



**ADDENDUM NO. 1**

July 16, 2021

**THE CITY OF GREENVILLE, NC  
NEW FIRE / RESCUE STATION NO. 7  
4176 BAYSWATER ROAD, WINTERVILLE, NC 28590  
ARCHITECTS PROJECT NO. 1658**

Each Contractor shall be responsible for each item of the Addendum as stated herein and shall coordinate each item with his particular portion of work. Each Contractor shall coordinate with all other Contractors for satisfactory completion of each item of the addendum and the total project. The Prime Contractor shall be responsible for seeing that his subcontractors/material suppliers are properly apprised of the contents of this Clarification. The following clarifications, amendments, additions, deletions, revisions, and/or modification are hereby made a part of the Contract Documents, and change the original documents only in the manner and to the extent stated herein.

**GENERAL NOTES**

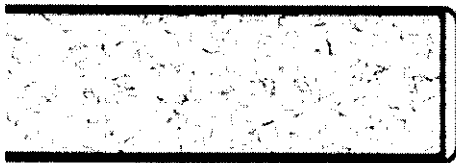
1. **REMINDER - BID OPENING – 2:00 pm on THURSDAY July 22, 2021\*\*\***, sealed proposals will be received for the Owner, The City of Greenville NC, by Stewart-Cooper-Newell-Architects, P.A., at **City of Greenville Fire / Rescue Station 1, 500 S. Greene St, Greenville, NC 27834**, until **2:00 pm on Thursday, July 22, 2021**, at which time they will be publicly opened and read.
2. Please find attached Pre-Bid Attendees Sign-in Sheets held on July 08, 2021.
3. **REMEMBER** to provide all documents including MBE documents required with the bid, see Bid Instructions.
4. City of Greenville NC will pay or waive the building permit, water and sewer tap, water and sewer impact fees for the project. General Contractors will have to apply for each and should include any monies in their base bid for all other fees associated with the project.
5. General Contractor is required to make a site visit prior to bidding project.
6. **\*\*IMPORTANT\*\*** - Must use updated bid form included in this addendum.

**BID QUESTIONS:**

Answers in RED.

1. On the FP drawings, Hazen and Sawyer has a waterflow test. The address for this test is near Hillsborough, NC. Which is around 100 miles from the project. Is there a correct waterflow test? Yes, see updated information below in plumbing section.
2. Spec section 074213, paragraph 2.3.3 calls for the material to be .040". This is approximately 20 gauge. The information on Sheet 5.10 calls for 24 gauge wall panels. Please clarify. Use the 24 gage sheet metal specs for drawing 5.10.
3. Polished Concrete Floor (PCF) spec. There is nothing in the spec for the concrete sealer to be used. Please advise.  
There is NO polished concrete on the project. Any concrete labeled "PCF" noted on the 7.10 sheet will be replaced with "SC" sealed concrete. See ABD-6

4. Section 123216 is titled Manufactured Plastic Laminate Faced Casework but the basis of design and the details on drawing 7.22 appear to call for wood veneer casework (not PLAM casework). Please confirm whether laminate casework is required or if wood casework is required. We can provide either but wood casework will be more expensive than PLAM. **Wood Casework all throughout.**
5. Section 123216, Part 2.2.A calls for Custom grade cabinets but Part 2.6 calls for plywood cabinet substrate virtually throughout. Industrial grade particleboard core is the standard for several of the casework manufacturers listed in Part 2.1. Will industrial grade particleboard cabinets that meet or exceed AWI Custom grade requirements be acceptable? **Industrial grade particle board countertop substrate that meets AWI is acceptable.**
6. Section 123216, Part 2.3.A.1 calls for flush overlay style cabinets but Part 2.7.B calls for 5-knuckle hinges which typically requires some reveal to allow functional space for the hinges. Please confirm whether 5-knuckle hinges with a small reveal is required or if concealed hinges with a true full/flush overlay style is required. **5-knuckle SS hinge all throughout, see specs in sheet 7.20, item #3.**
7. A laminate bullnose front edge on a laminate countertop as shown in 10 & 11/7.22 is a labor intensive process (higher cost) and is still subject to separation from the substrate like self-edge laminate. It yields a less durable edging than a machine applied PVC with eased edges. With matching PVC (matching the laminate) on a 1.25" thick solid core substrate (no built-up substrate required to achieve the 1.25" thickness), the look will be very similar to that of the bullnose (see detail below). Will a machine applied matching PVC edging be acceptable? **No, it should be bullnose, we have used this in the past 10 years and it did not delaminate from the substrate, see below 2nd image.**



8. Elevations 5 & 7/7.21 references a "CTR-1" detail. Where can detail CTR-1 be found? CTR-1 is not a detail, it's a finish tag that can be found in 7.10 as noted in the General Note #1 (upper left corner of sheet 7.21). Or is 8 & 9/7.21 the CTR-1 details? That is the enlarge counter edge detail and CTR-1 is a finish tag that refers to sheet 7.10.
9. Please confirm that Section 123616 Metal Countertops applies to CTR-1 countertops. CTR-1 is tagged on 7.10 as #4 satin finished Stainless steel countertop – Specs match the finish requirement. Section 123616 Metal Countertops-SS should apply to CTR-1.
10. Elevations 3 & 4/7.23 references a "CTR-2" detail. Where can detail CTR-2 be found? CTR-2 is not a detail, it's a finish tag that can be found in 7.10 as noted in the General Note #1 (lower right corner of sheet 7.23).
11. Where are quartz tops required? For all toilet vanity countertop. The drawings do not identify these. It was identified as CTR-2 (see item #7 above) and the material specs can be found in sheet 7.10.
12. Is there a specification for the butcher block countertop material other than the notes shown in details 12 & 13/7.22? **No specification, only details #12 & 13/7.22**

13. Please clarify which slab areas will receive the concrete additive, Barrier One.... Spec Section 033000, Page 5, Paragraph 2.7-C calls for ALL slabs. *Remove concrete additive MVRA (ie Barrier One, etc) from all concrete for base bid. See alternate item "C" added in this addendum.*
14. Spec Section 033000, Page 5, Paragraph 2.8-A....Fiber Reinforcement. Please clarify if this is an option over wire mesh, and if so, I assume it would be for the 4" slabs/slab on metal deck only?  
*Welded wire fabric must be provided in 4" concrete slabs and slabs on metal deck. Fiber reinforcement is not acceptable.*
15. Turn Out Gear Lockers..... Owner Furnished/GC Installed?..... Notes on plans are conflicting. Plan Sheet 4.11 states "Owner Furn/GC Installed".... Wall Section 2/5.21 states "Lockers by GC."  
*Turn out gear lockers provided by owner and installed by GC.*
16. Are Card Readers furnished/installed by GC, or will these be part of the Security Allowance?.....Refer to the Door Schedule which states that "Card Readers must be coordinated with the Security Consultant". *Card readers furnished and installed by GC as part of the Security Allowance*
17. Section 075423, paragraph 1.5.B.1 calls for sealed engineering calculations for the roof system. Typically the roof system is installed in accordance with the performance specification, in this case FM 1A-90. Given the size of this addition, please consider waiving this requirement.  
*We will waive the sealed engineering calculation requirement.*
18. Paragraph 2.3.B calls for Polyisocyanurate Insulation. The drawings indicate XPS with taped joints and "closure strips" and a ¼" DensDeck Cover Board. (No thermal barrier is shown). Please confirm the insulation assembly.  
*XPS with taped joints and "closure strips" and a ¼" DensDeck Cover Board Insulation assembly on drawing 4.30 is correct. No additional thermal barrier is required*
19. Ref. Sheet 8.10.... The Oil-Water separator is noted as 500 gallons....Schedule on Sheet 8.02 notes this as 250 gallons. Please clarify.  
*Revised schedule to match floor plans. Separator to be Striem model OT-500-ss, 560 gallon liquid capacity*
20. Ref. Room 128-Decon Toilet/Shower..... Are the Half Lockers located in this Room to be Furnished by Owner? *Half lockers By Owner*
21. Are the tv and mounting bracket to be Furnished by Owner? *TV and any TV mounting bracket supplied By Owner*

**SPECIFICATIONS:**

1. Bid Form (Single Prime Contract) – reissuing all (5) bid form pages. MUST use this new bid form.  
Updated Contingency Site Allowance from \$100,000 to \$150,000.  
Updated Plymovent Allowance from \$70,000 to \$80,000.  
Updated IT & Communication Allowance from \$30,000 to \$50,000  
Added Alternate C – See Alternate Spec 012300 and Bid Form.  
Removed the TOTAL GENERAL CONSTRUCTION BID after the Alternate Section.  
Added place to identify selected Site Contractor information on page 4.

2. Added AIA Document A305-2020 – Contractor’s Qualifications Statement to the bid requirements. Provide Exhibit A- E
3. Include Resume & Experience for selected Project Manager and Superintendent with bid.
4. The Bid Package shall include:
  - Bid Form Pages .....BF/SPC-1-5
  - City of Greenville/Greenville Utilities Commission Minority and Women Business Enterprise (MWBE) Program Requirements.....BF/SPEC-5-7
  - City of Greenville Identification of Minority/Women Business Participation.....BF/SPEC-8
  - City of Greenville MBE Affidavit “A” Listing Of Good Faith Efforts.....BF/SPEC-9
  - City of Greenville MBE Affidavit “B” Intent To Perform Contract With Own Workforce.....BF/SPEC-10
  - E-Verify Compliance Requirements.....E-Verify/g1
  - SCNA – Bid Bond – 2011 – NC Projects Only And Power of Attorney.....SCNA-2011-BB-1-2

Note! AIA Bid Bond A-310 Will Not Be Accepted)

  - AIA Document A305-2020 Contractors Qualification Statement and Required Information Resume & Experience – Project Manager & On Site Superintendent
5. Specification Section 012100 – Allowances – Revised Paragraph 1.5 Updated Contingency Site Allowance from \$100,000 to \$150,000. Updated Plymovent Allowance from \$70,000 to \$80,000. Updated IT & Communication Allowance from \$30,000 to \$50,000
6. Refer to Specification Section 012300 – Alternates – Added Alternate C into specification.
7. Refer to Specification Section 075423 – PVC Membrane Roofing – Manufacturers – DAC Awnings are allowed to bid on this project as a manufacturer, but must meet all spec requirements.
8. Refer to Specification Section 105400 – Protective Covers – Manufacturers – Atlantic Construction Sales are allowed to bid on this project as a manufacturer, but must meet all spec requirements. They can also be used for the post supported canopy in patio 111.
9. Specification Section 123216 – Plastic Laminated Wood Casework – Delete specification
10. Specification Section 123213 – Manufactured Wood Casework – Use this specification for all casework. It replaces specification section 123216.

**DRAWINGS:**

**STRUCTURAL:**

See revisions marked on the following new drawing sheets.

**Drawing Sheets - S3.02, S3.11, S3.12, S3.13, S3.14, S3.15, S3.21, S3.31, S3.32, S3.33, S3.55,**

**ARCHITECTURAL:**

- ABD-1** Updates provided for drawing sheet 7.21 detail #4.
- ABD-2** Updates provided for drawing sheet 5.23 detail #12.
- ABD-3** Revised building section for drawing sheet 5.12 detail #2.
- ABD-4** Revised detail #6 for drawing sheet 5.25.
- ABD-5** Revised building section tag drawing sheet 4.11.
- ABD-6** Revised finish tag description’s for drawing sheet 7.10.
- ABD-7** Revised detail #8 for drawing sheet 5.30.

**Stewart Cooper Newell Architects**  
P: 704.865.6311 or 800.671.0621  
F: 704.865.0046

*Addendum 01 – pg. 4*  
07/16/2021

## **PLUMBING:**

### **Sheet 8.00**

Updated Flow Test Data

Static Pressure : 57 psi

Residual Pressure : 50 psi

Flow: 1160 gpm

### **Sheet 8.01**

#### **Plumbing Fixture and Equipment Schedule**

- Revise fixture P1A to include a manual flush valve Sloan 111-1.28
- Add fixture P1B, same fixture as P1A but with sensor operated flush valve Sloan G2 8111-1.28
- Add fixture P4, single vandal-resistant water cooler with bottle filler Oasis model PGV8EBF
- Revised fixture P8A Utility Sink (Decon Dirty Room 129) to Just SB-242-24RL with Just J-35-SSF strainer and Moen 8126 faucet.
- Add fixture P8B Utility Sink (Cleaning Room 130) to Just SB-230-24RL with Just J-35-SSF strainer and Moen 8126 faucet.
- Add fixture P8C Laundry Tub (Laundry Room 113) Fiat FL-1 with Moen 8277 faucet.
- Revised fixture P9 Emergency Eyewash (Decon Dirty Room 129) to Guardian Equipment model G1750, with G6020 mixing valve.
- Add FS1 Floor Sink, Jay R. Smith 3002, stainless-steel.

#### **Oil Water Separator**

- Revised schedule to match floor plans. Separator to be Striem model OT-500-ss, 560 gallon liquid capacity.

### **Sheet 8.10**

#### **Drainage Floor Plan – Plumbing**

- Added fixture number 3" FS1 to the item shown in Vestibule 127 to the right of room 126. This is a floor sink for an ice machine. Also identified the mop sink on the right-hand side as fixture P7.
- Added fixture number P9 to the eyewash on the south wall of Decon Dirty Room 129.
- Add note identifying the washer extractor drain pit, which is located on the right-hand side of Cleaning Room 130, to the right of the mop sink. Contractor to provide a Polypropylene basket with interior filter mesh (lint collection) inside pit (by HM Manufacturing). Detail will be provided.
- Added fixture number P6A to the shower in Toiler/Shower Room 122.

