



ADDENDUM NO. 2

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| Client / Facility: City of Greenville | TEG Project No.: 20200132 |
| Project Name: Convention Center Replacement of EPDM Roofs | Client Project No.: n/a |
| Addendum Date: February 5, 2021 | For Bids Due On: 2-16-2021 |

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This Addendum has become a part of the drawings and specifications for the above project.

Minutes of the Pre-Bid Conference, and associated clarifications and additions, are as follows and are hereby made a part of this Addendum:

Pre-Bid Conference

| | |
|--|----------------------------------|
| Client / Facility: City of Greenville | TEG Project No.: 20200132 |
| Project Name: Convention Center - Replacement of EPDM Roofs | Client Project No.: |
| Meeting Location: Hilton | Meeting Date: 2-2-21 |

| | |
|----------------------------|--------------------|
| Purpose of Meeting: | Pre-Bid Conference |
|----------------------------|--------------------|

Attendees

| Name | Company | Email Address |
|---------------|-----------------------------|--|
| Ross Peterson | City of Greenville | RPeterson@greenvillenc.gov |
| Brady Knowles | Owens Roofing, Inc. | brady@owensroofinginc.com bert@owensroofinginc.com |
| Juan Rios | Curtis Construction | estimating@curtiscc.com |
| Mark Stewart | Hamlin Roofing Co | stewart@hamlincos.com |
| Hunter Steed | Wayne Roofing & Sheet Metal | hlswaynerroofing@yahoo.com |
| Taft Mowtin | Baker Roofing Company | tmartin@bakerroofing.com |
| Jake Bowman | Muter Construction | JBowman@muterconstruction.com |
| David Newberg | AARNC | DavidN@aarnc.com |
| Jason Darrah | BAR Roofing | JDARRAN9@yahoo.com |
| Paul Tyndall | Service Roofing | PTyndall@servicerroofing.com |

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|-----------------|----------------------------|--------------------------------|
| Joe Holland | Service Roofing | JHolland@servicerroofing.com |
| Jimmy Sturm | Premier Building Products | jimmy@premierbldgproducts.com |
| Brad Shaltz | Triangle Roofing | Brad@Triangleroof.com |
| Jim McClure | McClure Metals Specialties | jameshayesmclure@earthlink.net |
| Richard Johnson | The East Group | Richard.johnson@eastgroup.com |

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Requirements for Bid:

1. All contractors must be properly licensed under the State Laws governing their respective trades.
2. All contractors are advised that the Owner has a minority and women participation policy for construction projects. Refer to the specifications for a detailed description of this policy.
3. Each proposal shall be accompanied by a cash deposit or a certified check drawn on some bank or trust company insured by the Federal Deposit Insurance Corporation, of an amount equal to not less than 5 percent of the proposal. In lieu thereof a bidder may offer a bid bond of 5 percent of the bid executed by a surety company licensed under the Laws of North Carolina to execute such bond conditioned that the surety will upon demand forthwith make payment to the obligee upon said bond if the bidder fails to execute the contract in accordance with the bid bond, and upon failure to forthwith make payment, the surety shall pay to the obligee an amount equal to double the amount of said bond. Said deposits shall be retained by the Owner as liquidated damages in event of failure of the successful bidder to execute the contract within ten days after the award or to give satisfactory surety as required by law.
4. A Performance and Payment Bond will be required for one hundred percent (100%) of the contract price.
5. A contractor Reference Form, listing 3 client references of similar work is required.
6. For approval of alternate products and systems - adhere to the procedure described in section 00231 – Product Substitutions During Bid
7. The period for non withdrawal of bids is 60 consecutive calendar days.

Minority and Women Business Enterprise Plan Special Provisions

1. Each Bidder must comply with the City of Greenville’s Minority and Women Business Enterprise Plan – see the specifications for the requirements.
2. The bidder must provide the completed required MBE-WBE forms with their bid.
3. Please contact Denisha Harris at dharris@greenvillenc.gov 252-329-4862 for a list of minority contractors/ businesses.
4. DOT list of minority contractors will be acceptable. Visit the following link for a list www.doa.nc.gov/hub.

General On Site Conditions

1. The Greenville Convention Center is currently being fully utilized for the provision of Covid 19 vaccinations. It is anticipated that this activity will continue for a few months.
 - a. All Contractor activity shall be conducted in a way that does not disrupt this on-going vaccination effort.

