



Project Status: CONSTRUCTION  
DOCUMENTS

# GUY SMITH STADIUM IMPROVEMENTS

2113 Myrtle Ave, Greenville, NC 27834

Issue Date: 9/22/2023

Project Type: Stadium Improvements

Project No. 23-0176

## Project Status: CONSTRUCTION DOCUMENTS

Owner  
GUY SMITH STADIUM IMPROVEMENTS  
2113 Myrtle Ave, Greenville, NC 27834

### PROJECT DIRECTORY

#### OWNER

**City of Greenville, NC**  
200 West Fifth St. Greenville, NC 27858  
Mark Nottingham  
Mnottingham@greenvillenc.gov

#### ARCHITECTURE

**Mammoth Sports Construction**  
601 E Wyandotte St. Meriden, KS 66512  
David Devore, Head of Design and  
Architecture  
David@mammothbuilt.com

#### CIVIL

**Mammoth Sports Construction**  
601 E Wyandotte St. Meriden, KS 66512  
Dylan Medlock, Director of Engineering  
Dmedlock@mammothbuilt.com

#### MEP

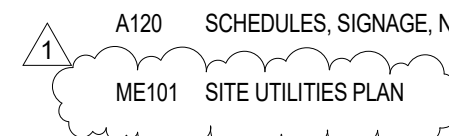
**RTM Engineering Consultants**  
9225 Indian Creek Pkwy. Suite 1075  
Overland Park, KS 66210  
Keith Hammerschmidt  
Keith.Hammerschmidt@rtmec.com

### SCOPE OF WORK

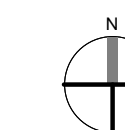
Phase 1 - Relocate foul line fences, warning track, and bullpens. Remove and build new batting cages and hitting net system.  
Phase 2 - Build new bleachers, restrooms, concessions, and merchandise structures.

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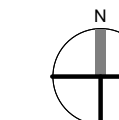
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### LOCATION MAP



### SITE MAP



FOR BID ONLY

#### Revision Key

No.	Date	Revision
1	9/29/23	REV #1

Project Manager: \_\_\_\_\_

BH

Project Architect: \_\_\_\_\_

DF

Checked By: \_\_\_\_\_

DD

Project Number: \_\_\_\_\_

23-0176

Date of Issue: \_\_\_\_\_

Issue Date: 9/22/2023

Sheet Number: \_\_\_\_\_

# G000

COVER SHEET



1.0 GENERAL CIVIL CONSTRUCTION NOTES:

1.1 SCOPE OF THE WORK

A. SITE WORK, INCLUDING FINE GRADING, CHAINLINK FENCE INSTALLATION, AND ATHLETIC FIELD APPURTENANCES.

1.2 SPECIFICATIONS WHICH APPLY:

A. CONTRACTOR SHALL FOLLOW THE PROJECT MANUAL FOR GUY SMITH STADIUM DOCUMENTS INCLUDED AS PART OF THIS PROJECT.

1.3 OVERALL PROJECT GENERAL NOTES

A. ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS AND CLARIFICATIONS ISSUED BY THE ENGINEER ALL WORK PRESENTED SHALL CONFORM TO ANY CONTRACT DOCUMENTS, INCLUDING THE PROJECT MANUAL FOR GUY SMITH STADIUM.

B. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

C. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

D. RESTORE ALL EXISTING AREAS AFFECTED BY DEMOLITION AND RELATED NEW CONSTRUCTION TO THEIR ORIGINAL CONDITION.

2.0 SITE WORK

2.1 GENERAL

A. THE SCOPE OF THE WORK WILL INCLUDE FINE GRADING, CONCRETE WORK, INSTALLATION OF ATHLETIC RELATED FURNISHINGS, AND GENERAL SITE RESTORATION UPON COMPLETION.

2.2 CLEARING AND GRUBBING

A. ALL CLEARING AND GRUBBING SHALL BE CONSIDERED INCIDENTAL.

2.3 GRADING:

A. WORK SHALL INCLUDE - STRIPPING AND REMOVAL OF TOPSOIL AND UNSUITABLE SOILS AND REGRADING OF SITE TO INDICATED GRADES. TOPSOIL REMOVAL AND SUBGRADE PREPARATION FOR LIGHTLY LOADED PAVEMENT, BATTING CAGE OR SIMILAR INSTALLATION.

B. THE CONTRACTOR SHALL MAINTAIN DRAINAGE THROUGH THE PROJECT AREA AT ALL TIMES. ALL MATERIALS AND LABOR NECESSARY TO MAINTAIN DRAINAGE (DEWATERING) SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, UNLESS OTHERWISE SPECIFIED.