### **Sheet 8.30**

#### **Natural Gas Floor Plan – Plumbing**

Added two air hose reels to the Apparatus Bay, one on the north wall between the 2<sup>nd</sup> and 3<sup>rd</sup> bay doors and one on the south wall between the 1<sup>st</sup> and 2<sup>nd</sup> bay doors. Also provided a wall airdrop on the west wall of the Tool Room. 1" branch air piping to a 1¼" header into the mechanical platform, to connect to an owner provided air compressor. Drawings plans to follow.

Compressed air distribution piping to be schedule 40 black steel with wrought iron threaded fittings. Hose reels to be wall mounted, each with 50 feet of ¾" retractable hoses. Reelcraft or approved equal.

**FIRE PROTECTION:**

**Sheet 8.50**

Updated Flow Test Data

Static Pressure : 57 psi

Residual Pressure : 50 psi

Flow: 1160 gpm

Flow test provided by the Greenville Fire Department.

Flow test date: 05/19/2021

Hydrants 3690 and 3691 on Bayswater Rd.

**ATTACHMENTS:**

1. Pre Bid Conference Attendees Sign In Sheet (1) - 8 ½" x 11" page
2. Revised Bid Form (5) - 8 ½" x 11" pages total – Must use this form
3. AIA Document A305-2020 – Contractor's Qualifications Statement Sample – (1) - 8 ½" x 11" page
4. Spec Section 012100 – Allowances – (3) - 8 ½" x 11" page
5. Spec Section 012300 – Alternates – (1) - 8 ½" x 11" page
6. Spec Section 123213 – Manufactured Wood Casework – (7) - 8 ½" x 11" page
7. Architectural Bulletin Drawings ABD-1 thru ABD-7 – 8 ½" x 11" (7 pages total)
8. Revised Structural Sheets – 24" x 36" (11 pages total)

***END OF ADDENDUM NO. 1***



**BID FORM**  
**SINGLE PRIME CONTRACT**

**ALL WORK SHALL BE UNDER THE GENERAL CONTRACT**  
**(WHICH WILL INCLUDE GENERAL, PLUMBING, MECHANICAL, & ELECTRICAL**  
**IN ONE PRIME CONTRACT)**

NAME OF BIDDER \_\_\_\_\_  
\_\_\_\_\_

BIDDER'S ADDRESS \_\_\_\_\_  
\_\_\_\_\_

BIDDER'S PHONE NO. \_\_\_\_\_ FAX NO. \_\_\_\_\_

BIDDER'S LICENSE NO. \_\_\_\_\_

CONTACT \_\_\_\_\_

TYPE OF WORK \_\_\_\_\_

City of Greenville – Fire / Rescue  
Purchasing Bid Number 20-21-42  
1500 Beatty Street  
Greenville, NC 27834

ATTN: Eric Griffin, Fire / Rescue Chief

The undersigned having carefully examined the Bidding Documents, Drawings, Specifications, and all subsequent addenda as prepared by the Architects, Stewart-Cooper-Newell Architects, P.A., visited the site and being familiar with all conditions and requirements of the work, hereby agrees to furnish all labor and materials, equipment, services, etc., including all Allowances to complete the construction of:

**A New City Greenville Fire / Rescue #7 Station**  
**4170 Bayswater Road, Winterville, NC 28590**

All to be in accordance with these documents for the following amounts.

(IMPORTANT NOTES!)

- A) The Contract will be awarded based on the **Low Total Bid** for the entire project which will include the Base Bid, Contingency Allowance, Specific Item Allowances, plus all Owner accepted Alternates.
- B) The Owner reserves the right to accept or reject any or all of the Bids and to waive informalities and minor irregularities in Bids received.
- C) The Owner reserves the right to accept or reject any portion of the Low Bid (which includes the Base Bid, Contingency Allowance, Specific Item Allowances and Alternates) or to make and/or negotiate changes to any portion of the work in order to meet the Budget Requirements of the Owners.
- D) The Bid shall contain Federal, State and Local taxes in accordance with the supplementary conditions. Sales Tax breakdown reports shall be submitted to the Architect by the Contractor with each month's application for payment.



BIDDERS NAME: \_\_\_\_\_

**GENERAL CONSTRUCTION**  
(Includes Plumbing, Mechanical & Electrical)

Base Bid \$ \_\_\_\_\_ Dollars

**ALLOWANCES: (FOR A COMPLETE DESCRIPTION OF ALLOWANCES, SEE SECTION 012100).**

Contingency Building Allowance:	\$ <u>300,000</u>	Dollars
Contingency Site Allowance	\$ <u>150,000</u>	Dollars
Security (site & building) Allowance	\$ <u>50,000</u>	Dollars
Plymovent Allowance	\$ <u>80,000</u>	Dollars
Signage (Interior / Exterior) Allowance	\$ <u>25,000</u>	Dollars
IT and Communications Allowance	\$ <u>50,000</u>	Dollars
Site Lighting Allowance	\$ <u>40,000</u>	Dollars
Unit Price #1 Allowance: 10 cy x Unit Price #1:	\$ _____	Dollars
Unit Price #2 Allowance: 10 cy x Unit Price #2:	\$ _____	Dollars
Unit Price #3 Allowance: 500 cy x Unit Price #3:	\$ _____	Dollars
Unit Price #4 Allowance: 2500 cy x Unit Price #4:	\$ _____	Dollars
Unit Price #5 Allowance: 500 cy x Unit Price #5:	\$ _____	Dollars
Unit Price #6 Allowance: 1750 cy x Unit Price #6:	\$ _____	Dollars
Unit Price #7 Allowance: 250 cy x Unit Price #7:	\$ _____	Dollars
Unit Price #8 Allowance: 500 cy x Unit Price #8:	\$ _____	Dollars
Unit Price #9 Allowance: 1000 sy x Unit Price #9:	\$ _____	Dollars
Unit Price #10 Allowance: 2000 sy x Unit Price #10:	\$ _____	Dollars
Unit Price #11 Allowance: 500 sy x Unit Price #11:	\$ _____	Dollars

**TOTAL BASE BID** \$ \_\_\_\_\_ **Dollars**  
**(Includes Base Bid and All Allowances)**

**ALTERNATES: (FOR A COMPLETE DESCRIPTION OF ALTERNATES, SEE SECTION 012300).**

The undersigned further agrees to perform all work in the Alternates for the sums stated herein resulting in Additions or Deletions to the Base Bid. Additions or Deletions shall include any modifications of work or additional work that may reasonably be included as part of the Alternates.

**ALTERNATES:**

**A:** State Change in Base Bid Sum to provide all General Construction work to provide (3) bi-fold doors (door type K) at all rear apparatus bay door locations in lieu of overhead apparatus bay door (door type J) as shown on construction documents and specs, reference sheet 4.10, 4.11 and 4.70. Include the (6) interior bollards at the apparatus bay rear doors with this alternate, reference sheet 4.10 and bi-fold door specification.

\$ \_\_\_\_\_

**B:** State Change in Base Bid Sum to provide all General Construction work to provide (3) full glass aluminum overhead doors with solid panel row at the bottom at all rear apparatus bay door locations in lieu of overhead apparatus bay door (door type J) as shown on construction documents and specs, reference sheet 4.11 and 4.70.

\$ \_\_\_\_\_

**C:** State Change in Base Bid Sum to provide all General Construction work to provide concrete additive MVRA, (see Concrete Spec 033000, Page 5, Section Paragraph 2.7-C) to all concrete floor slabs except the Apparatus Bay 146 & Mezzanine 200.

\$ \_\_\_\_\_

**UNIT PRICES:** Should the undersigned be required to perform work over and above that required by the Contract Documents, he will be paid an extra on the basis of unit prices stated herein. Prices stated shall be the sum total compensation payable for such items in place. See specification 012200 Unit Prices.

<b><u>Description</u></b>	<b><u>Unit of Measurement</u></b>
Unit Price #1: Mass Rock Removal – off-site disposal	\$ _____ per cubic yard
Unit Price #2: Trench Rock Removal – off-site disposal	\$ _____ per cubic yard
Unit Price #3: Unsuitable Soil Removal & Disposal - on-site	\$ _____ per cubic yard
Unit Price #4: Unsuitable Soil Removal & Disposal - off-site	\$ _____ per cubic yard
Unit Price #5: On-site Suitable Soil Replacement	\$ _____ per cubic yard
Unit Price #6: Off-site Suitable Soil Replacement	\$ _____ per cubic yard
Unit Price #7: ABC Replacement	\$ _____ per cubic yard
Unit Price #8: No.57 Washed Stone Replacement	\$ _____ per cubic yard
Unit Price #9: Woven Geo-Textile Stabilization Fabric in place	\$ _____ per square yard
Unit Price #10: Non-Woven Geo-Textile Drainage Fabric in place	\$ _____ per square yard
Unit Price #11: Biaxial Geo-Grid in place	\$ _____ per square yard

NOTE: The following information is for the Owner's use in guaranteeing that quality prime subcontractors (general, plumbing, mechanical & electrical) are used in connection with the project and is not intended as a solicitation for separate bids for subcontract work.

It is the intent of the City of Greenville to hire a single General Contractor who will in turn contract with and manage all sub-contractors. If the General Contractor listed as the bidder intends to hire and have another General Contractor perform any significant portion of the Work, partner, team, or otherwise work with or hire another General Contractor, that General Contractor shall be listed below. Failure to list additional General Contractor(s) may result in rejection of bid and forfeiture of bid deposit or bid bond.

PLUMBING CONTRACTOR:

Company Name \_\_\_\_\_  
Company Address \_\_\_\_\_  
City, State Zip \_\_\_\_\_  
Phone No. \_\_\_\_\_  
Fax No. \_\_\_\_\_  
Contractor's Name \_\_\_\_\_  
Contractor's License No. \_\_\_\_\_

PRICE: \$ \_\_\_\_\_

MECHANICAL CONTRACTOR:

Company Name \_\_\_\_\_  
Company Address \_\_\_\_\_  
City, State Zip \_\_\_\_\_  
Phone No. \_\_\_\_\_  
Fax No. \_\_\_\_\_  
Contractor's Name \_\_\_\_\_  
Contractor's License No. \_\_\_\_\_

PRICE: \$ \_\_\_\_\_

ELECTRICAL CONTRACTOR:

Company Name \_\_\_\_\_  
Company Address \_\_\_\_\_  
City, State Zip \_\_\_\_\_  
Phone No. \_\_\_\_\_  
Fax No. \_\_\_\_\_  
Contractor's Name \_\_\_\_\_  
Contractor's License No. \_\_\_\_\_

PRICE: \$ \_\_\_\_\_

SITE CONTRACTOR:

Company Name \_\_\_\_\_  
Company Address \_\_\_\_\_  
City, State Zip \_\_\_\_\_  
Phone No. \_\_\_\_\_  
Fax No. \_\_\_\_\_  
Contractor's Name \_\_\_\_\_  
Contractor's License No. \_\_\_\_\_

PRICE: \$ \_\_\_\_\_

**BID GUARANTEE:**

The undersigned further agrees to sign a contract for this work in the above amount, if offered, within **forty-five (45)** days after receipt of Bids, and to furnish surety as specified, and upon failure to do so, agrees to forfeit to the Owner, certified check \$ \_\_\_\_\_, or U.S. Money Order \$ \_\_\_\_\_, or Bid Bond \$ \_\_\_\_\_.

**PROPER LICENSES:**

The undersigned certifies that he is properly licensed and classified to perform the work that he is bidding. This certification also guarantees that if subcontractors are used, they will also be properly licensed and classified.

**TIME OF COMPLETION:**

The undersigned further agrees to begin work promptly upon the issuance of the "Notice To Proceed" with an adequate force, carry the work forward as rapidly as possible and complete it within **365** consecutive calendar days.

**ADDENDA RECEIVED AS FOLLOWS:**

No. \_\_\_\_\_ Date \_\_\_\_\_      No. \_\_\_\_\_ Date \_\_\_\_\_      No. \_\_\_\_\_ Date \_\_\_\_\_

NAME OF BIDDER \_\_\_\_\_

BY \_\_\_\_\_  
(Signature)

TITLE \_\_\_\_\_ DATE BID EXECUTED \_\_\_\_\_

**NOTE:**

1. If Bidder is a corporation, write state of incorporation under the signature and if a partnership, give full names of all partners.
2. The Bid may be rejected if not accompanied by a guarantee in the specified amount. Any certified check may be held uncollectible at the risk of the Bidder submitting them.

**LIQUIDATED DAMAGES** - The Contractor is hereby notified that the Contract will contain a Liquidated Damages Clause.

**Performance and Delivery Time:**

The Contractor, shall begin work on or before the "commence work" date specified in the **NOTICE TO PROCEED** issued by the Owner, and as set forth in the plans, specifications, and proposal. All work shall be completed in all events on or before the date set forth in the **NOTICE TO PROCEED**.

A. **Time is of the Essence.**

It is agreed that time is of the essence; and as a result, unless prevented by strikes, accidents, or other causes beyond the Contractor's control, the Contractor shall deliver the materials and perform the services, as provided herein within the limits specified above. Failure of the Contractor to perform in the time specified above shall be deemed sufficient reason for default or the contract or forfeiture of the performance bond, or both.