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- b. After bids are opened, and an apparent low bidder has been determined, detailed planning will be undertaken by the Owner and the apparent low bidder. An agreed upon written plan to address job site safety and the particular needs of the Vaccination program will be generated from this planning process and will be included in the contract documents. For purposes of bidding, the following can be assumed:
 - i. Materials shall be staged for construction on the roof and shall be dispersed so that the weight of materials and equipment does not exceed the allowable roof live load of 20 lbs/sf.
 - ii. The Contractor/contractor’s personnel will be provided with reasonable use of portions of the site adjacent to the Southern side of the building for staging and roof access.
 - iii. Contractor/contractor’s personnel will not be able to use existing internal roof access.
 - iv. Contractor/contractor’s personnel will not have access to interior of the existing building.
 - v. Contractor shall provide portable toilet and hand wash facilities in a location near the building approved by the owner.
- 2. Contractor/contractor’s personnel will not be able to use existing electrical power and should provide for all construction power needs by the use of portable generators located by the contractor on the roof at a sufficient distance from existing roof top HVAC equipment so as not to allow associated exhaust to enter building.
- 3. Contractor/contractor’s personnel cannot close any of the surrounding streets at any time.
- 4. Hours during which work shall be accomplished are 7:00 am to 5:00 pm Monday thru Friday.
- 5. Work at other times will require Owner approval in writing.
- 6. All existing concrete or asphalt pavement shall be repaired as necessary to return to current condition at the end of the project.
- 7. All damaged landscaping shall be replaced with landscaping of matching type and size of what was damaged.
- 8. No smoking, alcohol, or firearms will be allowed for construction related personnel on the project site.

Sealed bids will be received by The City of Greenville up until 4:00 pm February 16, 2021 at the reception counter of the City of Greenville Public Works Facility, 1500 Beatty Street, Greenville, NC 27834

Site Visits: All site visits shall be by appointment only and all persons visiting site shall be accompanied by an Owner’s designated representative at all times.

The following times are available for site visits:

- 1. February 2, 2021, Immediately after the Pre-Bid meeting.
- 2. February 9, 2021, By appointment –
 - a. contact Owner’s designated representative - Ross Peterson, at RPeterson@greenvillenc.gov or use (252) 916-0798 if needed

Project Review

Without force and effect upon the work defined and required by the project manual and drawings, the work includes the installation of additional rigid insulation, cover board, and single ply membrane

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roofing over the existing EPDM roofing areas. The work will include new coping, gutters, downspouts, and misc. flashing and accessories as shown or specified.

A. A 20 year roofing system warranty is required.

a. Warranty shall not exclude peak wind gusts up to 72 mph.

Alternates:

Alternate No.1 - Provide an additional 1.5” layer of polyisocyanurate insulation to the roof assembly as indicated on the drawings.

Alternate No. 2 – Provide new 60 mil fully adhered white TPO membrane as manufactured by Firestone or Carlisle in lieu of Fibertite (KEE) membrane indicated in base bid.

Alternate No. 3 – is hereby removed from the project.

Allowances:

Contractors shall include the replacement of 200 sf of existing 2 layers of 1.5” rigid polyisocyanurate insulation in their base bids.

Existing Gas Lines, HVAC units, condensate lines and electrical outlets:

1. The Owner will remove existing gas lines prior to start of work on this project and reinstall these gas lines after completion of the work of this project. Adjustment of gas valves and misc changes in routing made necessary by reduction in existing clearance associated by this re-roofing will be made by owner.
2. Owner will raise or eliminate existing electrical outlets in the face of HVAC curbs as needed to achieve required clearances.
3. Existing rooftop HVAC units will remain in place during the work of this project.
 - a. Existing flashing at top of HVAC curbs will remain.
 - b. Existing membrane on vertical sides of HVAC curbs will be replaced with new membrane as work of this project.
4. Removal of the existing condensate lines is work of this contract. The owner will install new condensate lines to the existing HVAC units after completion of work of this project.

Timeline:

1. The duration of the project is 90 consecutive calendar days after which liquidated damages will apply in the amount of \$300 per calendar day until project achieves substantial completion.
2. The timeline is subject to adjustment during the pre-award detailed planning process between the apparent low bidder and the owner described above.

Existing Testing:

- a. Fastener pullout tests were conducted on three areas of the existing roof. Average pullout force was 1,000 lbs.
- b. Contractors shall still conduct pull out tests in accordance with specification section 07534-3.1-G.

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Permit Fees:

1.NOTE: The City of Greenville will waive the permit fees on this project. The contractor is still required to obtain a permit from the City of Greenville for all work.