C. TOPSOIL AND UNSUITABLE SOILS SHALL BE EXCAVATED AS NEEDED. THE SUBGRADE SHALL BE APPROVED BY THE CIVIL ENGINEER OF RECORD OR A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF FILL / AGGREGATE. THE EXCAVATION SHALL ALWAYS BE MAINTAINED FREE OF WATER.

D. SALVAGED MATERIAL SHALL BE USED TO FILL GRASSED AREAS THAT WERE DISTURBED, AS REQUIRED, LEAVING ROOM FOR 6" MINIMUM OF TOPSOIL IN THE LANDSCAPED AREAS. UNSUITABLE MATERIALS SUCH AS ROCKS, BOULDERS, TREE ROOTS, ETC. SHALL BE REMOVED FROM THE BACKFILL MATERIAL AND DISPOSED OF OFF-SITE. EXCESS EXCAVATED MATERIAL SHALL BE HAULED FROM THE SITE OR TO A SUITABLE PLACE ON SITE DESIGNATED BY OWNER.

2.5 SUBGRADE:

A. EXECUTION:

1. SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH NCDOT SPECIFICATIONS.

B. FINAL RESULT

1. LOW SPOTS OR POCKETS FROM WHICH WATER WILL NOT DRAIN ARE NOT ACCEPTABLE.

2.6 SITE SOILS:

A. AS PER THE USDA WEB SOIL SURVEY TOOL, THE SITE CONSISTS OF EXUM FINE SANDY LOAM (0-1%) AND GOLDSBORO SANDY LOAM (0-1%).

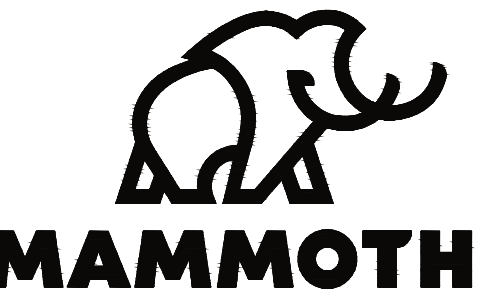
2.7 AGGREGATES AND STRUCTURAL FILL:

A. GRANULAR STRUCTURAL FILL: THE GRANULAR STRUCTURAL FILL SHOULD CONSIST OF A PIT-RUN OR PROCESSED SAND OR GRAVEL HAVING A MAXIMUM PARTICLE SIZE OF 3 INCHES WITH LESS THAN 15 PERCENT BY WEIGHT PASSING THE #200 SIEVE. THE GRANULAR STRUCTURAL FILL SHOULD BE PLACED IN LIFTS OF UP TO 1 FOOT IN THICKNESS.

B. SELECT GRANULAR FILL: THE SELECT GRANULAR FILL SHOULD CONSIST OF A MEDIUM TO COARSE GRAINED, FREE-DRAINING SAND OR ROCK HAVING A MAXIMUM PARTICLE SIZE OF 1 INCH WITH LESS THAN 5 PERCENT BY WEIGHT PASSING THE #200 SIEVE. THE SELECT GRANULAR FILL SHOULD BE PLACED IN LIFTS OF UP TO 1 FOOT IN THICKNESS.

2.8 SITE RESTORATION:

A. ALL SITE WORK THAT IS NOT ATHLETIC FIELD RELATED TO BE SEEDED AS SHOWN ON THE SITE RESTORATION PLAN. ALL SEEDING OPERATIONS TO FOLLOW NCDOT SPECIFICATIONS.



ISSUED FOR BID



**GUY SMITH STADIUM  
IMPROVEMENTS**  
2113 Myrtle Ave  
Greenville, NC 27834

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**Revision Key**

No.	Date	Revision

Project Manager: --

Project Engineer: DM

Checked By: DR

Project Number: 23-0176

Date of Issue: 09-20-2023

Sheet Number:

**G - 001**

GENERAL NOTES





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Project Manager: \_\_\_\_\_

Project Engineer: \_\_\_\_\_ DM

Checked By: \_\_\_\_\_ DR

Project Number: \_\_\_\_\_ 23-0176

Date of Issue: \_\_\_\_\_ 08-14-2023

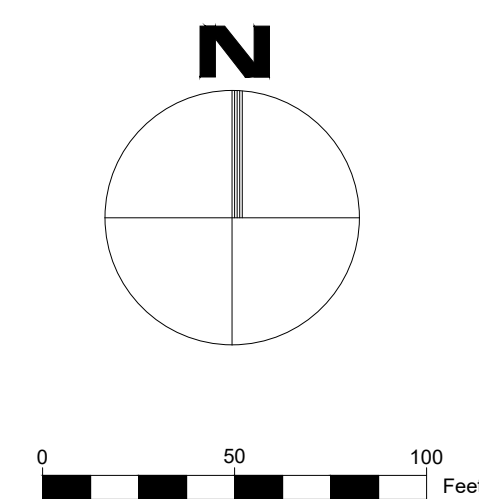
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**G - 002**

