAGE OPTIONS

C406.1.1 EFFICIENT MECH EQUIPMENT  C406.1.4 ON-SITE RENEWABLE ENERGY  
 C406.1.2 REDUCED LTG DENSITY  C406.1.5 DEDICATED OA SYSTEM  
 C406.1.3 ENHANCED DIGITAL LTG CNTLS  C406.1.6 HI-EFF SERVICE WTR HTG  
 NOT APPLICABLE BASED ON PROJECT SCOPE

C405.2 – LIGHTING CONTROLS (MANDATORY REQUIREMENTS):

LIGHTING SYSTEMS ARE PROVIDED WITH CONTROLS AS REQUIRED PER SECTION C405.2, EXCEPT WHERE EXEMPT.  
 NOT APPLICABLE

C405.3 – EXIT SIGNS (MANDATORY REQUIREMENTS):

INTERNALLY ILLUMINATED EXIT SIGNS DO NOT EXCEED 5 WATTS PER SIDE.  
 NOT APPLICABLE

C405.4 – INTERIOR LIGHTING POWER REQUIREMENTS (PRESCRIPTIVE) (NON-EXEMPT):

NOT APPLICABLE PER 2018 NCECC C503.1, EXCEPTION 2.G.

C405.4.1 – TOTAL CONNECTED INTERIOR LIGHTING POWER:  
2,584 WATTS SPECIFIED  
29 % REDUCTION OF SPECIFIED VS. ALLOWED (APPLICABLE IF C406.1.2 IS SELECTED)

C405.4.2 – TOTAL ALLOWABLE INTERIOR LIGHTING POWER:  
METHOD OF COMPLIANCE:  
 BUILDING AREA METHOD  SPACE-BY-SPACE METHOD  
3,640 WATTS ALLOWED

C405.5.1 – EXTERIOR BUILDING LIGHTING POWER (NON-EXEMPT):

NOT APPLICABLE  
TOTAL CONNECTED EXTERIOR LIGHTING POWER:  
210 WATTS SPECIFIED  
TOTAL ALLOWABLE EXTERIOR LIGHTING POWER:  
1300 WATTS ALLOWED

C405.6 – ELECTRICAL ENERGY CONSUMPTION (DWELLING UNITS):

SEPARATE ELECTRICAL METERING HAS BEEN PROVIDED FOR EACH DWELLING UNIT IN GROUP R-2 BUILDINGS.  
 NOT APPLICABLE

C405.7 – ELECTRICAL TRANSFORMERS (MANDATORY REQUIREMENTS):

ELECTRICAL TRANSFORMERS HAVE BEEN SPECIFIED TO MEET MINIMUM EFFICIENCY REQUIREMENTS PER C405.7, EXCEPT WHERE EXEMPT.  
 NOT APPLICABLE

C405.8 – ELECTRICAL MOTORS (MANDATORY REQUIREMENTS):

ELECTRICAL MOTORS HAVE BEEN SPECIFIED TO MEET MINIMUM EFFICIENCY REQUIREMENTS PER C405.8, EXCEPT WHERE EXEMPT.  
 NOT APPLICABLE