B. **Liquidated Damages.**

Since actual damages for any delay in the completion of the work which the contractor is required to perform under this contract are or will be difficult to determine, the contractor and his sureties shall be liable for and shall pay to the Owner the sum of **\$500.00** as fixed and agreed as liquidated damages, and not as penalty, **for each calendar day of delay** from the date stipulated for completion, or as modified in accordance with the terms of this agreement until such work is satisfactorily completed and accepted. Said liquidated damages may be deducted from any payments owed to the contractor by the Owner or collected from the sureties whichever is deemed expedient by the Owner.



# AIA<sup>®</sup> Document A305<sup>™</sup> – 2020

## Contractor's Qualification Statement

THE PARTIES SHOULD EXECUTE A SEPARATE CONFIDENTIALITY AGREEMENT IF THEY INTEND FOR ANY OF THE INFORMATION IN THIS A305-2020 TO BE HELD CONFIDENTIAL.

**SUBMITTED BY:**

*(Organization name and address.)*

**SUBMITTED TO:**

*(Organization name and address.)*

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

**TYPE OF WORK TYPICALLY PERFORMED**

*(Indicate the type of work your organization typically performs, such as general contracting, construction manager as constructor services, HVAC contracting, electrical contracting, plumbing contracting, or other.)*

**THIS CONTRACTOR'S QUALIFICATION STATEMENT INCLUDES THE FOLLOWING:**

*(Check all that apply.)*

- Exhibit A – General Information
- Exhibit B – Financial and Performance Information
- Exhibit C – Project-Specific Information
- Exhibit D – Past Project Experience
- Exhibit E – Past Project Experience (Continued)

**CONTRACTOR CERTIFICATION**

The undersigned certifies under oath that the information provided in this Contractor's Qualification Statement is true and sufficiently complete so as not to be misleading.

\_\_\_\_\_  
Organization's Authorized Representative Signature      Date

\_\_\_\_\_  
Printed Name and Title

**NOTARY**

State of:

County of:

Signed and sworn to before me this      day of

\_\_\_\_\_  
Notary Signature

My commission expires:

## SECTION 012100 - ALLOWANCES

## PART 1 - GENERAL

## 1.1 SUMMARY

- A. Section includes administrative and procedural requirements governing allowances.
- B. Types of allowances include the following:
  - 1. Lump-sum allowances.
  - 2. Unit-cost allowances.
  - 3. Quantity allowances.
  - 4. Contingency allowances.
- C. Related Requirements:
  - 1. Section 012200 "Unit Prices" for procedures for using unit prices, including adjustment of quantity allowances when applicable.

## 1.2 SELECTION AND PURCHASE

- A. At the earliest practical date after award of the Contract, advise Architect of the date when final selection, or purchase and delivery, of each product or system described by an allowance must be completed by the Owner to avoid delaying the Work.
- B. At Architect's request, obtain proposals for each allowance for use in making final selections. Include recommendations that are relevant to performing the Work.
- C. Purchase products and systems selected by Architect from the designated supplier.

## 1.3 ACTION SUBMITTALS

- A. Submit proposals for purchase of products or systems included in allowances in the form specified for Change Orders.

## 1.4 INFORMATIONAL SUBMITTALS

- A. Submit invoices or delivery slips to show actual quantities of materials delivered to the site for use in fulfillment of each allowance.
- B. Submit time sheets and other documentation to show labor time and cost for installation of allowance items that include installation as part of the allowance.
- C. Coordinate and process submittals for allowance items in same manner as for other portions of the Work.

## 1.5 LUMP-SUM, UNIT-COSTS AND QUANTITY ALLOWANCES

- A. Allowance shall include cost to Contractor of specific products and materials ordered by Owner or selected by Architect under allowance and shall include materials, delivery to Project site, taxes, freight, and installation.
- B. Unused Materials: Return unused materials purchased under an allowance to manufacturer or supplier for credit to Owner, after installation has been completed and accepted.
  - 1. If requested by Architect, retain and prepare unused material for storage by Owner. Deliver unused material to Owner's storage space as directed.

## 1.6 CONTINGENCY ALLOWANCES

- A. Use the contingency allowance only as directed by Architect for Owner's purposes and only by Change Orders that indicate amounts to be charged to the allowance.
- B. Contractor's overhead, profit, and related costs for products and equipment ordered by Owner under the contingency allowance are included in the allowance and are not part of the Contract Sum. These costs include delivery, installation, taxes, insurance, equipment rental, and similar costs.
- C. Change Orders authorizing use of funds from the contingency allowance will include Contractor's related costs and reasonable overhead and profit as specified under section 012600 Contract Modification Procedures.
- D. At Project closeout, credit unused amounts remaining in the contingency allowance to Owner by Change Order.

## 1.7 ADJUSTMENT OF ALLOWANCES

- A. Allowance Adjustment: To adjust allowance amounts, prepare a Change Order proposal based on the difference between purchase amount and the allowance, multiplied by final measurement of work-in-place where applicable. If applicable, include reasonable allowances for cutting losses, tolerances, mixing wastes, normal product imperfections, and similar margins.
  - 1. Include installation costs in purchase amount only where indicated as part of the allowance.
  - 2. Provide explanation and documentation to substantiate distribution of overhead costs and other markups.
  - 3. Submit substantiation of a change in scope of Work, if any, claimed in Change Orders related to unit-cost allowances.
  - 4. Owner reserves the right to establish the quantity of work-in-place by independent quantity survey, measure, or count.
- B. Submit claims for increased costs because of a change in scope or nature of the allowance described in the Contract Documents, whether for the purchase order amount or Contractor's handling, labor, installation, overhead, and profit.
  - 1. Do not include Contractor's or subcontractor's indirect expense in the Change Order cost amount unless it is clearly shown that the nature or extent of Work has changed from what could have been foreseen from information in the Contract Documents.
  - 2. No change to Contractor's indirect expense is permitted for selection of higher- or lower-priced materials or systems of the same scope and nature as originally indicated.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine products covered by an allowance promptly on delivery for damage or defects. Return damaged or defective products to manufacturer for replacement.

### 3.2 PREPARATION

- A. Coordinate materials and their installation for each allowance with related materials and installations to ensure that each allowance item is completely integrated and interfaced with related work.

## 3.3 SCHEDULE OF ALLOWANCES

Contingency Building Allowance:	\$ <u>300,000</u>	Dollars
Contingency Site Allowance	\$ <u>150,000</u>	Dollars
Security (site & building) Allowance	\$ <u>50,000</u>	Dollars
Plymovent Allowance	\$ <u>80,000</u>	Dollars
Signage (Interior / Exterior) Allowance	\$ <u>25,000</u>	Dollars
IT and Communications Allowance	\$ <u>50,000</u>	Dollars
Site Lighting Allowance	\$ <u>40,000</u>	Dollars
Unit Price #1 Allowance: 10 cy x Unit Price #1:	\$ _____	Dollars
Unit Price #2 Allowance: 10 cy x Unit Price #2:	\$ _____	Dollars
Unit Price #3 Allowance: 500 cy x Unit Price #3:	\$ _____	Dollars
Unit Price #4 Allowance: 2500 cy x Unit Price #4:	\$ _____	Dollars
Unit Price #5 Allowance: 500 cy x Unit Price #5:	\$ _____	Dollars
Unit Price #6 Allowance: 1750 cy x Unit Price #6:	\$ _____	Dollars
Unit Price #7 Allowance: 250 cy x Unit Price #7:	\$ _____	Dollars
Unit Price #8 Allowance: 500 cy x Unit Price #8:	\$ _____	Dollars
Unit Price #9 Allowance: 1000 sy x Unit Price #9:	\$ _____	Dollars
Unit Price #10 Allowance: 2000 sy x Unit Price #10:	\$ _____	Dollars
Unit Price #11 Allowance: 500 sy x Unit Price #11:	\$ _____	Dollars

END OF SECTION 012100



## SECTION 012300 - ALTERNATES

## PART 1 - GENERAL

## 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 1 Specification Sections, apply to this Section.

## 1.2 SUMMARY

- A. This Section includes administrative and procedural requirements for alternates.

## 1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the Bidding Requirements that may be added to or deducted from the Base Bid amount if Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
  - 1. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternate into the Work. No other adjustments are made to the Contract Sum.

## 1.4 PROCEDURES

- A. Coordination: Modify or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
  - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Notification: Immediately following award of the Contract, notify each party involved, in writing, of the status of each alternate. Indicate if alternates have been accepted, rejected, or deferred for later consideration. Include a complete description of negotiated modifications to alternates.
- C. Execute accepted alternates under the same conditions as other work of the Contract.
- D. Schedule: A Schedule of Alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

## PART 2 - PRODUCTS (Not Used)

## PART 3 - EXECUTION

## 3.1 SCHEDULE OF ALTERNATES

## ALTERNATES:

The undersigned further agrees to perform all work in the Alternates for the sums stated herein resulting in Additions or Deletions to the Base Bid. Additions or Deletions shall include any modifications of work or additional work that may reasonably be included as part of the Alternates.

ALTERNATES:

- A: State Change in Base Bid Sum to provide all General Construction work to provide (3) bi-fold doors (door type K) at all rear apparatus bay door locations in lieu of overhead apparatus bay door (door type J) as shown on construction documents and specs, reference sheet 4.10, 4.11 and 4.70. Include the (6) interior bollards at the apparatus bay rear doors with this alternate, reference sheet 4.10 and bi-fold door specification.
- B: State Change in Base Bid Sum to provide all General Construction work to provide (3) full glass aluminum overhead doors with solid panel row at the bottom at all rear apparatus bay door locations in lieu of overhead apparatus bay door (door type J) as shown on construction documents and specs, reference sheet 4.11 and 4.70.
- C: State Change in Base Bid Sum to provide all General Construction work to provide concrete additive MVRA, (see Concrete Spec 033000, Page 5, Section Paragraph 2.7-C) to all concrete floor slabs except the Apparatus Bay 146 & Mezzanine 200.

END OF SECTION 012300

## SECTION 123213 - MANUFACTURED WOOD - CASEWORK

## PART 1 - GENERAL

## 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

## 1.2 SUMMARY

## A. Section Includes:

1. Wood-faced cabinets of stock design.
2. Countertops.
3. Wall shelving.

## B. Related Sections:

1. Division 06 Section "Rough Carpentry" or "Miscellaneous Rough Carpentry" for wood blocking for anchoring manufactured wood casework.
2. Division 09 Section "Non-Structural Metal Framing" for reinforcements in metal-framed partitions for anchoring casework.

## 1.3 DEFINITIONS

- A. Exposed Portions of Cabinets: Surfaces visible when doors and drawers are closed, including bottoms of cabinets more than 48 inches (1220 mm) above floor, and surfaces visible in open cabinets.
- B. Semiexposed Portions of Cabinets: Surfaces behind opaque doors, such as interiors of cabinets, shelves, dividers, interiors and sides of drawers, and interior faces of doors. Tops of cases 78 inches (1980 mm) or more above floor are defined as semiexposed.
- C. Concealed Portions of Cabinets: Surfaces not usually visible after installation, including sleepers, web frames, dust panels, and ends and backs that are placed directly against walls or other cabinets.

## 1.4 PREINSTALLATION MEETINGS

- A. Pre-installation Conference: Conduct conference at Project site.

## 1.5 COORDINATION

- A. Coordinate sizes and locations of framing, blocking, furring, reinforcements, and other related units of Work specified in other Sections to ensure that casework can be supported and installed as indicated.

## 1.6 SUBMITTALS

- A. Product Data: For each type of product indicated.
- B. Shop Drawings: Include plans, elevations, sections, details, and attachments to other work. Show fabrication details, including types and locations of hardware. Show installation details, including field joints and filler panels. Indicate manufacturer's catalog numbers for casework.
- C. Keying Schedule: Include schematic keying diagram and index each key set to unique designations that are coordinated with the Contract Documents.
- D. Samples for Verification: 8-by-10-inch (200-by-250-mm) Samples for each type of finish, including top material and the following:
  1. Section of countertop showing top, front edge, and backsplash construction. (3 minimum)
  2. Section of drawer/door front, finished and complete with edge banding. (3 minimum)
  3. One full-size finished base cabinet complete with hardware, doors, and drawers, but without countertop.
  4. One full-size finished wall cabinet complete with hardware, doors, and adjustable shelves.
  5. Maintain full-size Samples at Project site during construction in an undisturbed condition as a standard for judging the completed Work. Unless otherwise indicated, approved sample units may become part of the completed Work if in undisturbed condition at time of Substantial Completion. Notify Architect of their exact locations.
- E. Qualification Data: For qualified Installer.