SURVEY CONTROL



**SURVEY CONTROL MAP**



**SURVEY CONTROL AND INFORMATION**

DESCRIPTION:  
ATHLETIC FACILITY IMPROVEMENTS IN GREENVILLE, NC  
GREENVILLE, PITT COUNTY, NORTH CAROLINA  
LAT: 35.602525° N  
LONG: 77.395133° W

BASED ON NAD83, STATE PLANE NORTH CAROLINA (3200) AND NAVD88.  
NO BENCHMARK FOUND - ASSUMED VERTICAL W/ AUTONOMOUS GPS  
SHOT. ALL PLAN ELEVATIONS ARE RELATIVE TO THE CONTROL.

CP #1000 N: 2477300.268 E: 678095.014 ELEV: 62.432	CP #1001 N: 2477172.647 E: 677944.194 ELEV: 63.172	CP #1002 N: 2476808.883 E: 678040.352 ELEV: 63.037
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CP #1003 N: 2476884.845 E: 678577.334 ELEV: 62.310	CP #1004 N: 2477378.924 E: 678429.476 ELEV: 61.945	CP #1005 N: 2477744.654 E: 677949.053 ELEV: 61.701
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Revision Key

No.	Date	Description
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Project Manager: BH

Project Architect: DF

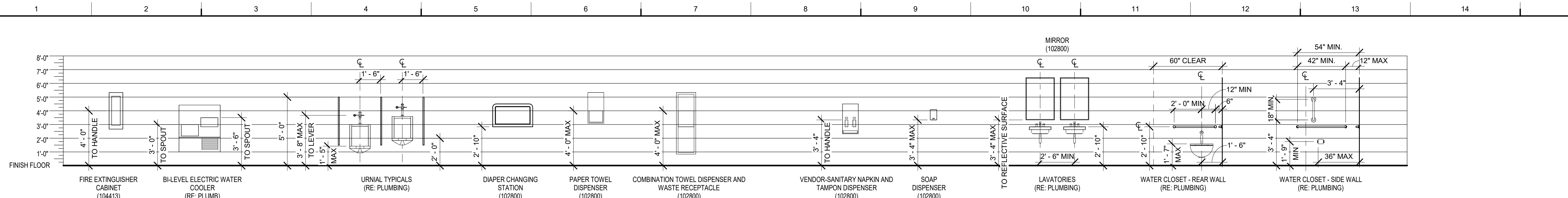
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Project Number: 23-0176