### ABBREVIATIONS

+42"	DIMENSION INDICATES HEIGHT ABOVE FINISHED FLOOR AT WHICH CENTER OF DEVICE IS TO MOUNTED. SEE PLANS.
3R	NEMA 3R
AFF	ABOVE FINISHED FLOOR
AHJ	AUTHORITY HAVING JURISDICTION
AHU	AIR HANDLER UNIT
C.B.	CIRCUIT BREAKER
EC	EMPTY CONDUIT WITH PULL CORD
E.C.	ELECTRICAL CONTRACTOR
EWC	ELECTRIC WATER COOLER
EW	ELECTRIC WATER HEATER
FACP	FIRE ALARM CONTROL PANEL
FPN	FUSE PER NAMEPLATE
LC	LIGHTING CONTACTOR
M.C.	MECHANICAL CONTRACTOR
P.C.	PLUMBING CONTRACTOR
U.G.	UNDERGROUND
WP	WEATHERPROOF
S.E.	SERVICE ENTRANCE
EM	EMERGENCY FIXTURE WITH BATTERY OR GEN. BACK-UP
ER	EXISTING ITEM RELOCATED TO THIS LOCATION.
RL	EXISTING ITEM TO BE RELOCATED.
RM	EXISTING ITEM TO REMAIN.
RP	EXISTING ITEM TO BE REPLACED.
RV	EXISTING ITEM TO BE REMOVED.
Isc	RMS SYMMETRICAL SHORT CIRCUIT CURRENT
AIC	AMPERE INTERRUPTING CAPACITY (EQUIPMENT RATING)

### DEVICES AND PATHWAYS

WIRING SYSTEM CONCEALED IN WALL OR CEILING. WHEN SHOWN, CROSS LINES INDICATE NUMBER OF WIRES. (GROUND WIRES ARE NOT SHOWN)

WIRING SYSTEM CONCEALED IN OR UNDER SLAB OR UNDERGROUND.

WIRING SYSTEM EXPOSED

CONDUIT TURNED UP TO FLOOR ABOVE.

CONDUIT TURNED DOWN TO FLOOR BELOW.

BRANCH CIRCUIT HOMERUN TO PANEL.

JUNCTION BOX WITH CONNECTION TO EQUIPMENT SERVED. 4" SQUARE BOX WITH A SINGLE-GANG OPENING AND PLASTER RING.

DUPLEX RECEPTACLE, 20 AMP, 120 VOLT (USE 20 AMP FOR SINGLE RECEPTACLE ON A CIRCUIT.) HUBBELL 5352, OR EQUAL.

GROUND FAULT RECEPTACLE. NEMA 5-20R DUPLEX. ALL RECEPTACLES INSTALLED OUTSIDE, WITHIN 6' OF A SINK OR IN A KITCHEN SHALL BE GFCI.

WEATHERPROOF RECEPTACLE. NEMA 5-20R OFI DUPLEX. COVER SHALL BE INTERMATIC #WP1020 (CLEAR) OR SPECIFICATION EQUAL.

### PANELS, DISCONNECTS

CONNECTION TO MOTOR. STARTER PROVIDED BY OTHERS UNLESS OTHERWISE NOTED.

FRACTIONAL HORSEPOWER MANUAL MOTOR STARTER, WITH OVERLOAD PROTECTION

FUSED HEAVY DUTY DISCONNECT SWITCH. NUMERALS INDICATE SWITCH RATING/FUSE SIZE. NEMA 1 ENCLOSURE, UNLESS OTHERWISE NOTED.

PANELBOARD. SEE SCHEDULE FOR MOUNTING. TOP OF PANEL AT 6'-6" AFF.

DOOR MOTOR CONTROL. MOUNT +48" AFF, CONTROLS SHALL BE UP, DOWN, AND STOP MOUNTED ON 4" SQUARE BOX (FLUSH BOX)

### FIRE ALARM

FACP FIRE ALARM CONTROL PANEL.

FIRE ALARM MANUAL STATION.

CEILING MOUNTED SMOKE DETECTOR. FA VENDOR PROVIDED.

CEILING MOUNTED HEAT DETECTOR.

ADA COMPLIANT WALL MOUNT FIRE ALARM HORN WITH STROBE LIGHT, 15CD UNLESS OTHERWISE NOTED. MATCH EXISTING FIXTURE FINISH.

### SECURITY

CARD READER, MINIMUM 1/2" CONDUIT. PROVIDE SINGLE GANG JUNCTION BOX AND PULL STRING. SEE CARD READER DETAIL FOR ADDITIONAL REQUIREMENTS OF PATHWAYS AND CABLING.