- F. Warranty: Sample of special warranty.
- 1.7 QUALITY ASSURANCE
  - A. Installer Qualifications: Manufacturer's authorized representative who is trained and approved for installation of units required for this Project.
  - B. Source Limitations: Obtain all manufactured wood casework from single source from a single manufacturer.
  - C. Quality Standard: Unless otherwise indicated, comply with requirements for modular cabinets in AWI's "Architectural Woodwork Quality Standards."
  - D. Quality Standard: Unless otherwise indicated, comply with WI's "Manual of Millwork" for Custom grade.
    - 1. Provide WI-certified compliance certificate indicating that manufactured wood casework complies with requirements of grades specified.
    - 2. Product Designations: Drawings indicate manufactured wood casework configurations by referencing WI design series numbering system as defined in WI's "Manual of Millwork."
  - E. Product Designations: Drawings indicate sizes, configurations, and finish material of manufactured wood casework by referencing designated manufacturer's catalog numbers. Other manufacturers' casework of similar sizes and door and drawer configurations, of same finish material, and complying with the Specifications may be considered. Refer to Division 01 Section "Product Requirements."
- 1.8 DELIVERY, STORAGE, AND HANDLING
  - A. Deliver manufactured wood casework only after painting, utility roughing-in, and similar operations that could damage, soil, or deteriorate casework have been completed in installation areas. If casework must be stored in other than installation areas, store only in areas where environmental conditions meet requirements specified in "Project Conditions" Article.
  - B. Keep finished surfaces covered with polyethylene film or other protective covering during handling and installation.
- 1.9 PROJECT CONDITIONS
  - A. Environmental Limitations: Do not deliver or install manufactured wood casework until building is enclosed, wet work is complete, all work above ceilings is complete, and the HVAC system is operating and maintaining temperature between 60 and 90 deg F (16 and 32 deg C) and relative humidity between 43 and 70percent during the remainder of the construction period.
  - B. Field Measurements: Verify actual dimensions of construction contiguous with manufactured wood casework by field measurements before fabrication.
- 1.10 COORDINATION
  - A. Coordinate layout and installation of framing and reinforcements in walls and partitions for support of manufactured wood casework.
- 1.11 WARRANTY
  - A. Special Warranty: Manufacturer's form in which manufacturer agrees to repair or replace components of manufactured wood casework that fail in materials or workmanship within specified warranty period.
    - 1. Failures include, but are not limited to, the following:
      - a. Delamination of components or other failures of glue bond.
      - b. Warping of components.
      - c. Failure of operating hardware.
      - d. Deterioration of finishes.
    - 2. Warranty Period: Five years from date of Substantial Completion.

## 1.12 EXTRA MATERIALS

- A. Furnish complete touchup kit for each type and finish of manufactured wood casework provided. Include scratch fillers, stains, finishes, and other materials necessary to perform permanent repairs to damaged casework finish.

## PART 2 - PRODUCTS

## 2.1 MANUFACTURERS

- A. Basis-of-Design Product: Subject to compliance with requirements, provide **Kewaunee Scientific Corporation, Signature Series – Contemporary Full Overlay – Style 5**, PO Box 1842, Statesville, NC 28687-1842 or comparable product by one of the following:
  1. Wood-Faced Manufactured Casework:
    - a. CampbellRhea; a Sagas International company.
    - b. CIF Furniture Ltd.
    - c. Fisher Hamilton L.L.C.
    - d. TMI Systems Design Corporation.

## 2.2 MATERIALS, GENERAL

- A. Low-Emitting Materials: Provide manufactured wood casework, including countertops, made with adhesives and composite wood products containing no urea formaldehyde.
- B. Solid Woods: All solid woods shall be carefully and thoroughly air-dried, then kiln dried in humidity controlled kilns to a moisture content of 4-1/2%. All kiln dried lumber shall then be tempered to a moisture content of 6% before use. This moisture content shall be maintained throughout production.
- C. Hardwood Plywood: All plywood shall be hardwood plywood. Softwoods such as Fir or Pine are not permitted
  1. Veneer Core Plywood: Veneer core plywood shall be either 7-ply (3/4") or 9-ply (1") and shall be compliant with ANSI/HPLA HP-1 2004.
  2. Composition Core Plywood: Composition core plywood shall be 3-ply and shall be compliant with ANSI A208.1-1999, and/or ANSI A208.2-1994.
  3. Face Veneers: Plywood face veneers shall be Grade A, plain sliced, slip matched, Red Oak on face, and Grade 1, Red Oak on back.
- D. Edge Banding: Plywood panels shall be edge banded as specified with 1/8" thick (3mm) hardwood edgbanding to match the plywood veneer.
- E. Hardboard: Hardboard shall be a wood fiber/resinous combination formed with heat and pressure into sheets providing a hard, smooth surface. AHA A135.4, Class 1 Tempered.
- F. Dowels: Dowels used to join frames and panels shall be fluted hardwood not less than 8mm in diameter.
- G. Hardware and Trim:
  1. General: Unless otherwise indicated, provide satin-finish, commercial quality, heavy duty hardware.
  2. Drawer and Door Pulls: Solid stainless-steel bar pulls, fastened from back with two screws. For sliding doors, provide recessed stainless steel flush pulls. Provide 2 pulls for drawers more than 24 inches.
  3. Butt Hinges: Stainless-steel, semiconcealed, 5-knuckle hinges complying with BHMA A156.9, Grade 1, with antifriction bearings and rounded tips. Provide 2 hinges for doors less than 48 inches high and 3 hinges for doors more than 48" high.
  4. Door Catches: Zinc-plated dual, self-aligning, permanent magnet catch. Provide 2 catches on doors more than 48" high.
  5. Drawer Slides: BHMA A156.9, Type B05091. Heavy Duty (Grade 1HD-100 and Grade 1HD-200): Side mounted; full-overtravel-extension type; zinc-plated, steel ball-bearing slides.
  6. Label Holders: Stainless steel, sized to receive standard label cards approximately 1 by 2 inches, attached with screws. Provide where indicated on drawings.

7. Drawer and Hinged Door Locks: Locks when shown and called for on drawings shall be a pin tumbler with heavy duty interchangeable cylinder. Exposed lock noses shall be dull nickel (satin) plated and stamped with identifying numbers. Locks shall have capacity of at least 1000 primary key changes, and the capacity to be Masterkeyed, Grand-masterkeyed, Sub-masterkeyed, and Mason Keyed. Provide a minimum of two keys per lock and six master keys.
8. Adjustable shelf clips: single-pin corrosion resistant metal shelf clips with clear vinyl coating complying with BHMA A156.9, Type B04013. Shelves shall be adjustable on 32mm centers.
9. Number Plates: Number plates, when shown and called for on drawings, shall be aluminum brad-attached type with satin finish and indented black lettering.
10. Grommets: Grommets, when shown and called for on drawings, shall be 2-inch OD, black, molded plastic grommets with matching plastic caps with slot for wire passage.

### 2.3 CABINET FABRICATION

- A. Wood-Faced Cabinet Construction: As required by referenced quality standard, the cabinet shall be full overlay construction with door and drawer fronts. The door and drawer fronts shall occupy a plane past the plane of the front of the cabinet body. Edges of door and drawer fronts shall be square. The doors and drawer fronts shall overlay the face of the cabinet leaving minimal reveals between doors and drawers of approximately 1/8". All cabinet end panels shall be finished for the purpose of future relocation. The exposed grain for doors and drawer fronts shall run vertical and be matched to the door and/or drawer front above and/or below it.

#### 1. Base Cabinets:

- a. End Panels, Bottoms, and Shelves: All cabinet end panels shall be 3/4" thick Red Oak veneer core plywood edge banded on exposed edges. End panels shall be multiple doweled, glued, and screwed to top frame members, intermediate rails, and bottoms. Cupboard bottoms shall be 1" thick Red Oak veneer core plywood edge banded on exposed edge. All cupboard base cabinet shelves shall be full-width adjustable, 3/4" Red Oak veneer core plywood edge banded on all edges. Integrally joined parts shall result in a totally enclosed cabinet.
- b. Backs: Cabinet backs shall be 1/4" thick hardboard, dadoed into end panels and securely fastened to cabinet bottom and top back rail. Backs that are attached to end panels with cleats shall be unacceptable.
- c. Full Top Frame: The cabinet top frame shall consist of a front rail, a back rail and two side rails. The front rail shall be 3-1/8"x1" hardwood with 3mm Red Oak facing. The back rail shall be 2-1/2"x3/4" hardwood plywood. The side rails shall be 1-3/4"x3/4" hardwood and shall be screwed to end panels and front and back rails.
- d. Intermediate Frame: Intermediate frame, when required, shall be 3-1/4"x3/4" hardwood frame. Front, back and side rails of frame shall be multiple doweled and screwed to end panels. Intermediate rails shall be mounted between the drawers and between all drawers and doors.
- e. Hanging Rails: One hanging rails of 1/4" thickness shall be attached to each base cabinet. The hanging rail is to be attached to the cabinet ends and top. The hanging rails are to be multiple doweled, secured with glue and countersunk screws. Hanging rail is to be a minimum of 3-3/4" wide.
- f. Drawers: Drawer sides, back, and sub-front shall be 1/2" thick, 9-ply Birch plywood. Drawer heads shall be 3/4" thick, Red Oak, composite core plywood, edge banded on all sides. A glued dovetail joint or multiple dowel joint shall be used to attach the drawer sub-front and drawer back to the drawer sides. Drawer bottoms shall be 1/4" thick Red Oak veneer core plywood for drawers less than 24" wide, set and glued into dadoed grooves in drawer box on all four sides. Drawer

- bottoms shall be ½" Red Oak veneer core plywood for drawers more than 24" wide, set and glued into dadoed grooves in drawer box on all four sides. Each drawer shall have one pull mounted horizontally, drawers over 24" wide shall have two pulls.
- g. Doors less than 48" in height: Swinging doors shall be ¾" Red Oak, composite core plywood, edge banded on all four edges, mounted on cabinet with 1 pair of offset hinges and shall be latched with a magnetic catch. Double doors shall have magnetic catch on each door. Each door shall have one pull mounted vertically.
2. Counter Mounted and Wall Mounted Cabinets:
- a. Cabinet: All cabinet end panels shall be ¾" Red Oak veneer core plywood edge banded on front and bottom edges. Tops and bottoms shall be 1" thick Red Oak veneer core plywood edge banded on exposed edge, multiple doweled into end panels, and secured with glue and countersunk screws. Shelves shall be 1" thick Red Oak veneer core plywood, edgebanded on all edges. Shelves shall be adjustable on 32mm centers utilizing shelf support clips. The backs in open and glazed door cases shall be ¼" Red Oak composite or veneer core plywood, while the back not exposed to view shall be ¼" hardboard. Case interior shall be flush.
- b. Hanging Rails: Two hanging rails of ¾" thickness shall be attached to each wall cabinet. The hanging rails are to be attached to the cabinet ends and top or bottom. The hanging rails are to be multiple doweled, secured with glue and countersunk screws. Hanging rails are to be a minimum of 3-3/4" wide.
- c. Doors less than 48" in height: Swinging doors shall be ¾" Red Oak, composite core plywood, edge banded on all four edges, mounted on cabinet with 1 pair of offset hinges and shall be latched with a magnetic catch. Double doors shall have magnetic catch on each door. Each door shall have one pull mounted vertically.
3. Full Height Storage Cabinets:
- a. Cabinet: All cabinet end panels shall be ¾" thick Red Oak veneer core plywood, edge banded on front edge. Tops shall be 1" thick Red Oak veneer core plywood, edge banded on exposed edge, multiple doweled into end panels, secured with glue and countersunk with screws. Shelves shall be 1" thick Red Oak veneer core plywood, edge banded on exposed edge. To assure a completely rigid case, the center shelf shall be multiple doweled into end panels, secured with glue and countersunk screws. All other shelves shall be adjustable on 32mm centers utilizing shelf support clips
- b. Cabinet: Cabinet bottoms shall be ¾" thick Red Oak veneer core plywood, edge banded on exposed edge, multiple doweled and glued securely to end panels. A ¾" x 4" hardwood veneer core plywood toe space rail on 22" deep cabinets shall be offset 3" from face to form a 4" high totally enclosed toe space. The backs in open and glazed door cabinets shall be ¼" Red Oak composite or veneer core plywood while the back not exposed to view shall be ¼" hardboard. Cabinet interior shall be flush.
- c. Hanging Rails: Three hanging rails of ¾" thickness shall be attached to each full height cabinet. The hanging rails are to be attached to the cabinet ends and top, middle shelf or bottom. The hanging rails are to be multiple doweled, secured with glue and countersunk screws. Hanging rails are to be a minimum of 3-3/4" wide.
- d. Doors greater than 48" in height: Swinging doors shall be 1-3/8" hollow core door with Red Oak veneer, mounted on cabinet with 1-1/2 pair of offset hinges and shall be latched with a magnetic catch top and bottom of door. Door shall have solid hardwood stiles and rails, honeycomb core, and hardwood face veneers and crossbands. Each door shall have one pull mounted vertically.

4. Filler Strips: Provide as needed to close spaces between cabinets and walls, ceilings, and indicated equipment. Fabricate from same material and with same finish as cabinets.
5. Ladder Frame for Cabinets: At all base cabinets and full-height storage cabinets, construct ladder frame base of 1" thick veneer core plywood. Face of ladder frame and exposed sides to be covered with 3/4" thick Red Oak veneer core plywood face in finish to match base and full-height storage cabinets.

#### 2.4 FINISH FOR WOOD-FACED MANUFACTURED CASEWORK

- A. Preparation: Sand lumber and plywood for manufactured wood casework construction before assembling. Sand edges of doors and drawer fronts and molded shapes with profile-edge sander. Sand casework after assembling for uniform smoothness at least equivalent to that produced by 220-grit sanding and without machine marks, cross sanding, or other surface blemishes.
- B. Staining: Remove fibers and dust and apply wash-coat sealer and stain to exposed and semiexposed surfaces as required to provide uniform color and to match approved samples.
- C. Finishing Closed-Grain Woods: Apply manufacturer's standard two-coat, baked, clear finish consisting of a thermosetting catalyzed sealer and a thermosetting catalyzed conversion varnish. Sand and wipe clean between applications of sealer and topcoat. Topcoat may be omitted on concealed surfaces.
- D. Finishing Open-Grain Woods: Apply manufacturer's standard three-coat, baked, clear finish consisting of a thermosetting catalyzed sealer and two coats of a thermosetting catalyzed conversion varnish. Sand and wipe clean between applications of sealer and topcoat and between topcoats. Topcoats may be omitted on concealed surfaces.