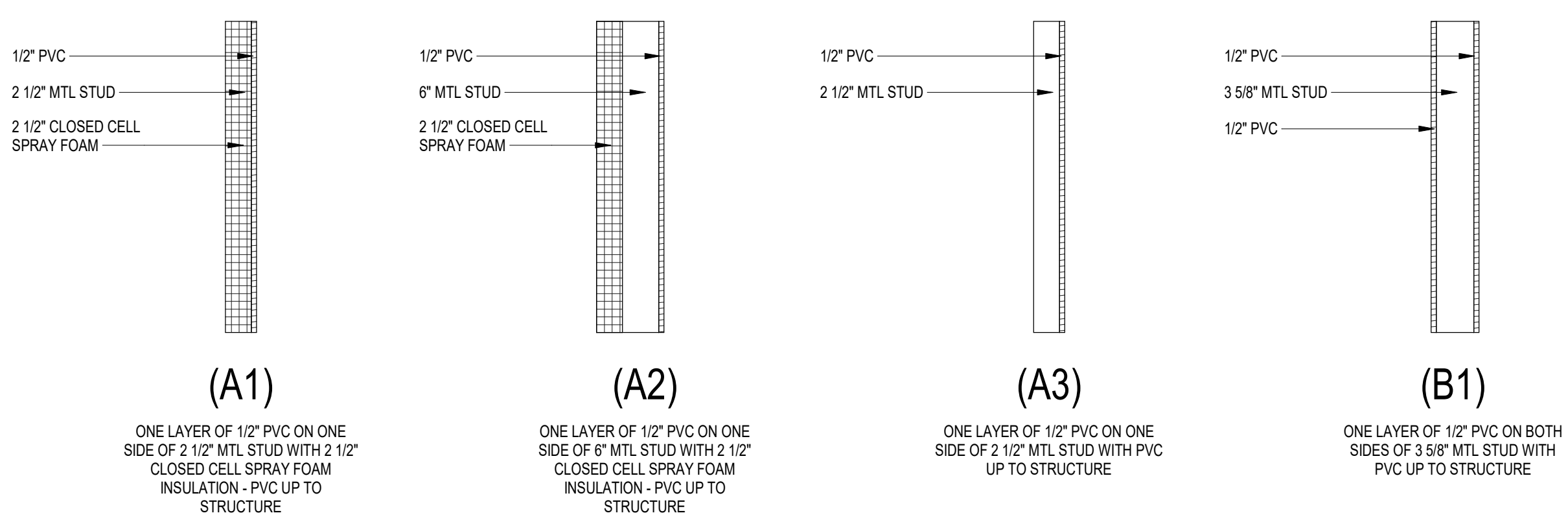
Date of Issue: Issue Date: 9/20/2023

Sheet Number:

**G003**  
CODE SUMMARY



Scale 1/4" = 1'-0"  
**TYPES - TYPICAL FIXTURE HEIGHTS**



Scale 1" = 1'-0"  
**TYPES - WALLS**

**PROJECT INFORMATION**  
PROJECT NAME: GUY SMITH STADIUM IMPROVEMENTS  
OWNER: CITY OF GREENVILLE, NC  
LOCATION: 2113 MYRTLE AVE., GREENVILLE, NC 27834  
DESCRIPTION: IMPROVEMENTS TO GUY SMITH STADIUM FOR COASTAL PLAIN LEAGUE EXPANSION TEAM

**APPLICABLE DESIGN BUILDING CODES AND STANDARDS**  
2018: NORTH CAROLINA STATE BUILDING CODE  
2018: NORTH CAROLINA STATE BUILDING CODE: FIRE PREVENTION CODE  
2018: NORTH CAROLINA ENERGY CONSERVATION CODE  
2020: NORTH CAROLINA ELECTRICAL CODE: NFPA 72, 2013  
2018: NORTH CAROLINA FUEL GAS CODE  
2018: NORTH CAROLINA PLUMBING CODE  
2018: NORTH CAROLINA MECHANICAL CODE  
2010: ADA ACCESSIBILITY GUIDELINES (ADAAG)  
2009: NORTH CAROLINA ACCESSIBILITY CODE

**PROJECT DATA SUMMARY**  
OCCUPANCY CLASSIFICATION: A-5, ASSEMBLY  
CONSTRUCTION TYPE: TYPE II-B  
ALLOWABLE AREA: UL  
ALLOWABLE HEIGHT# OF STORIES: 55 FEET/UL  
ZONING: CH, HEAVY COMMERCIAL

**INCIDENTAL USE AREAS - SEPARATION-PROTECTION REQUIREMENTS (TABLE 609)**  
THE FOLLOWING INCIDENTAL USE AREAS SHALL BE SEPARATED FROM THE REMAINDER OF THE BUILDING BY CONSTRUCTION CAPABLE OF RESISTING THE PASSAGE OF SMOKE AND BY CONSTRUCTION CAPABLE OF RESISTING THE PASSAGE OF FIRE OR PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM.

- STORAGE ROOMS OVER 100 SF.
- MECHANICAL ROOMS, WHERE ANY PIECE OF EQUIPMENT IS OVER 400,000 BTU/HR OUTPUT OR BOILERS OVER 15 PSVI 10 HP.

**FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HRS) - (TABLE 601)**

STRUCTURAL FRAME (COLUMNS, GIRDERS, BEAMS, TRUSSES SPANDRELS):	0 HRS
BEARING WALLS (EXTERIOR):	0 HRS
BEARING WALLS (INTERIOR):	0 HRS
NON-BEARING WALLS (EXTERIOR):	0 HRS
NON-BEARING WALLS (INTERIOR):	0 HRS
FLOOR CONSTRUCTION (BEAMS, JOISTS, DECKING):	0 HRS
ROOF CONSTRUCTION (BEAMS, JOISTS, DECKING):	0 HRS

**FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (HRS) (TABLE 602)**

USE GROUP: A-5  
FIRE SEPARATION DISTANCE IN FEET (HRS): X ≥ 30' = 0 HRS RATING

**OCCUPANCY LOAD CRITERIA**  
(SEE CODE PLANS FOR OCCUPANCY AND EGRESS PLAN CALCULATIONS)

ASSEMBLY SPACES:	15SF NET / OCC. (UNCONCENTRATED - TABLES AND CHAIRS)
BUSINESS AREAS:	100SF GROSS / OCC.
DAY CARE:	35SF NET / OCC.
LOCKER ROOMS:	50SF GROSS / OCC.
EXERCISE ROOMS:	50SF GROSS / OCC.
KITCHENS:	200SF GROSS / OCC.
ACCESSORY STORAGE AREAS:	300SF GROSS / OCC.
MECHANICAL EQUIPMENT ROOM:	300SF GROSS / OCC.
SOCCER:	200 MAXIMUM OCCUPANTS ON THE FIELD
ASSEMBLY W/ FIXED SEATS:	NUMBER OF FIXED SEATS INSTALLED

**EGRESS WIDTH PER OCCUPANT SERVED**  
STAIRWAYS (INCHES/ OCCUPANT): 0.080"

**NEW BLEACHERS:**  
NEEDED: 27.6' PROVIDED: 108'  
54" WIDE STAIR (54" CLEAR) = 675 MAX OCCUPANTS  
72" WIDE STAIR (72" CLEAR) = --- MAX OCCUPANTS  
60" WIDE STAIR (60" CLEAR) = --- MAX OCCUPANTS

**OTHER EGRESS COMPONENTS (INCHES/ OCCUPANT): 0.065"**  
NEEDED: 90.54' PROVIDED: 198'  
36" DOOR (33" clear) = --- MAX OCCUPANTS  
72" DOOR (68" clear) = --- MAX OCCUPANTS

**COMMON PATH OF EGRESS TRAVEL**  
OCCUPANCY - A: 30' MAX PROVIDED: 16' - 6 1/2'

**NUMBER OF EXITS PER OCCUPANT LOAD**  
1 EXITS: 40 MAX  
2 EXITS: 1-500  
3 EXITS: 501-1,000  
4 EXITS: GREATER THAN 1000

**NOTE:** SEPARATION DISTANCE OF EXIT DOORS OR EXIT ACCESS SHALL NOT BE LESS THAN 1/2 THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION.

**MINIMUM CORRIDOR WIDTH**  
THE MINIMUM CORRIDOR WIDTH SHALL BE AS DETERMINED BY THE NUMBER OF OCCUPANTS SERVED, BUT NOT LESS THAN 44", OR 36" CLEAR WITH A REQUIRED CAPACITY OF LESS THAN 50.

**DEAD ENDS**  
20' IN LENGTH (1020.4)

**PLUMBING CODE REVIEW**  
MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES:

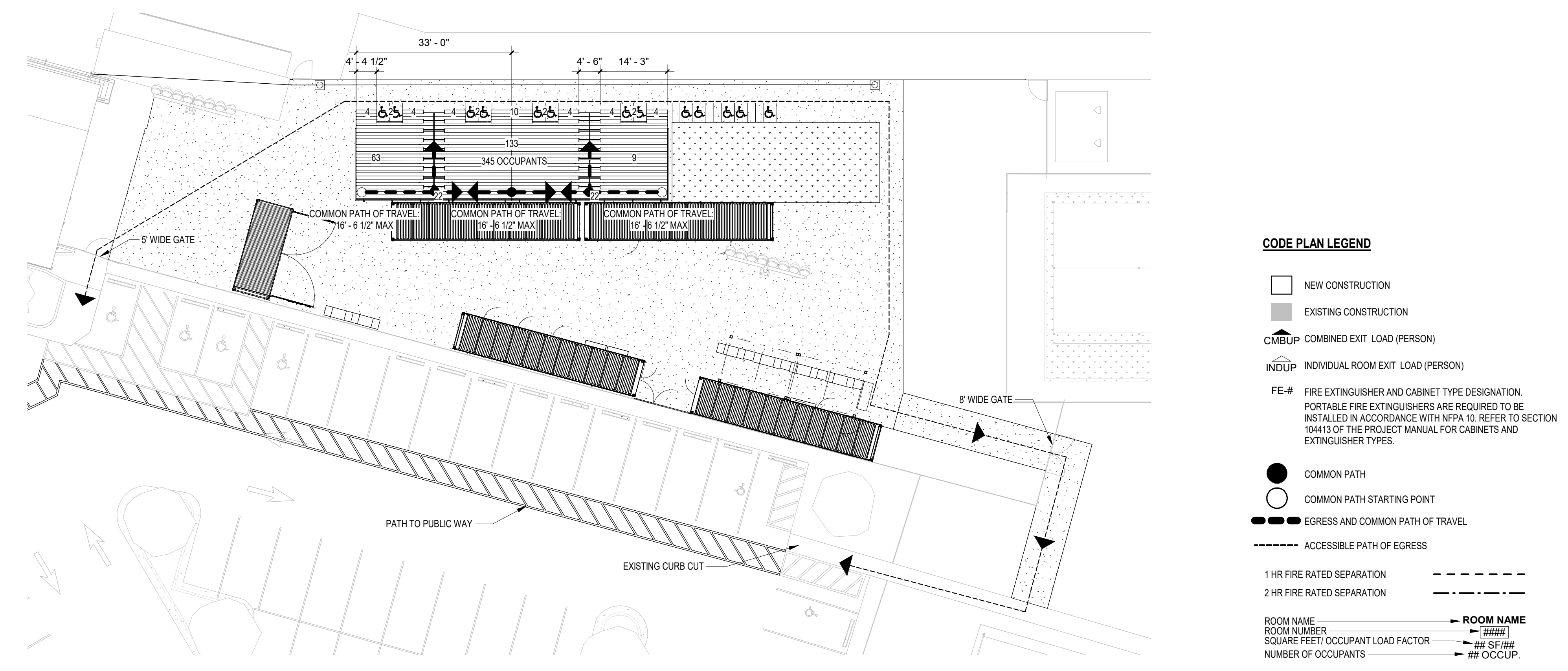
**OCCUPANCY TYPE:** A-5  
WATER CLOSETS REQ. (MALE): 1 PER 75  
WATER CLOSETS REQ. (FEMALE): 1 PER 40  
LAVATORIES REQ. (M / F): M: 1 PER 200 / F: 1 PER 150  
DRINKING FOUNTAINS: 1 PER 1,000  
SERVICE SINKS: 1