DOOR CONTACT, MINIMUM 1/2" CONDUIT. PROVIDE SINGLE GANG JUNCTION BOX AND PULL STRING. SEE CARD READER DETAIL FOR ADDITIONAL REQUIREMENTS OF PATHWAYS AND CABLING.

### LIGHTING (SEE FIXTURE SCH.)

FLUORESCENT LIGHTING FIXTURE. SEE FIXTURE SCHEDULE. SEE HIGH BAY FIXTURE MOUNTING DETAIL.

WALL MOUNTED LED LIGHTING FIXTURE.

FLUORESCENT OR LED FIXTURE WITH EMERGENCY BATTERY BALLAST OR DRIVER. PROVIDE 1100 LUMEN INVERTER RATED FOR 90 MINUTE OPERATION. SEE FIXTURE SCHEDULE FOR FIXTURE TYPE, EMERGENCY DEVICE SHALL SUPPLEMENT FIXTURE.

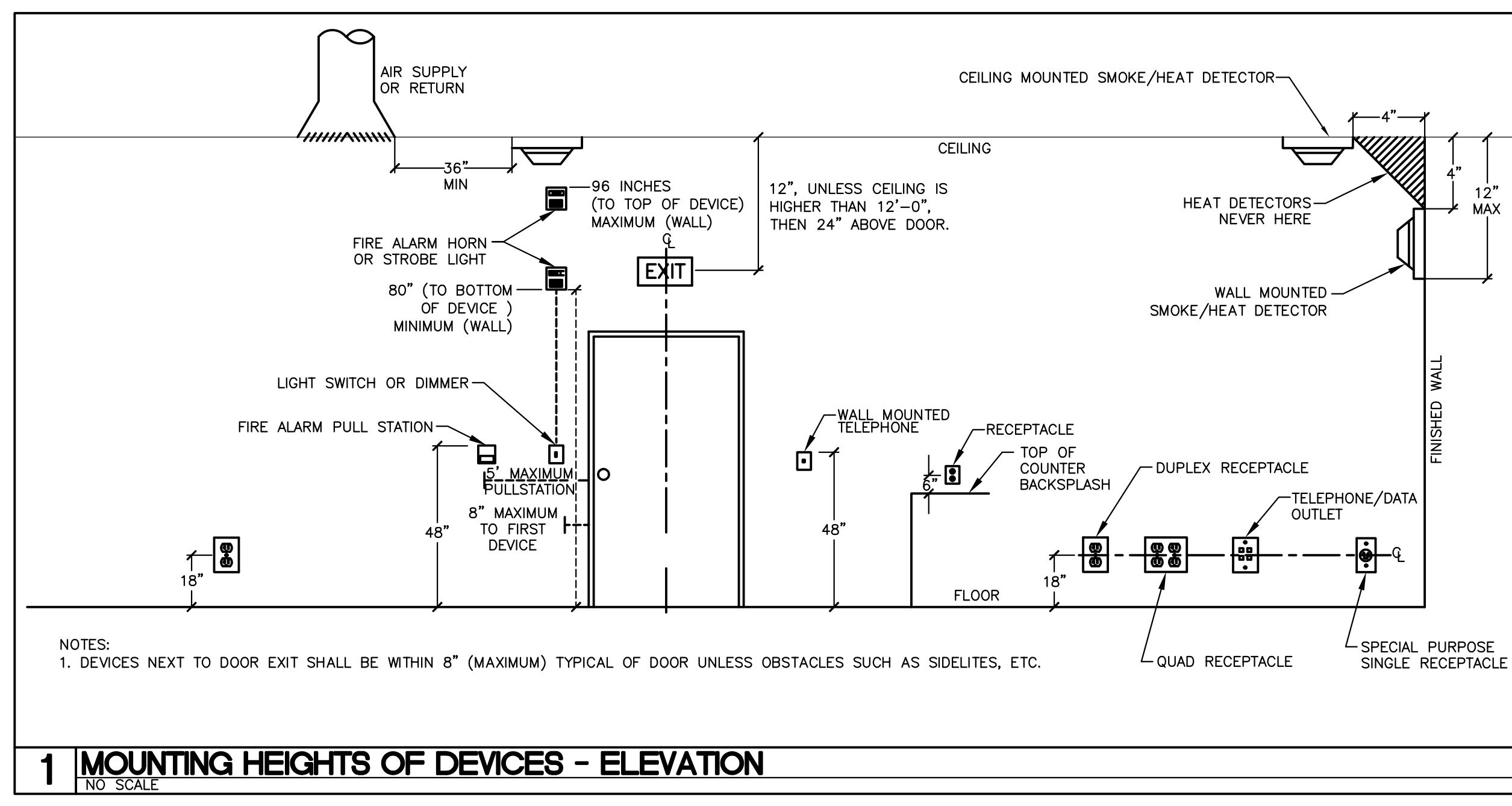
EMERGENCY BATTERY PACK/EXIT COMBO FIXTURE WITH 90 MINUTE BATTERY BACKUP, SEE FIXTURE SCHEDULE.