#### 2.5 COUNTERTOPS

- A. Countertops, General: Provide smooth, clean exposed tops and edges in uniform plane free of defects. Provide front and end overhang of 1 inch (25 mm) over face of doors and face of end panel on base cabinets. Provide countertops in configurations as described below where called for on the drawings.
- B. Plastic-Laminate Tops where indicated: Plastic-laminate sheet, shop bonded to both sides of 1-1/8-inch (29-mm) particleboard over 3/4" plywood for 2" composite thickness. Sand surfaces to which plastic laminate is to be bonded.
  1. Plastic Laminate for Flat Tops: Grade HGS.
  2. Plastic Laminate for Backing: Grade BKL.
  3. Provide plastic-laminate edgings of the same material as top on front edge of top, on top edges of backsplashes and end splashes, and on ends of tops and splashes.
  4. Use exterior plywood or exterior glue particleboard for countertops containing sinks.
- C. Solid-Surfacing-Material Tops: 5/8-inch thick, solid-surfacing material with front edge built up with same material over 1-1/8-inch (29-mm) particleboard for 1-3/4" composite thickness.
  1. Front: Straight, slightly eased at top and bottom edges.
  2. Backsplashes: 3/4-inch- (19-mm-) thick, solid-surfacing material; slightly eased at edge.
- D. Stainless-Steel Tops: See stainless steel countertop specification.
- E. Quartz Tops: See quartz agglomerate countertop specification.

### PART 3 - EXECUTION

#### 3.1 EXAMINATION

- A. Examine areas, with Installer present, for compliance with requirements for installation tolerances, location of framing and reinforcements, and other conditions affecting performance of manufactured wood casework.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

#### 3.2 CASEWORK INSTALLATION

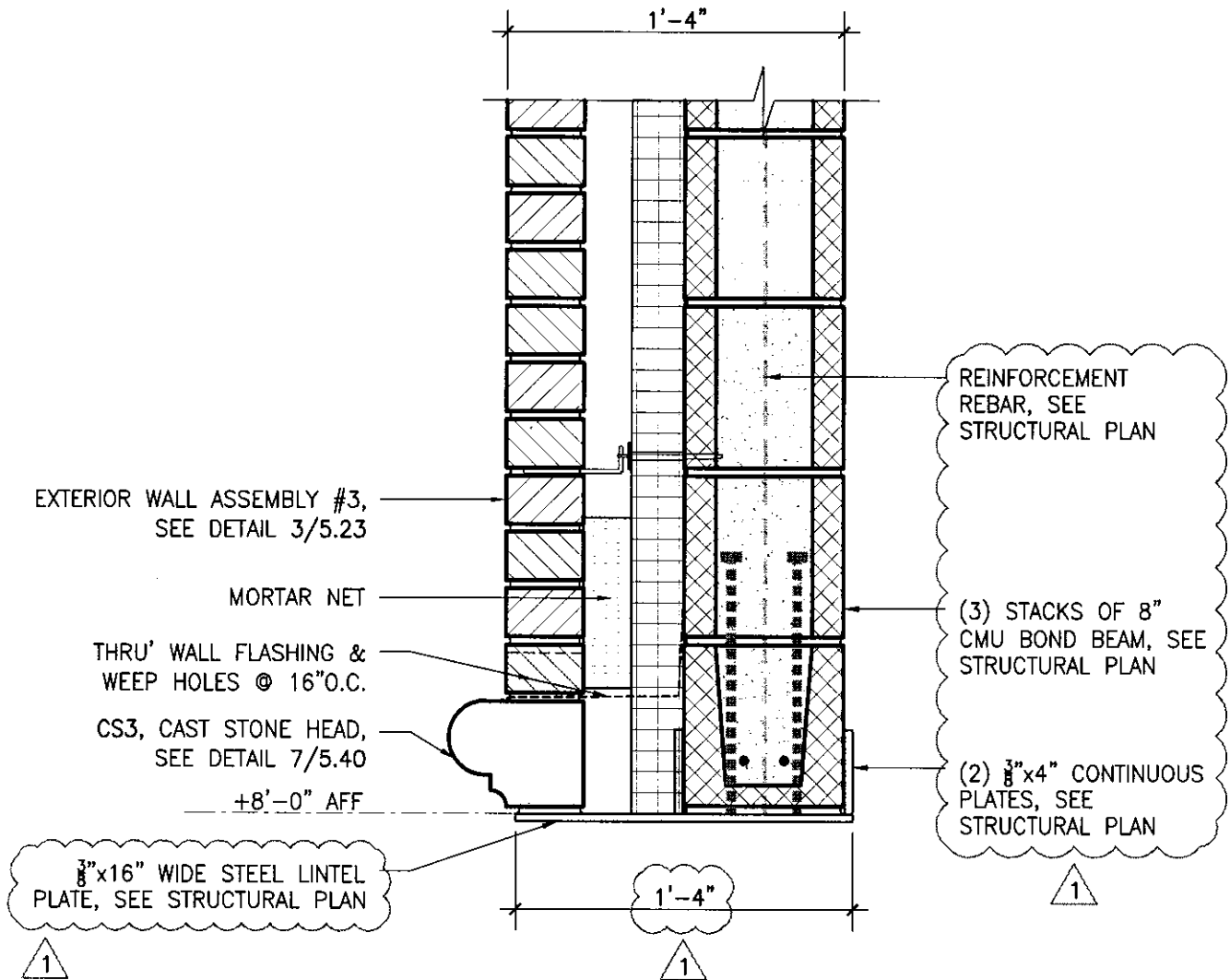
- A. Install level, plumb, and true; shim as required, using concealed shims. Where manufactured wood casework abuts other finished work, apply filler strips and scribe for accurate fit, with fasteners concealed where practical.

- B. Base Cabinets: Install ladder base straight, level and plumb. Fasten ladder base to blocking in wall behind wall surface and floor surface using L-brackets as required. Set cabinets straight, level, and plumb. Adjust subtops within 1/16 inch (1.5 mm) of a single plane. Fasten cabinets to masonry or framing, wood blocking, or reinforcements in walls and partitions as well as ladder frame with fasteners spaced 24 inches (600 mm) o.c. Bolt adjacent cabinets together with joints flush, tight, and uniform. Align similar adjoining doors and drawers to a tolerance of 1/16 inch (1.5 mm).
  - C. Wall Cabinets: Hang cabinets straight, level, and plumb. Adjust fronts and bottoms within 1/16 inch (1.5 mm) of a single plane. Fasten to hanging strips, masonry, or framing, blocking, or reinforcements in walls or partitions. Align similar adjoining doors to a tolerance of 1/16 inch (1.5 mm).
    - 1. Fasten through back, near top and bottom, at ends, and not more than 16 inches (400 mm) o.c.
    - 2. Use toggle bolts at hollow masonry.
    - 3. Use expansion anchors at solid masonry.
    - 4. Use No. 10 wafer-head screws sized for 1-inch (25-mm) penetration at wood hanging strips.
    - 5. Use No. 10 wafer-head screws sized for 1-inch (25-mm) penetration into wood framing or blocking at wood-framed partitions.
    - 6. Use [No. 10 wafer-head sheet metal screws through metal backing or metal framing behind wall finish] [toggle bolts through metal backing or metal framing behind wall finish] at metal-framed partitions.
  - D. Install hardware uniformly and precisely. Set hinges snug and flat in mortises unless otherwise indicated. Adjust and align hardware so moving parts operate freely and contact points meet accurately. Allow for final adjustment after installation.
  - E. Adjust casework and hardware so doors and drawers operate smoothly without warp or bind. Lubricate operating hardware as recommended by manufacturer.
- 3.3 INSTALLATION OF TOPS
- A. Field Jointing: Where possible make in the same manner as shop jointing, using dowels, splines, adhesives, and fasteners recommended by manufacturer. Prepare edges to be joined in shop so Project-site processing of top and edge surfaces is not required. Locate field joints where shown on Shop Drawings.
    - 1. Secure field joints in plastic-laminate countertops with concealed clamping devices located within 6 inches (150 mm) of front and back edges and at intervals not exceeding 24 inches (600 mm). Tighten according to manufacturer's written instructions to exert a constant, heavy-clamping pressure at joints.
  - B. Secure tops to cabinets with Z- or L-type fasteners or equivalent, using two or more fasteners at each front, end, and back.
  - C. Abut top and edge surfaces in one true plane, with internal supports placed to prevent deflection.
  - D. Secure backsplashes and end splashes to walls with adhesive.
  - E. Seal junctures of tops, splashes, and walls with mildew-resistant silicone sealant or another permanently elastic sealing compound recommended by countertop material manufacturer.
- 3.4 CLEANING AND PROTECTING
- A. Repair or remove and replace defective work as directed on completion of installation.
  - B. Clean finished surfaces, touch up as required, and remove or refinish damaged or soiled areas to match original factory finish, as approved by Architect.
  - C. Protection: Provide 6-mil (0.15-mm) plastic or other suitable water-resistant covering over countertop surfaces. Tape to underside of countertop at a minimum of 48 inches (1220 mm) o.c. Remove protection at Substantial Completion.


END OF SECTION 123213

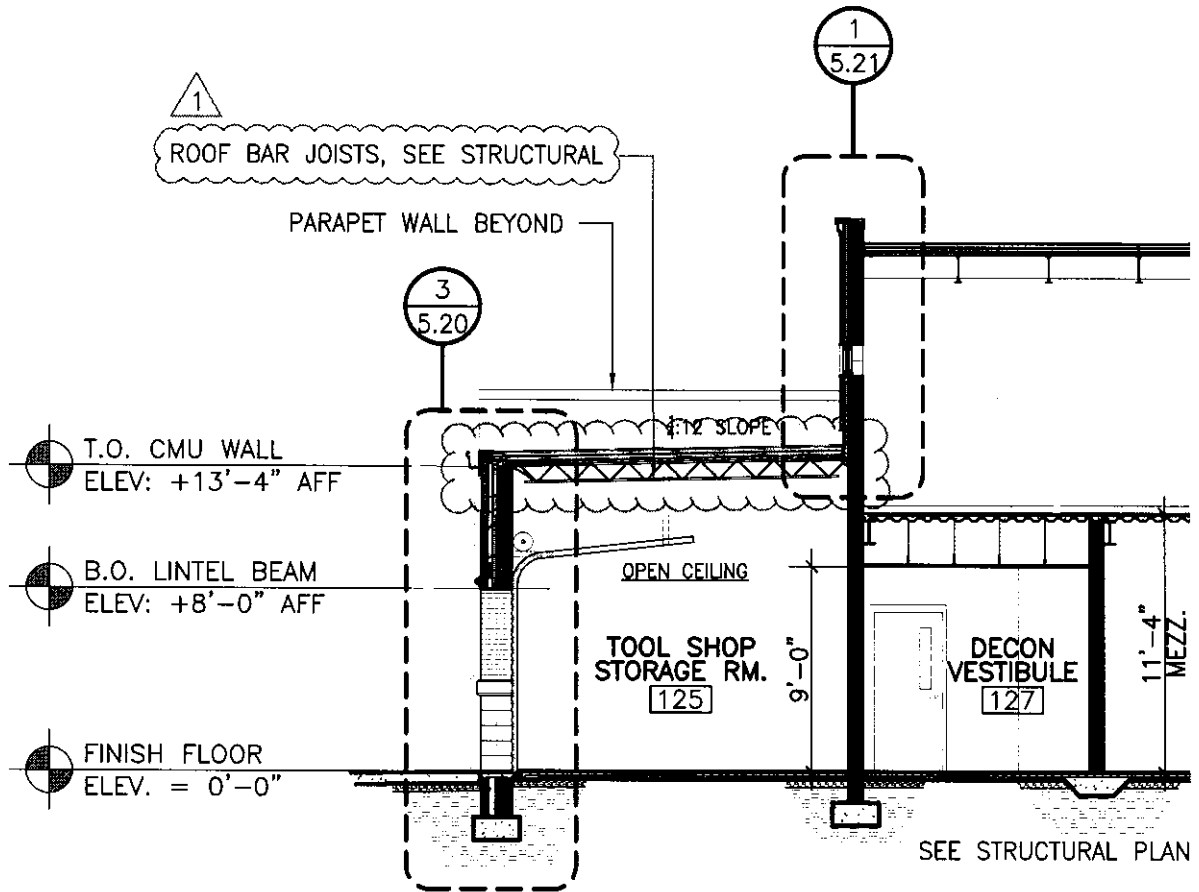






**12** O.H. DOOR HEAD DETAIL  
@ TOOL SHOP ROOM-125  
SCALE: 1-1/2" = 1'-0"

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<p>GREENVILLE FIRE / RESCUE #7</p>	<p>Architectural Bulletin Drawings · ADDENDUM #1</p>	<p>ABD-2</p>