**TOTAL OCCUPANTS PER FLOOR: 1,509**

1,252 EXISTING SEATS - 98 EXISTING SEATS COVERED + 355 NEW SEATS = 1,509

OCC.	PEOPLE	WCs	URINALS	LAVS	DRINKING FOUNTAINS
		REQ / PROVIDED	REQ / PROVIDED	REQ / PROVIDED	REQ / PROVIDED
M:	755	10 / 13	MAX 8 / 7	4 / 4	- / -
W:	755	19 / 16	- / -	5 / 8	- / -
TOTAL:	1,509	29 / 32	- / 7	9 / 15	2 / -

**EXISTING SEATS REMOVED FROM GRANDSTAND**  
98 SEATS



**CODE PLAN LEGEND**

- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- CMBUP COMBINED EXIT LOAD (PERSON)
- INDUP INDIVIDUAL ROOM EXIT LOAD (PERSON)
- FE-# FIRE EXTINGUISHER AND CABINET TYPE DESIGNATION. PORTABLE FIRE EXTINGUISHERS ARE REFERRED TO BE INSTALLED IN ACCORDANCE WITH NFPA 10. REFER TO SECTION 104413 OF THE PROJECT MANUAL FOR CABINETS AND EXTINGUISHER TYPES.
- COMMON PATH
- COMMON PATH STARTING POINT
- EGRESS AND COMMON PATH OF TRAVEL
- ACCESSIBLE PATH OF EGRESS
- 1 HR FIRE RATED SEPARATION
- 2 HR FIRE RATED SEPARATION
- ROOM NAME
- ROOM NUMBER
- SQUARE FEET / OCCUPANT LOAD FACTOR
- NUMBER OF OCCUPANTS
- DOOR NUMBER
- OCCUPANT EGRESS
- EGRESS WIDTH REQUIRED
- EGRESS WIDTH PROVIDED

**A1** Scale 1/16" = 1'-0"  
**CODE PLAN PLAZA - PHASE 2**



CITY OFF STREET PARKING REQUIREMENTS - PER SEC. 9-4-262 GREENVILLE, NC CODE OR ORDINANCE  
 ATHLETIC, SPORTS RECREATION, OR SIMILAR HEALTH CLUB - 1 SPACE PER 300 STORAGE FEET OF NON STORAGE AREA, PLUS 1 SPACE PER EMPLOYEE, PLUS REQUIRED SPACES FOR ASSOCIATED USES SUCH AS LOUGES, RESTAURANTS AND THE LIKE.

AUDITORIUM, CIVIC CENTER, COLISEUM AND THE LIKE 1 SPACE PER 8 SEATS.