EXTERIOR EMERGENCY FIXTURE WITH EMERGENCY DRIVER. PROVIDE 1100 LUMEN INVERTER RATED FOR 90 MINUTE OPERATION. SEE FIXTURE SCHEDULE FOR FIXTURE TYPE, EMERGENCY DEVICE SHALL SUPPLEMENT FIXTURE.

S SINGLE POLE SWITCH, 20 AMP, 120/277 VOLT, COOPER AH 1221, OR EQUAL BY HUBBELL, LEVITON, AND PASS & SEYMOUR.

S<sub>3</sub> THREE WAY SWITCH, 20 AMP, 120/277 VOLT, COOPER 1223, THREE WAY SWITCH, 20 AMP, 120/277 VOLT, COOPER 1223, OR EQUAL BY HUBBELL, LEVITON, AND PASS & SEYMOUR.

CCIR FIXTURE MOUNTED OCCUPANCY SENSOR. INFRARED TECHNOLOGY. LEVITON OSFHU HIGH-BAY SENSOR, OR EQUAL.



**1 MOUNTING HEIGHTS OF DEVICES - ELEVATION**  
NO SCALE

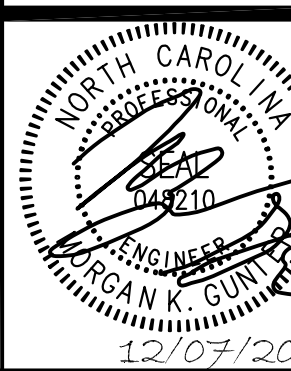
### ELECTRICAL SHEET INDEX

PLAN NUMBER	PLAN NAME
10.00	ELECTRICAL NOTES & LEGENDS
10.01	ELECTRICAL SPECIFICATIONS
10.02	WALL PENETRATION DETAILS
10.03	ELECTRICAL DETAILS
10.10	ELECTRICAL FLOOR PLAN – EXISTING & DEMOLITION
10.11	ELECTRICAL FLOOR PLAN – NEW WORK
10.12	ELECTRICAL ROOF PLAN
10.21	LIGHTING PLAN – NEW WORK
10.51	ELECTRICAL SCHEDULES & POWER RISER

### GENERAL NOTES

ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.