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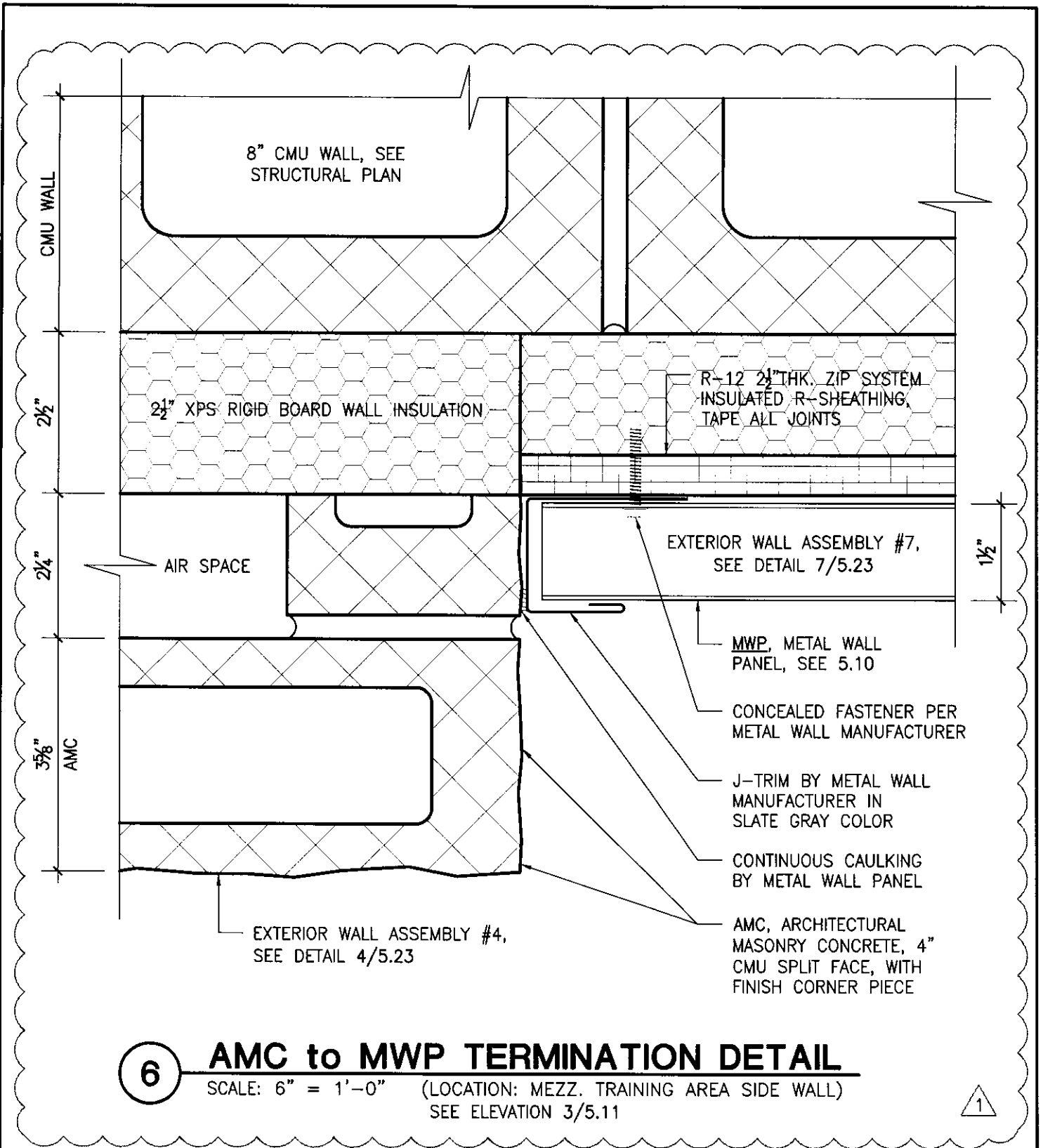
REFERENCE SHEET NO. 2/5.12  
REVISED BUILDING SECTION @  
TOOL SHOP ROOM-125

DATE  
07.14.2021

GREENVILLE FIRE / RESCUE #7

Architectural Bulletin Drawings · ADDENDUM #1


ABD-3

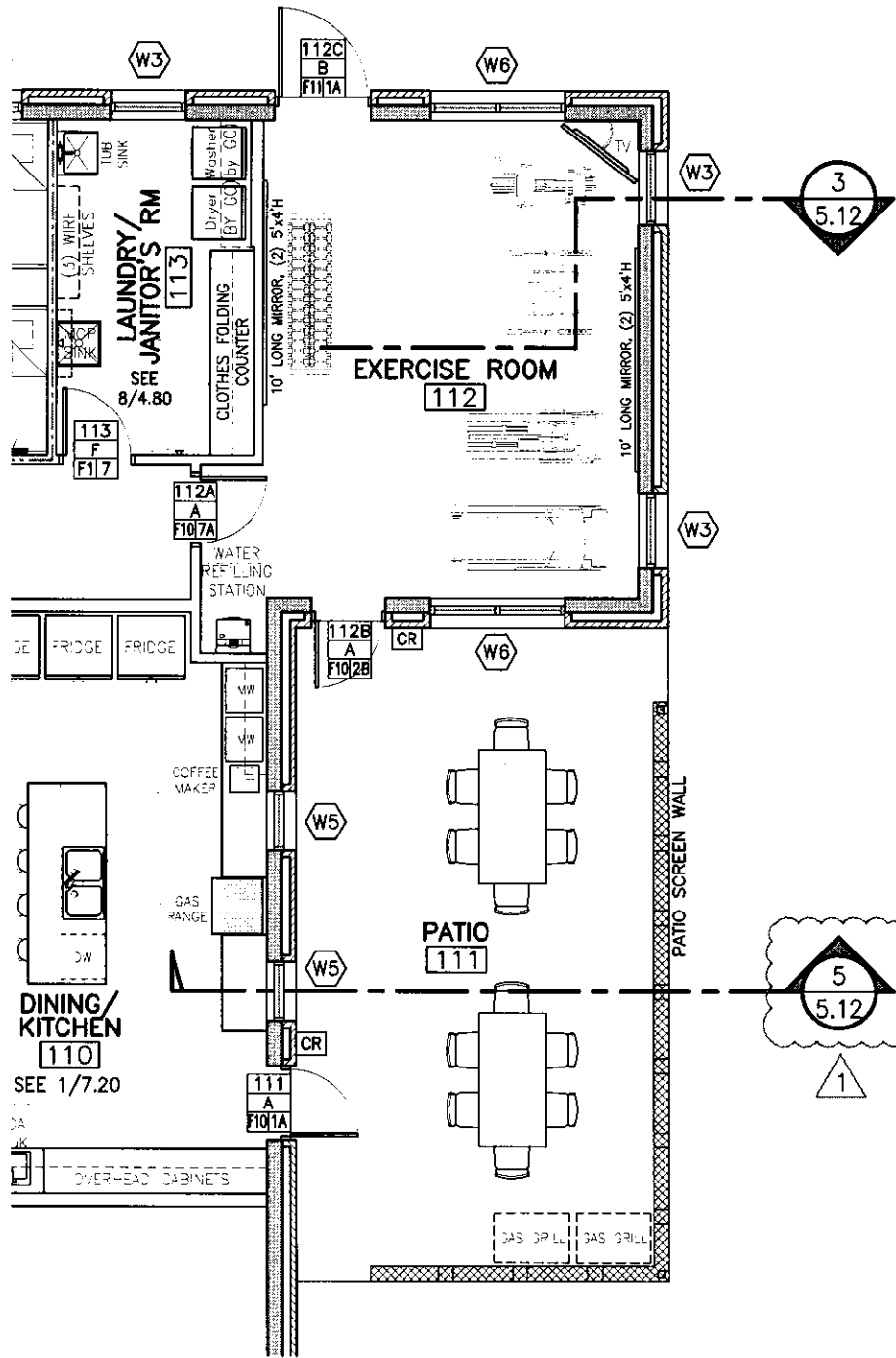


**6 AMC to MWP TERMINATION DETAIL**

SCALE: 6" = 1'-0" (LOCATION: MEZZ. TRAINING AREA SIDE WALL)  
SEE ELEVATION 3/5.11



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<p><b>GREENVILLE FIRE / RESCUE #7</b></p>	<p>Architectural Bulletin Drawings ADDENDUM #1</p>	<p><b>ABD-4</b></p>



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REFERENCE SHEET NO. 4.11  
REVISED SECTION TAG @ PATIO-111

DATE  
07.14.2021

GREENVILLE FIRE / RESCUE #7

Architectural Bulletin Drawings · ADDENDUM #1

ABD-5

**MISCELLANEOUS FINISH**

**ARF** ATHLETIC RUBBER FLOORING, NORAMENT 992 GRANO, 5304 BLACK PEPPER, 9mm THICK (992) FOR FLOOR (34.95"X34.95"/1002mmX1002mm) & 3.5mm THICK FOR WALL RETURN, SEE 16/7.11 FOR SECTION DETAIL WITH STAINED WOOD CHAIR RAIL.

**BS-1** KITCHEN BACK SPLASH, STAINLESS STEEL, METAL MOSAIC, SUBWAY WALL TILE 12"X12" (ITEM #: 354394, MODEL #: 20-617) LOWE'S. SEALED CONCRETE WITH 2 COATS OF CONCRETE SEALER TOPCOAT.

**PCF** **USE SC FINISH BELOW.** 

**SC** SEALED CONCRETE WITH 2 COATS OF CONCRETE SEALER TOPCOAT.

**WINDOW TREATMENT (NOTED AS WT-) by G.C.** 

**WT-1** WINDOW TREATMENT FOR ALL SLEEP ROOMS, LEAD FREE FABRIC, ECOFABRIX 251 SERIES, 1% OPENNESS FACTOR, MANUAL BLACKOUT ROLLER SHADE, -89 GREY/BLACK, DIRECT MOUNT WITH SEALED HEM BAR.

**WT-2** WINDOW TREATMENT (SEE 1/7.10 PLAN FOR LOCATIONS), LEAD FREE FABRIC, ECOFABRIX 255 SERIES, 5% OPENNESS FACTOR, MANUAL BLACKOUT ROLLER SHADE, -89 GREY/BLACK, DIRECT MOUNT WITH SEALED HEM BAR.



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REFERENCE SHEET NO. 7.10

REVISED FINISH TAG DESCRIPTIONS FOR PCF and WT-2.

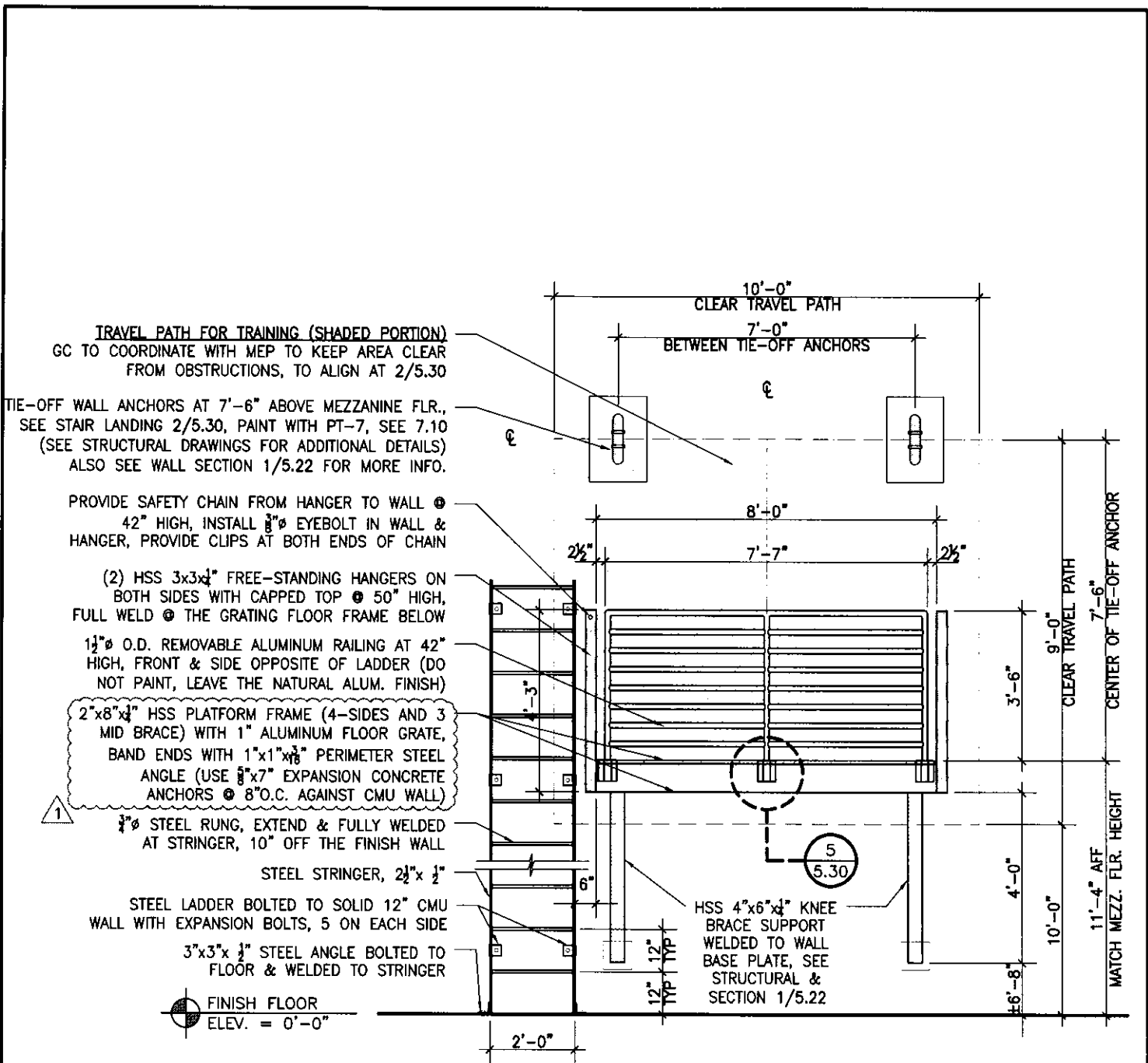
DATE

07.14.2021


GREENVILLE FIRE / RESCUE #7

Architectural Bulletin Drawings ADDENDUM #1

ABD-6



**8 TRAINING PLATFORM ELEVATION**  
SCALE: 3/8" = 1'-0"

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<p><b>GREENVILLE FIRE / RESCUE #7</b></p>	<p>Architectural Bulletin Drawings · ADDENDUM #1</p>	<p><b>ABD-7</b></p>





**FOUNDATION NOTES**

- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS TO NON-BEARING WALLS. WALL CONTROL JOINTS AND OPENINGS, UNLESS OTHERWISE NOTED, ALL ELEVATIONS ARE BASED ON A FINISHED FLOOR FINISH. REFER TO ARCHITECTURAL DRAWINGS FOR FINISHED FLOOR MATERIAL.
- TOP OF ALL FOOTINGS MUST BE AT ELEVATION 1'-4" UNLESS OTHERWISE NOTED.
- NOT ALL UTILITY LOCATIONS ARE SHOWN ON PLAN. THE CONTRACTOR SHALL DETERMINE THE LOCATIONS, SIZES, AND INVERTS OF UTILITIES. AT LOCATIONS WHERE UTILITIES PASS BELOW THE TOP OF FOOTING, THE CONTRACTOR SHALL PROVIDE A 12" DIA. SLEEVE THROUGH THE FOOTING WALL. THE CONTRACTOR MAY, AT THEIR OPTION, SLEEVE UTILITIES THROUGH THE FOOTING WALL. ALL PENETRATIONS IN MASONRY WALLS GREATER THAN 1/4" REQUIRE A BOND BEAM LITTEL.
- UNLESS OTHERWISE INDICATED, EXTEND WALL FOOTINGS A MINIMUM OF 6 INCHES BEYOND ENDS OF WALLS.