All questions and concerns:

5. All questions or concerns, excepting ones related to owner’s MBE/WBE Plan and requirements, must be submitted prior to 5:00pm on 2-12-21. Such questions shall be submitted by email using the 00215 Document Clarification Request (DCR) form included in the project manual.
6. If a question is answered on site by either the owner or architect, it must be followed up in writing using the attached DCR form. Please submit all questions, excepting ones related to owner’s MBE/WBE Plan and requirements, to: Richard Johnson of the East Group, via email at richard.johnson@eastgroup.com.

Clarifications and additions

1. Warranty - In addition to the MRM 20 year warranty, a Roofing Installer's warranty including all components of the roofing system is required for a period of 5 years from date of substantial completion. See attached warranty form
2. Cover board shall be glass-mat, water-resistant gypsum board, or ASTM C1278/C1278M fiber-reinforced gypsum board per 07534 -2.4- D
3. Rigid insulation and Coverboard shall be mechanically attached.
4. Drawing A3.1 – General notes do not apply to work of this project. See attached sheet A3.1
5. Specifications – 07534 – 2.4 – C - Rigid insulation shall be grade 2 with a minimum compression strength of 20 psi.
6. The Basis of design for Coping system is “Permatite Gold” system by “Metal Era” fabricated from .050 aluminum with 2 coat Fluoropolymer Finish.
7. The roofing system elements shall be designed for the following minimum uplift pressures, which already include a safety factor:
 - a. Roof field and perimeter zone 90 psf
 - b. Roof corners 120 psf
 - c. Metal perimeter and corners 120 psf
 - i. Roof system submittals shall include confirmation that all elements of the system comply with these uplift design pressures and shall graphically indicate fastener patterns and spacing.
8. The scope of this project is limited to areas where EPDM roof membrane is existing. Roof areas with existing TPO membrane are not included in this project.
9. Specification Division 7 - Section 1.6 - B.5:
 - a. The requirement to “Maintain full-time supervisor/foreman, not workman/foreman ...” is intended to provide the quality enhancement derived from an experienced person whose job is to continually supervise and inspect the work of the other craftsmen installing the roofing system, and whose attention is not divided from this full time need by engaging in providing installation labor.
10. Subject to meeting the design uplift pressures indicated above, the TPO membrane for alternate 2 can be adhered with the MRM’s standard bonding adhesive.

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ROOFING INSTALLER'S WARRANTY

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a. WHEREAS _____ of _____, herein called the "Roofing Installer," has performed roofing and associated work ("work") on the following project:

- i. Owner: The City of Greenville, NC
- ii. Address: 200 W Fifth Street, Greenville, NC
- iii. Building Name Greenville Convention Center
- iv. Address: 1 Exposition Dr. Greenville, NC
- v. Substantial Completion _____
- vi. Warranty Period: 5 Years from date of Substantial Completion.
- vii. Expiration Date: _____

b. AND WHEREAS Roofing Installer has contracted to warrant said work against leaks and faulty or defective workmanship for designated Warranty Period,

c. NOW THEREFORE Roofing Installer hereby warrants, subject to terms and conditions herein set forth, that during Warranty Period he will, at his own cost and expense, make or cause to be made such repairs to or replacements of said work as are necessary to correct faulty and defective work and as are necessary to maintain said work in a watertight condition.

d. This Warranty is made subject to the following terms and conditions:

i. Specifically excluded from this Warranty are damages to work and other parts of the building, and to building contents, caused by:

- 1. lightning;
- 2. peak gust wind speed exceeding 72 mph;
- 3. fire
- 4. failure of roofing system substrate, including cracking, settlement, excessive deflection, deterioration, and decomposition;
- 5. faulty construction of parapet walls, copings, chimneys, skylights, vents, equipment supports, and other edge conditions and penetrations of the work;
- 6. vapor condensation on bottom of roofing; and
- 7. activity on roofing by others, including construction contractors, maintenance personnel, other persons, and animals, whether authorized or unauthorized by Owner.

ii. When work has been damaged by any of foregoing causes, Warranty shall be null and void until such damage has been repaired by Roofing Installer and until cost and expense thereof have been paid by Owner or by another responsible party so designated.

iii. Roofing Installer is responsible for damage to work covered by this Warranty but is not liable for consequential damages to building or building contents resulting from leaks or faults or defects of work.