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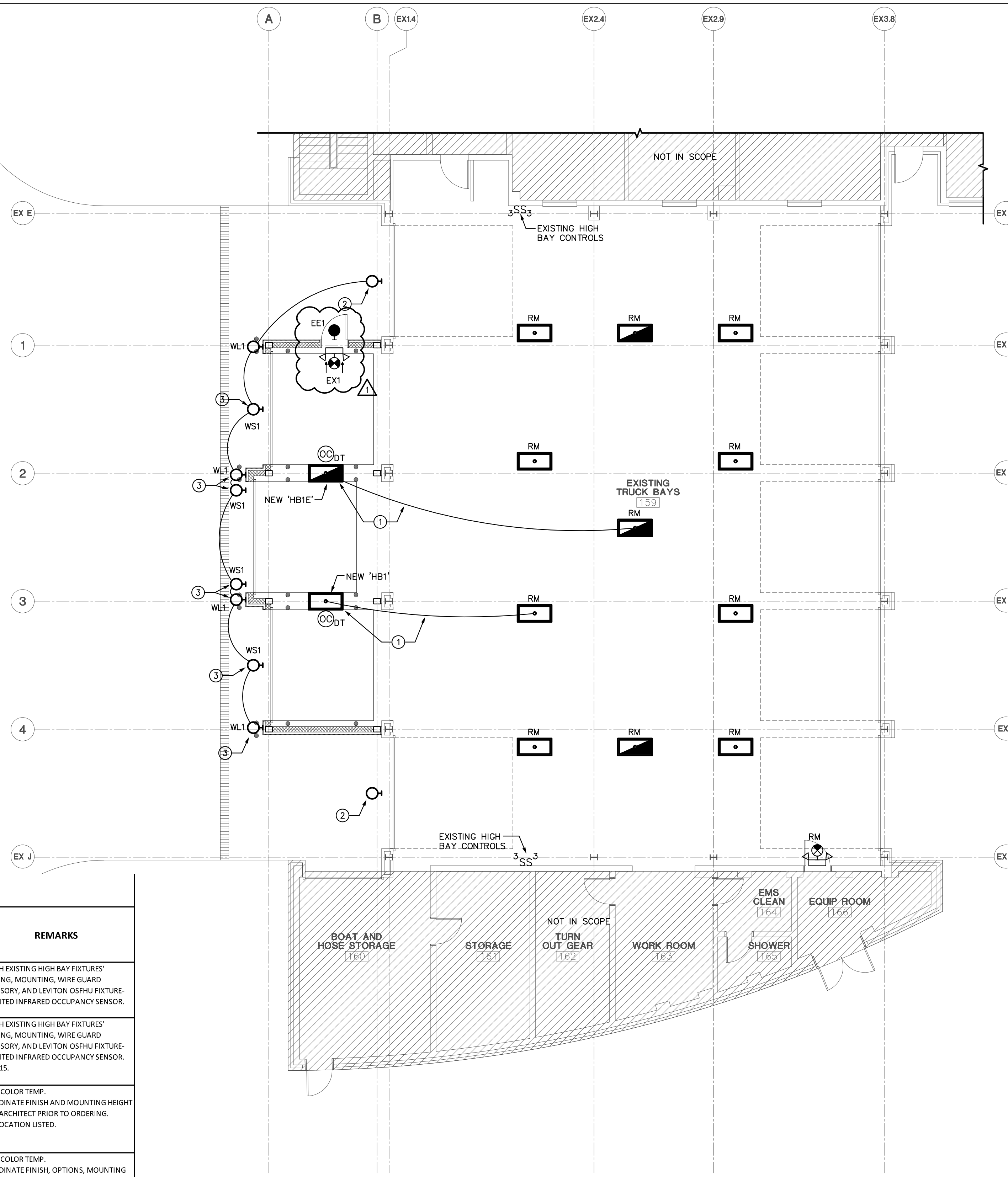