**KEY NOTES**

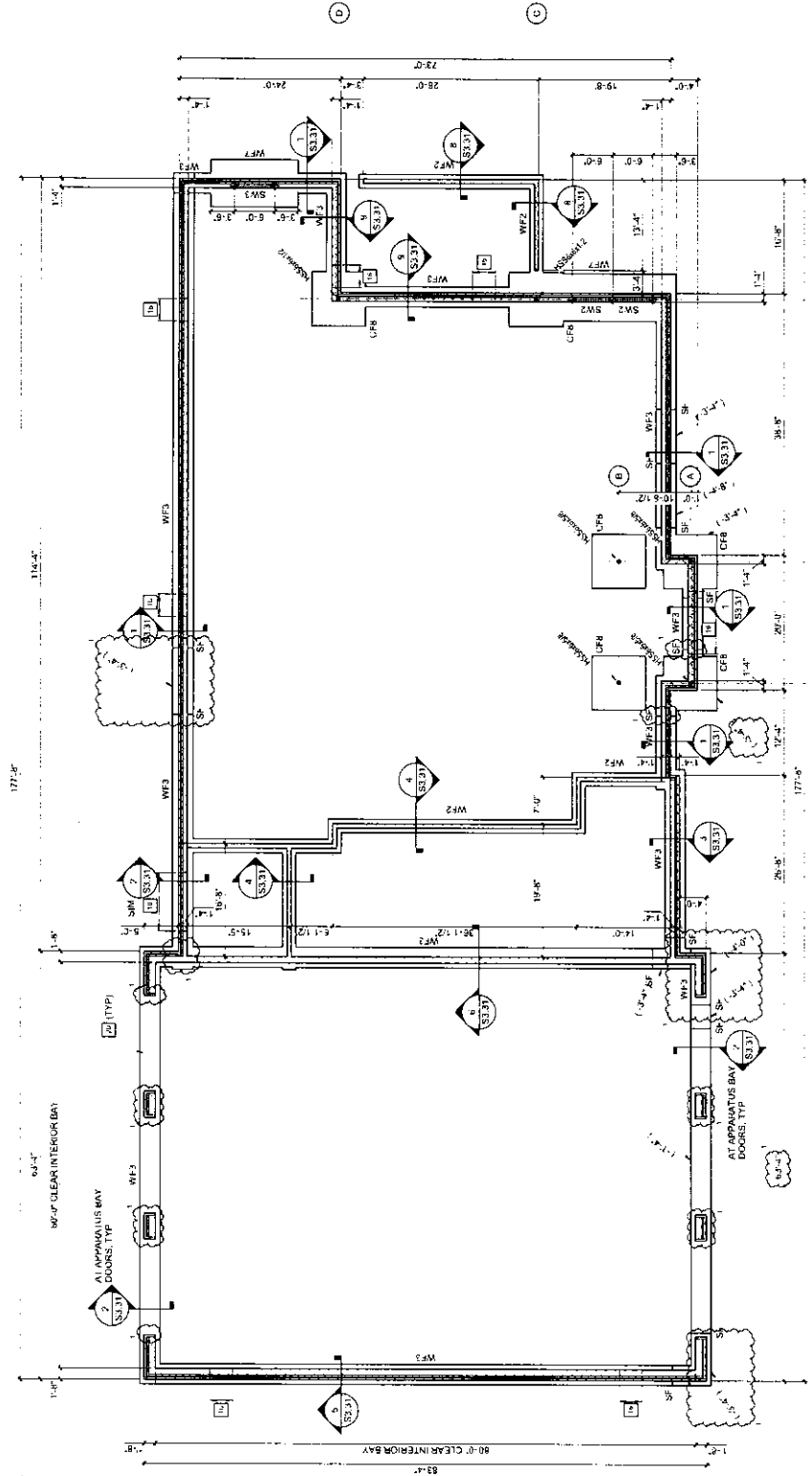
- WALL OPENING ABOVE, REFERENCE S3.12 AND ARCHITECTURAL DRAWINGS. MARK DOORS ABOVE, REFERENCE S3.13 AND ARCHITECTURAL DRAWINGS FOR DIMENSIONS.
- WALL OPENING BELOW, REFERENCE S3.12 AND ARCHITECTURAL DRAWINGS FOR DIMENSIONS.

**WALL FOOTING SCHEDULE**

MARK	SIZE	DEPTH	REINFORCING	TRANSVERSE
WF2	2'-0"	1'-0"	3-#4 BOT	#4 AT 24" OC BOT
WF3	3'-0"	1'-0"	4-#4 BOT	#4 AT 24" OC BOT
WF7	7'-0"	3'-0"	5-#6 TOP & BOT	#5 AT 12" OC TOP & BOT

**COLUMN FOOTING SCHEDULE**

MARK	SIZE	DEPTH	REINFORCING	TOP
CFB	8'-0"	2'-0"	9-#1 EW	9-#1 EW



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PLANNING  
 ARCHITECTURE  
 ENGINEERING

SCALE: 1/8" = 1'-0"

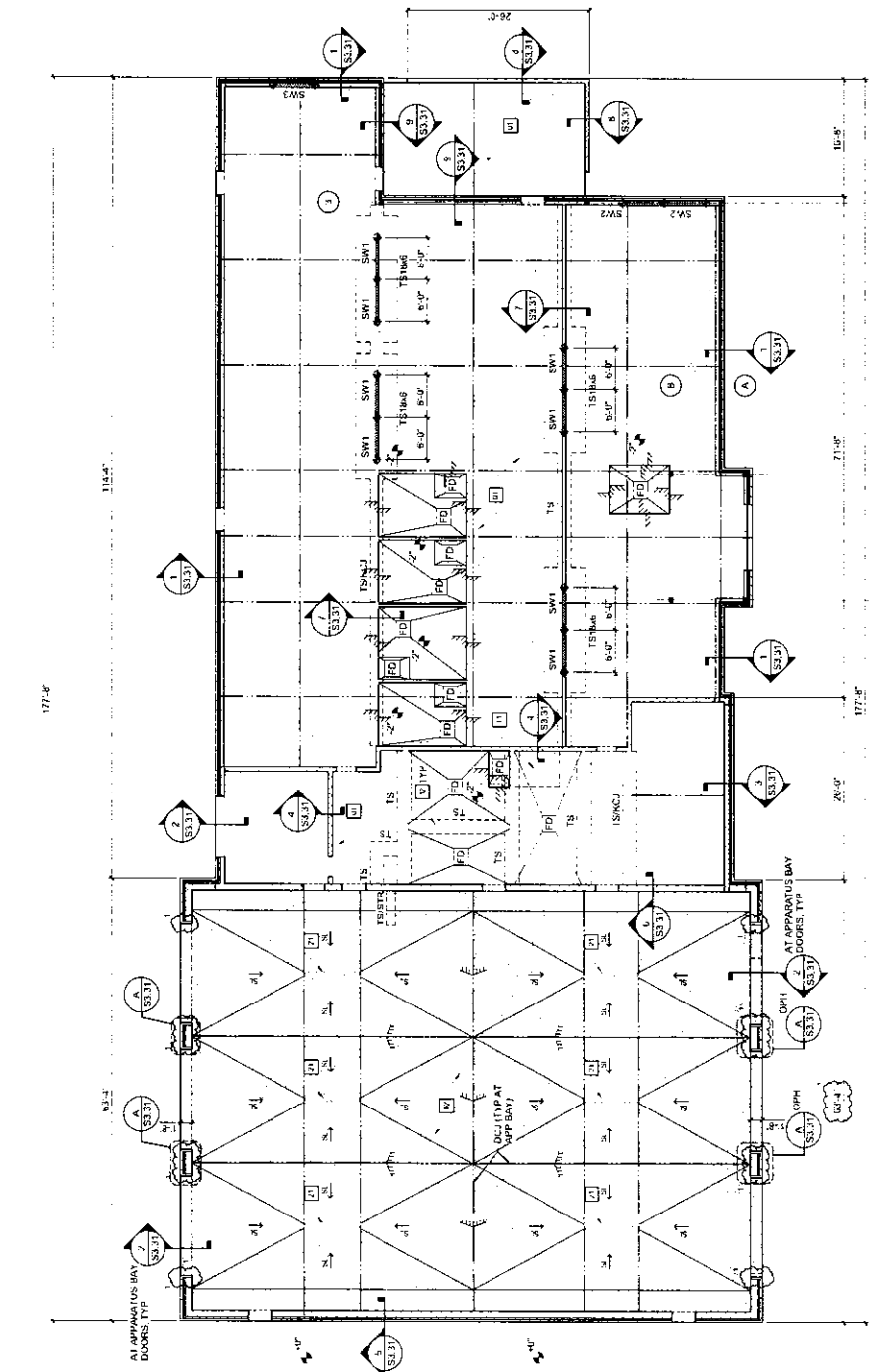
1 FOUNDATION PLAN  
 1/8" = 1'-0"

**SLAB-ON-GRADE NOTES**

1. SLAB-ON-GRADE JOINTS IN 4" SLAB SHALL BE SAWED JOINTS OR CONCRETE JOINTS. JOINTS SHALL BE LOCATED AS NOTED TO BE KEPT FOR CONSTRUCTION JOINTS. CONTRACTOR SHALL COORDINATE ALL SLAB JOINTS WITH JOINTS IN BONDED FLOOR ABOVE. CONTRACTOR SHALL PROVIDE A FINISH JOINT LOCATIONS. SLAB JOINTS SHALL BE DOVELEDED CONSTRUCTION JOINTS. REFER TO TYPICAL DETAIL PLACE 1'-0" x 4'-0" IN MIDDLE OF SLAB AT REINFORCING TURNERS WHERE A SLAB CONTROL JOINT DOES NOT OCCUR.
2. FLOOR DRAIN AND FLOOR SINKS ARE NOT SHOWN ON PLAN. REFER TO PLUMBING AND ARCHITECTURAL DRAWINGS FOR EXACT TRENCH DRAIN. REFER TO TYPICAL DETAIL FOR SLAB CONSTRUCTION AND PLUMBING DRAWINGS FOR EXTERIOR CONCRETE SLABS AND PAVING.
- 3.
- 4.
- 5.

**KEY NOTES**

- 01 IF CONCRETE SLAB ON GRADE WITH REINFORCING BARS AND 4" DEPTH OF POROUS HLL REINFORCE SLAB WITH 1/2" DIA. #2 WELDED WIRE REINFORCING PLACED 1/2" CLEAR RELY TOP OF SLAB. MAIN REINFORCEMENT IN POSITION ON ISOLERS. CHAIRS 4" CONCRETE SLAB ON GRADE OVER VAPOR RETARDER AND 3" DEPTH OF POROUS HLL REINFORCE SLAB WITH #4 AT 12" OC EA WAY LOCATED 2" CLEAR BELOW TOP OF SLAB. MAINTAIN DURING CONCRETE PLACEMENT. ISOLERS, CHAIRS OR SPACERS EXTRACTOR. REFER TO TYPICAL FOUNDATION AT EXTRACTOR PAD DETAIL ON S3.7 AND S3.8.
- 02 TRENCH DRAIN FOR WALL LOCATIONS. REFER TO ARCHITECTURAL DRAWINGS FOR WALL LOCATIONS.
- 03 TRENCH DRAIN. REFER TO TYPICAL DETAIL FOR SLAB CONSTRUCTION AND PLUMBING DRAWINGS FOR DRAIN.