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iv. During Warranty Period, if Owner allows alteration of work by anyone other than Roofing Installer, including cutting, patching, and maintenance in connection with penetrations, attachment of other work, and positioning of anything on roof, this Warranty shall become null and void on date of said alterations, but only to the extent said alterations

affect work covered by this Warranty. If Owner engages Roofing Installer to perform said alterations, Warranty shall not become null and void unless Roofing Installer, before starting said work, shall have notified Owner in writing, showing reasonable cause for claim, that said alterations would likely damage or deteriorate work, thereby reasonably justifying a limitation or termination of this Warranty.

v. During Warranty Period, if original use of roof is changed and it becomes used for, but was not originally specified for, a promenade, work deck, spray-cooled surface, flooded basin, or other use or service more severe than originally specified, this Warranty shall become null and void on date of said change, but only to the extent said change affects work covered by this Warranty.

vi. Owner shall promptly notify Roofing Installer of observed, known, or suspected leaks, defects, or deterioration and shall afford reasonable opportunity for Roofing Installer to inspect work and to examine evidence of such leaks, defects, or deterioration.

vii. This Warranty is recognized to be the only warranty of Roofing Installer on said work and shall not operate to restrict or cut off Owner from other remedies and resources lawfully available to Owner in cases of roofing failure. Specifically, this Warranty shall not operate to relieve Roofing Installer of responsibility for performance of original work according to requirements of the Contract Documents, regardless of whether Contract was a contract directly with Owner or a subcontract with Owner's General Contractor.

b. IN WITNESS THEREOF, this instrument has been duly executed
 this _____ day of _____,
 _____.

- i. Authorized Signature: _____.
- ii. Name: _____.
- iii. Title: _____.

2.

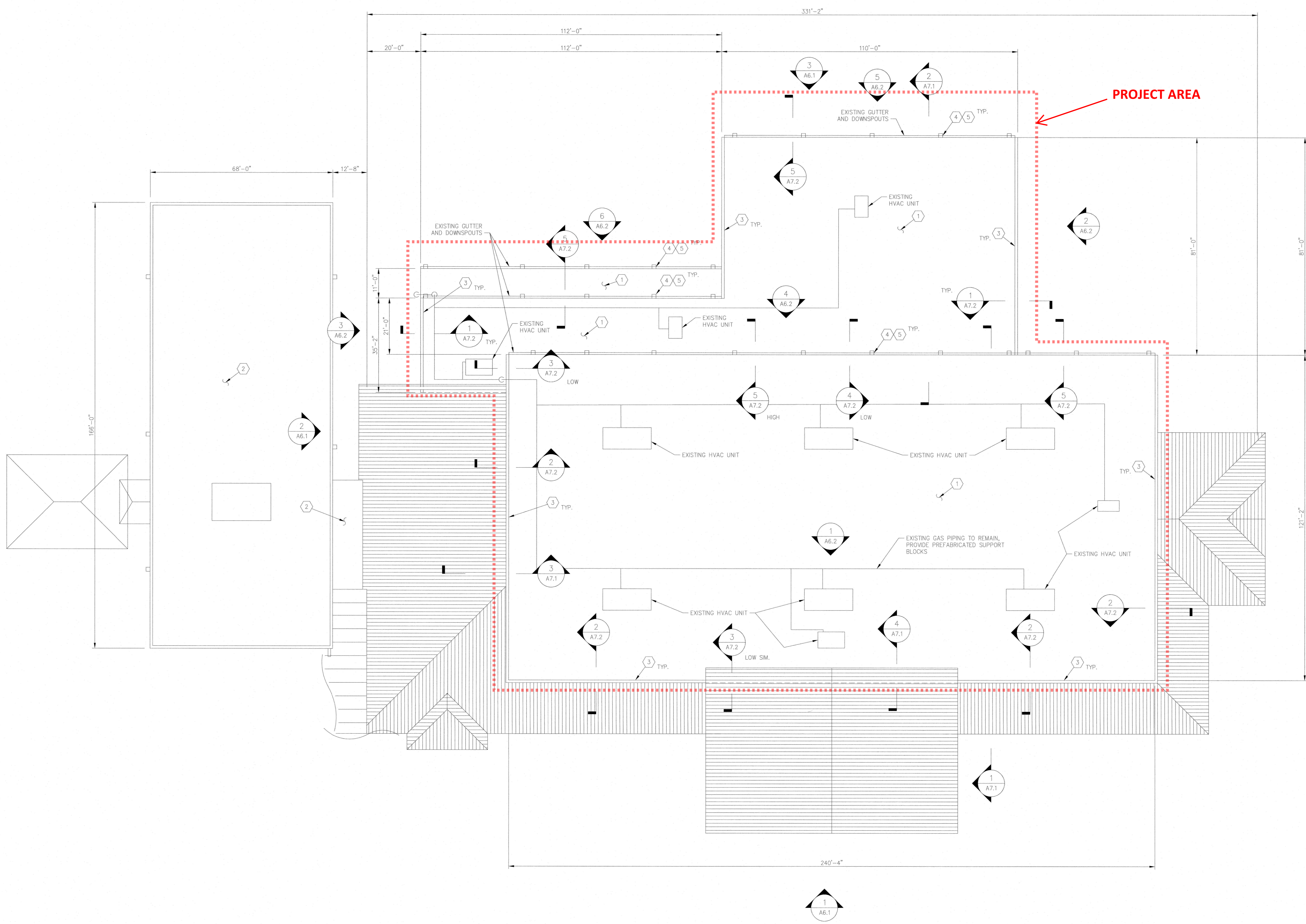
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1 ROOF PLAN
1/16" = 1'-0"