**GENERAL NOTES:**

- A. REFER TO DRAWING E0.01 FOR LEGEND, SYMBOLS AND GENERAL NOTES.
- B. REFER TO ARCHITECTURAL DRAWINGS, INCLUDING BUT NOT LIMITED TO, REFLECTED CEILING PLANS AND ELEVATIONS FOR ASSOCIATED NOTES, MOUNTING DETAILS AND EXACT LOCATIONS OF ALL LIGHTING FIXTURES.
- C. PROVIDE COMMON FACE PLATE AND REQUIRED METAL INTERIOR BOX BARRIERS FOR ALL MULTIPLE GANG SWITCH LOCATIONS.
- D. VOLTAGE DROP HAS BEEN CONSIDERED IN THE DESIGN OF ALL BRANCH CIRCUIT AND FEEDER SIZES BASED UPON THE ILLUSTRATED EQUIPMENT LAYOUTS AND SHORTEST CONDUCTOR/RACEWAY ROUTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEVIATIONS TAKEN THAT WILL INCREASE CONDUCTOR/RACEWAY ROUTING LENGTHS. BRANCH CIRCUITS LONGER THAN 75' FOR 120V AND 175' FOR 277V FROM PANEL TO LAST OUTLET SHALL BE INCREASED A MINIMUM OF ONE SIZE ABOVE THAT SPECIFIED TO LIMIT VOLTAGE DROP TO LESS THAN 3%.
- E. COORDINATE THE PLACEMENT OF ALL PENDENT, SURFACE, AND SEMI-FLUSH FIXTURES AND DEVICES WITH THE FIRE PROTECTION CONTRACTOR TO MAINTAIN NFPA 13 REQUIRED SEPARATION BETWEEN SPRINKLER HEADS AND OBSTRUCTIONS.
- F. LIGHTING BRANCH CIRCUITRY SHALL BE INSTALLED IN CONDUIT FROM THE PANELBOARD TO THE FIRST DEVICE AND/OR WHERE EXPOSED. FLEXIBLE CONDUIT WHIPS MAY BE USED IN LENGTHS NO GREATER THAN 6'-0". TYPE MC CABLE USED ABOVE ACCESSIBLE CEILINGS.
- G. CONTRACTOR SHALL MAKE SURE TO MAINTAIN CONTINUITY OF ELECTRICAL DEVICES THAT ARE OUTSIDE AREA OF WORK THAT ARE INTENDED TO REMAIN EMERGENCY.
- H. MAINTAIN CONTINUITY OF BRANCH CIRCUITRY ASSOCIATED WITH ALL EXISTING LIGHT FIXTURES TO REMAIN.

**KEYED NOTES:**

1. CONNECT NEW HI BAY FIXTURE TO EXISTING 277V-1Ø, 2ØA LOCAL LIGHTING CIRCUIT AND CONTROLS AS SHOWN. LOAD ON CIRCUIT SHALL NOT EXCEED 4.4KVA. COORDINATE MOUNTING HEIGHT AND LOCATION WITH STRUCTURE AND OTHER BUILDING ELEMENTS TO AVOID CLASHES. SEE DETAIL #2/10.03 FOR MOUNTING REQUIREMENTS.
2. EXISTING WALL SCONCE LIGHT FIXTURE REMOVED DURING DEMOLITION PHASE TO BE REINSTALLED ABOVE BAY DOOR AS SHOWN. SEE ARCHITECTURAL ELEVATION FOR MOUNTING HEIGHT. RECONNECT FIXTURE TO EXISTING 277V-1Ø, 2ØA EXTERIOR LIGHTING CIRCUIT AND CONTROLS PREVIOUSLY CONNECTED TO. EXTEND CIRCUITRY AS NECESSARY.
3. NEW WALL SCONCE LIGHT FIXTURE. COORDINATE MOUNTING LOCATION WITH ARCHITECTURAL ELEVATION. CONNECT FIXTURE TO EXISTING 277V-1Ø, 2ØA EXTERIOR LIGHTING CIRCUIT AND CONTROLS AS SHOWN. LOAD ON CIRCUIT SHALL NOT EXCEED 4.4KVA.