1 SLAB-ON-GRADE PLAN  
 1/8" = 1'-0"

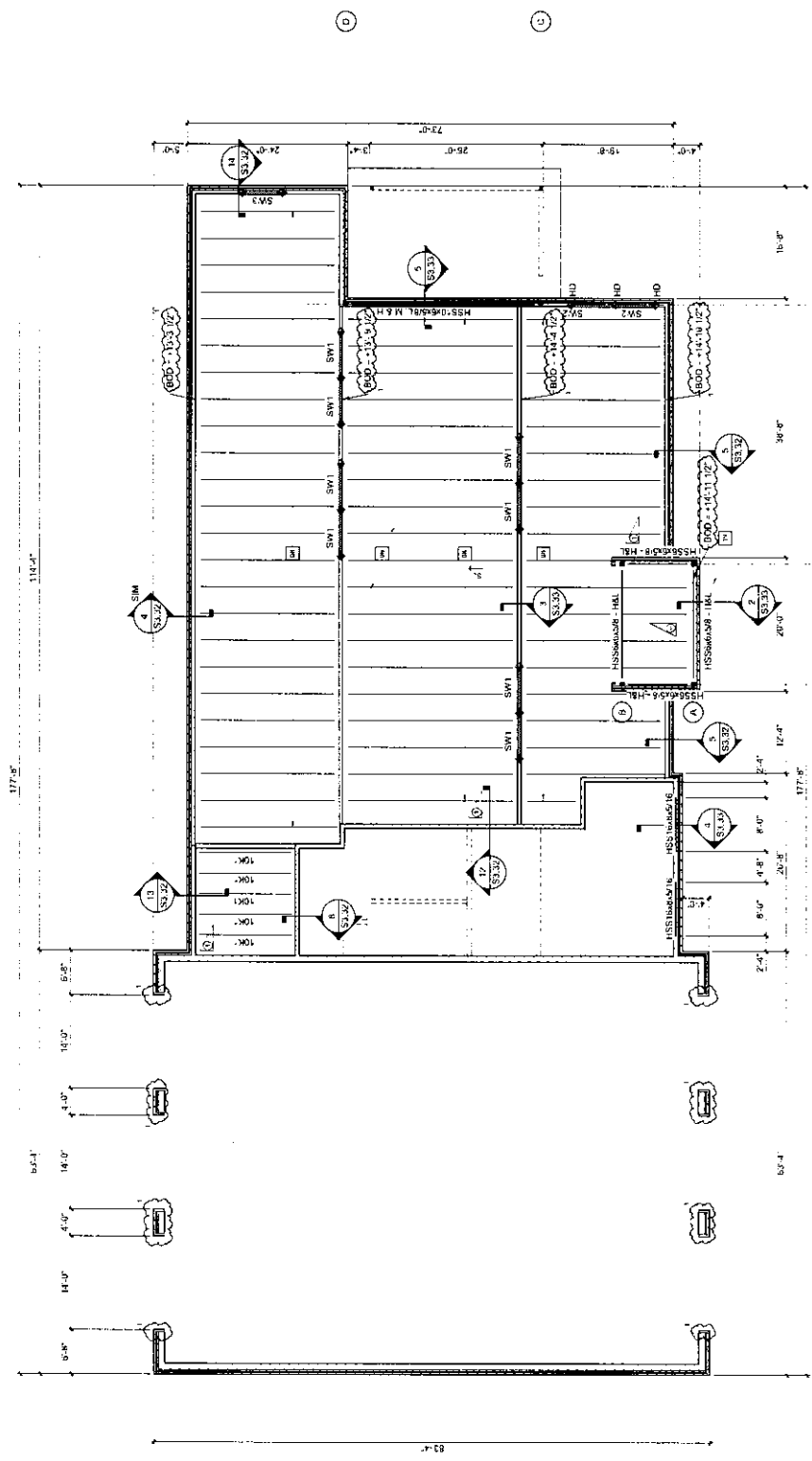


**FRAMING PLAN NOTES**

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES. DIMENSIONS NOT SHOWN SHALL BE AS SHOWN ON ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
2. TOP OF FINISHED FLOOR ELEVATION SHALL BE MEZZANINE ELEVATION +11.4' AFF.
3. COMPOSITE BEAMS SHALL BE EQUALLY SPACED NOT TO EXCEED 8'-0" TO SUPPORT STEEL ROOF DECK.
4. ROOF JOISTS SHALL BE EQUALLY SPACED NOT TO EXCEED 2'-0" OC TO COLD-FORMED METAL DECK AT 1'-8" OC MAXIMUM.
5. COORDINATE AND VERIFY ALL MEMBER LOCATIONS, DIMENSIONS, CONNECTIONS AND ALL MECHANICAL EQUIPMENT LOCATIONS. MECHANICAL EQUIPMENT WITH THE ACTUAL EQUIPMENT FURNISHED. INCLUDE THIS INFORMATION ON THE JOIST AND STRUCTURAL STEEL ELEVATIONS.
6. BOTTOM OF DECK ELEVATIONS ARE SHOWN ON PLAN. INTERMEDIATE ELEVATIONS SHALL BE STRAIGHT LINES BETWEEN GIVEN ELEVATIONS. INTERPOLATE AS REQUIRED FOR INTERMEDIATE BEARING ELEVATIONS UNLESS OTHERWISE NOTED.

**KEY NOTES**

- 06 1/2" STEEL ROOF DECK, REFERENCE STEEL DECK NOTES.
- 06 HANGERS TO BE FORMED UP JUST IN CASE TO ALIGN JOISTS NECESSARY. PROVIDE BRIDGING AT 6'-0" OC MAX.
- 11 PREFABRICATED METAL CANOPY, REFERENCE PREFABRICATED METAL CANOPY ATTACHMENT DETAIL ON S3.06.



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North Arrow  
 Scale: 1/8" = 1'-0"

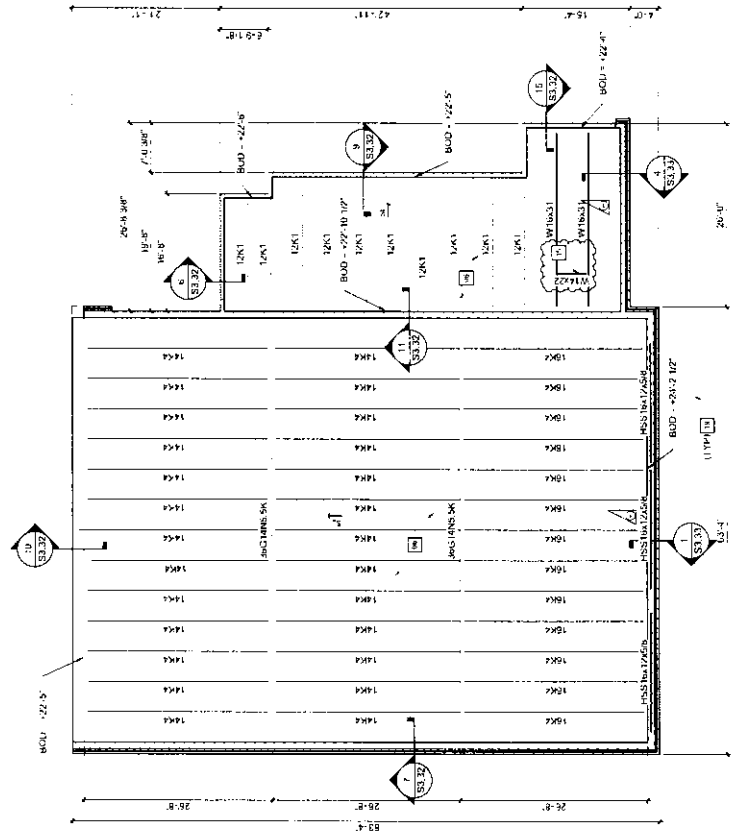
1 LOW ROOF FRAMING PLAN  
 1/8" = 1'-0"

**KEY NOTES**

1. ALL STEEL JOIST BEAMS REFERENCED BY DIMENSIONS SHALL BE SHOWN WITH FINISHED FLOOR ELEVATION. MEZZANINE ELEVATION SHALL BE SHOWN WITH FINISHED FLOOR ELEVATION.
2. TOP OF FINISHED FLOOR ELEVATION SHALL BE MEZZANINE ELEVATION.
3. ALL COMPOSITE BEAMS SHALL BE EQUALLY SPACED NOT TO EXCEED 8'-0" TO SUPPORT STEEL ROOF DECK.
4. ROOF JOISTS SHALL BE EQUALLY SPACED NOT TO EXCEED 3'-0" O.C TO COLUMN OR WALL JOISTS AT 14'-0" O.C MAXIMUM.
5. ALL JOIST BEAMS SHALL BE SHOWN WITH FINISHED FLOOR ELEVATION.
6. ALL JOIST BEAMS SHALL BE SHOWN WITH FINISHED FLOOR ELEVATION.
7. ALL JOIST BEAMS SHALL BE SHOWN WITH FINISHED FLOOR ELEVATION.
8. ALL JOIST BEAMS SHALL BE SHOWN WITH FINISHED FLOOR ELEVATION.

**FRAMING PLAN NOTES**

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. TOP OF FINISHED FLOOR ELEVATION SHALL BE MEZZANINE ELEVATION.
3. ALL COMPOSITE BEAMS SHALL BE EQUALLY SPACED NOT TO EXCEED 8'-0" TO SUPPORT STEEL ROOF DECK.
4. ROOF JOISTS SHALL BE EQUALLY SPACED NOT TO EXCEED 3'-0" O.C TO COLUMN OR WALL JOISTS AT 14'-0" O.C MAXIMUM.
5. ALL JOIST BEAMS SHALL BE SHOWN WITH FINISHED FLOOR ELEVATION.
6. ALL JOIST BEAMS SHALL BE SHOWN WITH FINISHED FLOOR ELEVATION.
7. ALL JOIST BEAMS SHALL BE SHOWN WITH FINISHED FLOOR ELEVATION.
8. ALL JOIST BEAMS SHALL BE SHOWN WITH FINISHED FLOOR ELEVATION.



**1 HIGH ROOF FRAMING PLAN**  
1/16" = 1'-0"

Project No. **1658**

Owner: **GREENVILLE FIRE RESCUE #7**

Location: **GREENVILLE, NC 28909**

Architect: **Stewart Cooper Newell**

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Sheet No. **S3.15**

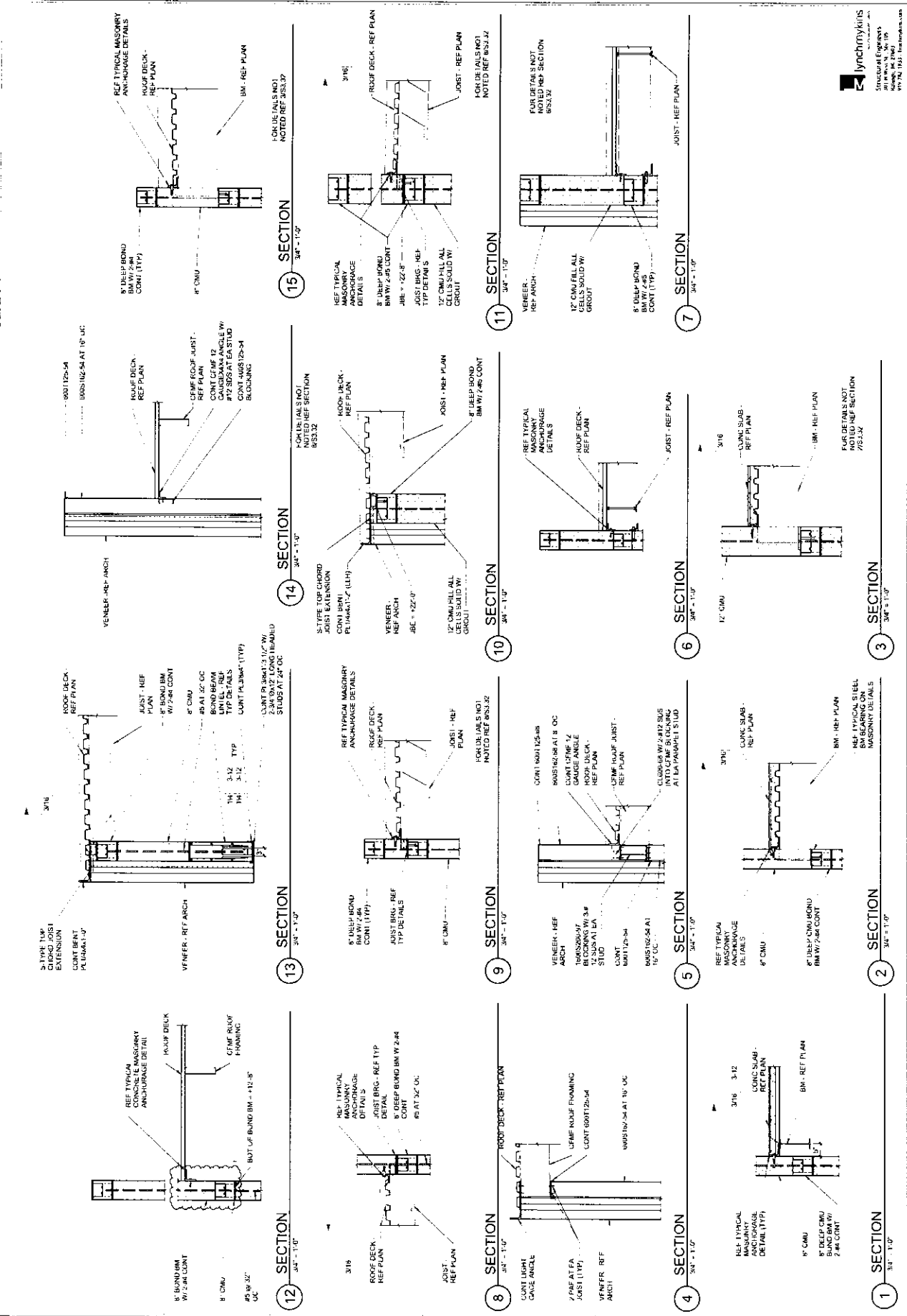
**HIGH ROOF FRAMING PLAN**

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