- General Notes**
- MINIMUM THICKNESS OF INSULATING BOARD AT ROOF DRAINS SHALL BE 5".
 - ROOF DRAINS - UNDERSIDES TO BE SPRAY-FIREPROOFED (1 HR PROTECTION MIN.). SEE PLUMBING DINGS FOR DETAILS.
 - OVERFLOW ROOF DRAIN TO BE 2" ABOVE PRIMARY ROOF DRAIN.
 - ALL ROOFS SHALL SLOPE TO DRAIN AT 1/4" PER FOOT, MINIMUM.
 - SEE ELECTRICAL DRAWINGS FOR LIGHTNING PROTECTION.

- Keyed Notes**
- NEW FULLY ADHERED SINGLE PLY MEMBRANE ROOFING ASSEMBLY OVER EXISTING EDPM ROOFING ASSEMBLY - SEE DETAILS
 - EXISTING TPO ROOF MEMBRANE TO REMAIN.
 - NEW TWO PIECE PRE-FINISHED METAL COPING ASSEMBLY.
 - NEW 9"x9" CONTINUOUS GUTTER AND 5"x5" DOWNSPOUTS
 - PROVIDE SPLASH BLOCKS AT EVERY ROOF DISCHARGE DOWNSPOUT-TYPICAL.

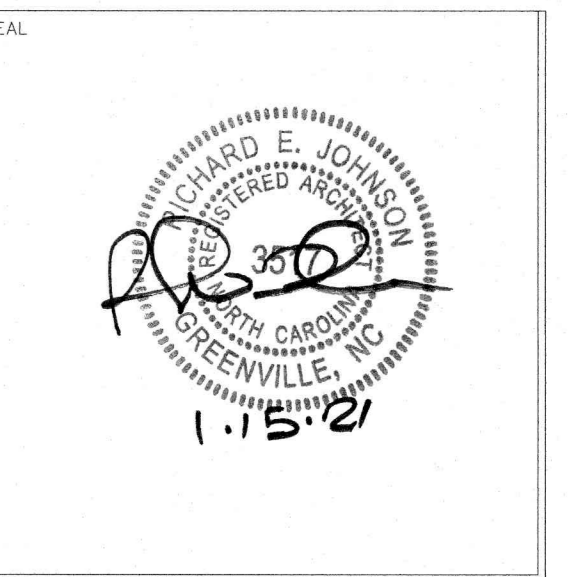
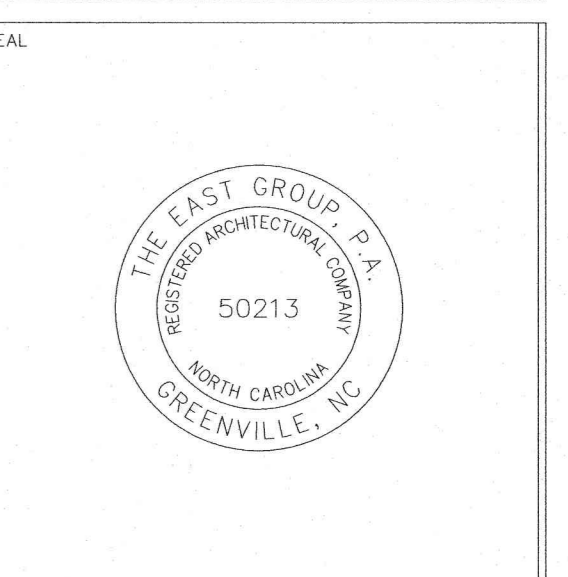
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| 0 | 1/15/21 | ISSUED FOR CONSTRUCTION | MSW | | |

REG PROJECT NO. 20200132

CLIENT PROJECT NO. -----

PROJECT TITLE
 CITY OF GREENVILLE
 CONVENTION CENTER
 REPLACEMENT OF
 EPDM ROOFS

DRAWING TITLE
ROOF PLAN

DRAWING NO.
A3.1