**1 LIGHTING PLAN - NEW WORK**  
 1/8" = 1'-0"

LIGHT FIXTURE SCHEDULE									
TYPE	DESCRIPTION	LAMP	# OF LAMPS	TOTAL FIXTURE WATTAGE	BALLAST/DRIVER	VOLTAGE	MANUFACTURER	MODEL	REMARKS
HB1	2X4 HIGH BAY	LED T5HO EQUIVALENT (26W MAX PER LAMP)	4	104W	N/A	UNIV	ON TIME LIGHTING	IB SERIES - MATCH EXISTING FIXTURES	MATCH EXISTING HIGH BAY FIXTURES' LAMPING, MOUNTING, WIRE GUARD ACCESSORY, AND LEVITON OSFHU FIXTURE-MOUNTED INFRARED OCCUPANCY SENSOR.
HB1E	2X4 HIGH BAY W/ EMERGENCY BATTERY PACK	LED T5HO EQUIVALENT (26W MAX PER LAMP)	4	104W	N/A	UNIV	ON TIME LIGHTING	IB SERIES - MATCH EXISTING FIXTURES	MATCH EXISTING HIGH BAY FIXTURES' LAMPING, MOUNTING, WIRE GUARD ACCESSORY, AND LEVITON OSFHU FIXTURE-MOUNTED INFRARED OCCUPANCY SENSOR. NOTE 15.
WL1	60" LINEAR WALL MOUNTED LED FIXTURE	LED	LED	22W	INTEGRAL LED DRIVER	UNIV	ALVA	TESSIE 60" _ 3500	3500K COLOR TEMP. COORDINATE FINISH AND MOUNTING HEIGHT WITH ARCHITECT PRIOR TO ORDERING. WET LOCATION LISTED.
WS1	STEM ARM WALL MOUNTED LED FIXTURE	LED	LED	35W	INTEGRAL LED DRIVER	UNIV	BASELITE ANP BEACON	FIXTURE: M712 CFWTM 3500K ARM & MOUNTING: E1 WITH SQ 3/4" MOUNT	3500K COLOR TEMP. COORDINATE FINISH, OPTIONS, MOUNTING ARM & HEIGHT WITH ARCHITECT PRIOR TO ORDERING. WET LOCATION LISTED.
EE1	EMERGENCY WALLPACK	LED	LED	12W	ELECTRONIC	UNIV	LITHONIA EMERGI-LITE MULE CHLORIDE	AFF OEL UVOLT LTP SDRT FCT CW LUX SD EMLED SERIES PATRON SERIES	90 MINUTE NI CAD BATTERY. UL LISTED FOR COLD, WET LOCATIONS. SELF DIAGNOSTIC. FORWARD THROW. NORMALLY OFF EMERG ON. TEST AND RECHARGE DAILY.
EX1	EMERGENCY BATTERY EGRESS LIGHT AND EXIT COMBO	LED	2	5W	INTEGRAL LED DRIVER	UNIV	MATCH EXISTING	MATCH EXISTING AND TYPE OF PLACING EQUIPMENT IN PLAN	TEST AND RECHARGE DAILY. SEALED 90 MINUTE BATTERY.

- LIGHTING FIXTURE SCHEDULE NOTES:**
1. LAMPS ARE BASED ON OSRAM/SILVANIA UNLESS OTHERWISE NOTED. ALL FLUORESCENT LAMPS SHALL MATCH EXISTING. ALL FLUORESCENT BALLASTS SHALL BE ELECTRONIC AS SPECIFIED. SUBMITTAL SHEETS SHALL BE SUBMITTED WITH FIXTURE SUBMITTALS. FLUORESCENT LAMP AND BALLAST OR DRIVER/DIODE BOARD WARRANTY SHALL BE COMPLETED BY CONTRACTOR AND TURNED OVER TO OWNER AT END OF PROJECT.
  2. LED DRIVERS SHALL BE PROVIDED FROM PER MANUFACTURER RECOMMENDATION. AS PART OF THIS RECOMMENDATION COORDINATE THE REQUIRED WAVE OUTPUT SO THEY ARE COMPATIBLE. THIS INCLUDES EMERGENCY DRIVERS.
  3. SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT FIXTURE LOCATIONS.
  4. ALL ELECTRONIC BALLASTS FOR T5 (5/8" DIAMETER) LAMPS AND BELOW SHALL HAVE END OF LIFE SHUTDOWN PROTECTION.
  5. PROVIDE LOW-TEMP (0 degrees F MINIMUM) BALLAST(S)/DRIVER(S) FOR ALL FIXTURES INSTALLED IN EXTERIOR LOCATIONS OR OTHER AREAS SUBJECT TO COLD WEATHER.
  6. FIXTURES WITH EMERGENCY BATTERY PACKS SHALL BE SUPPLIED WITH 1100 LUMEN INVERTERS.
  7. PROVIDE INTEGRAL SURGE PROTECTION ON ALL EXTERIOR LED DRIVER FIXTURE TYPES.
  8. FLUORESCENT LUMINAIRES THAT UTILIZE DOUBLE ENDED LAMPS AND CONTAIN BALLAST(S) THAT CAN BE SERVICED IN A PLACE SHALL HAVE A DISCONNECTING MEANS EITHER INTERNAL OR EXTERNAL TO EACH LUMINAIRE PER NEC 410.130.G
  9. THE CONTRACTOR SHALL VERIFY THE LEAD TIME OF ALL PRODUCTS SPECIFIED IN THIS SCHEDULE AT THE TIME OF PACKAGE QUOTE.
  10. DURING THE BID PROCESS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY DELIVERY SCHEDULING ISSUES.
  11. NO SUBSTITUTIONS WILL BE ALLOWED DUE TO LACK OF COORDINATION OF DELIVERY DATES AND CONSTRUCTION SCHEDULE AFTER BID.
  12. ALL EXPEDITED EXPENSES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  13. BALLAST BY ADVANCE, GE OR UNIVERSAL TRIAD ARE ACCEPTABLE FOR SUBMITTAL PROVIDED THEY MEET INTENDED CRITERIA AS LISTED IN THIS SCHEDULE.
  14. LED DRIVERS LOCATED IN UNCONDITIONED SPACES SHALL BE RATED FOR 90 DEGREES F.
  15. PROVIDE 90 MINUTE EMERGENCY BATTERY BACK UP. EMERGENCY BACK UP SHALL BE BASED ON TYPE OF FIXTURE, LED DRIVER, BALLAST, ETC. EMERGENCY BACKUP SHALL BE DUAL INPUT FOR BOTH SWITCHING AND CHARGING. PROVIDE UNSWITCHED "HOT" FROM LOCAL CIRCUIT UNLESS OTHERWISE INDICATED ON PLANS. PROVIDE WITH INDICATOR LIGHT. INSTALL LED INDICATOR ON LIGHT FIXTURE. BODINE, PHILLIPS, POWER SENTRY OR EQUAL.

**GENERAL NOTES**

ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES. THE REQUIREMENTS OF THE DRAWINGS, GENERAL REQUIREMENTS AND ALL ITEMS OF THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS AND TRADES. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS AND TRADES.

WHENEVER THERE ARE DISCREPANCIES BETWEEN DRAWINGS, OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR CONFLICTS WITHIN THE SPECIFICATIONS AND/OR DRAWINGS, AND SUCH DISCREPANCY IS NOT CALLED TO THE ARCHITECT'S ATTENTION IN TIME TO PERMIT CLARIFICATION BY ADDENDUM, THE CONTRACTOR SHALL BASE HIS BID UPON PROVIDING THE BETTER QUALITY OR GREATER WORK OR MATERIAL CALLED FOR, SHALL SUBMIT A WRITTEN STATEMENT WITH HIS PROPOSAL NOTING SUCH DISCREPANCIES, AND SHALL SO FURNISH AND INSTALL SUCH BETTER QUALITY OR GREATER QUANTITY UNLESS OTHERWISE ORDERED IN WRITING.