**EXISTING PARKING SPOTS**  
 EXISTING PARKING SPOTS: 169 + OVERFLOW GRASS PARKING SPOTS 246 = 415 TOTAL EXISTING SPACES  
 STANDARD PARKING SPOTS: 152  
 ACCESSIBLE PARKING SPOTS: 6

**REQUIRED PARKING SPOTS**  
 EXISTING BUILDING NON-STORAGE SQUARE FOOTAGE: 3,345 SQ. FT.  
 NEW PUBLIC PLAZA/ACTIVITY AREAS: 6,955 SQ. FT.

TOTAL: 10,300 SQ. FT.

EXISTING BLEACHER SEATING: 1,155 SEATS  
 NEW BLEACHER SEATING: 342 SEATS

TOTAL: 1,497 SEATS

1300 STORAGE FEET OF NON STORAGE AREA = 35 REQUIRED SPOTS  
 18 SEATS = 188  
 1:1 EMPLOYEE = 20 REQUIRED SPOTS

TOTAL: 243 PARKING SPOTS

ACCESSIBLE PARKING MINIMUM: 7 ACCESSIBLE SPOTS (2 VAN)

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 Mammoth Sports Construction



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 21113 Myrtle Ave, Greenville, NC 27834

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Revision Key

No.	Date	Description

Project Manager: BH

Project Architect: DF

Checked By: Checker

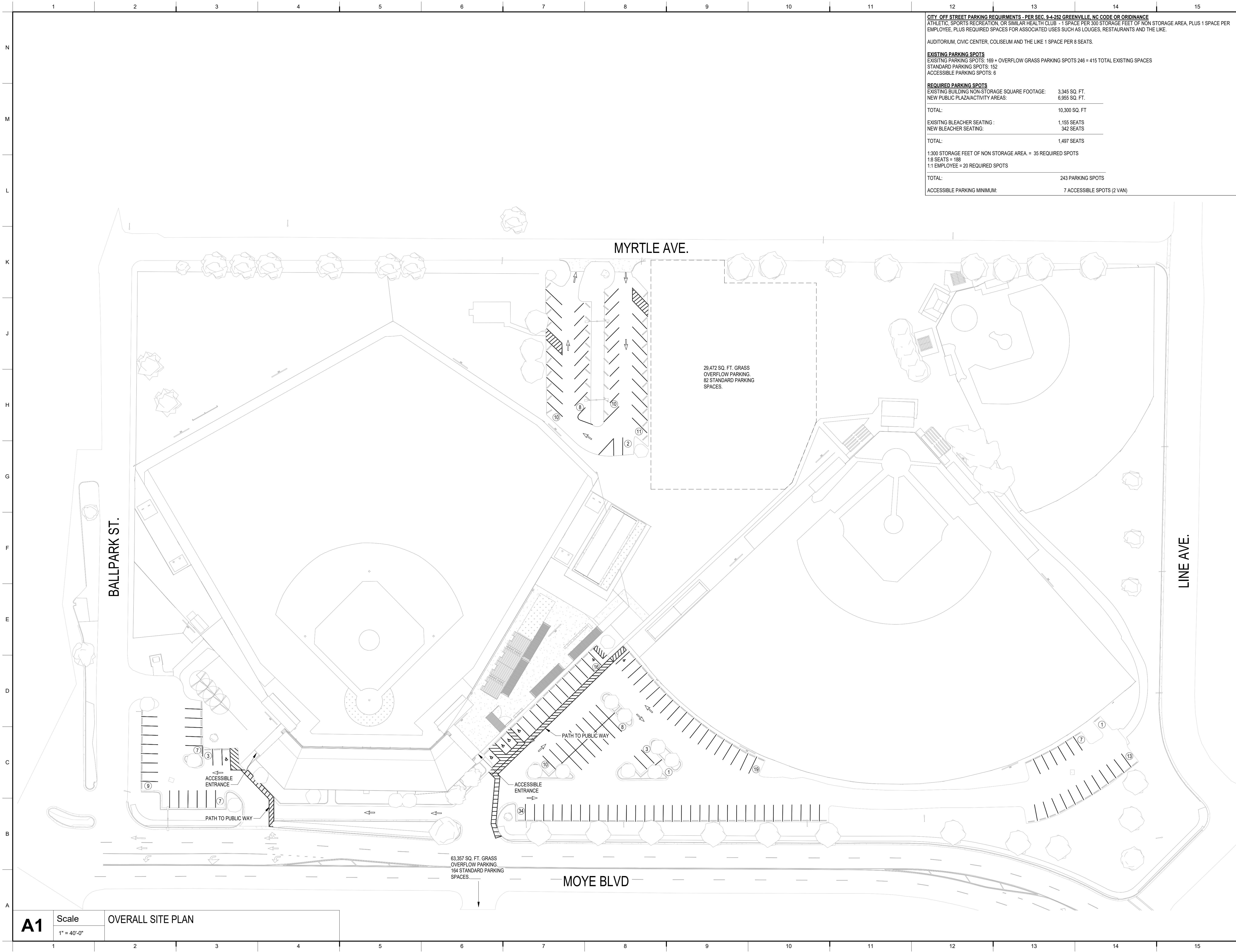
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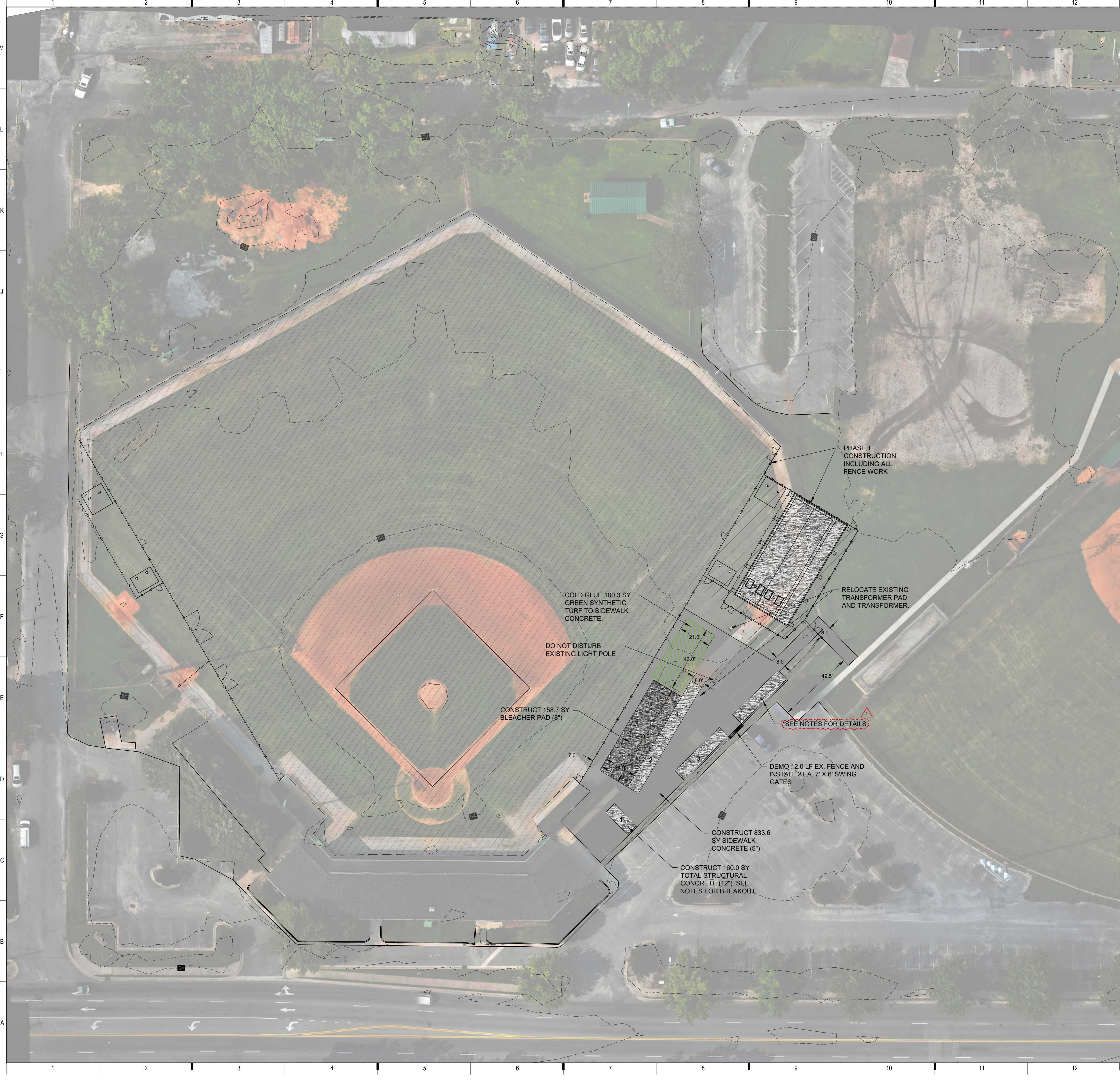
**G004**

CODE AND PARKING SITE  
 PLAN

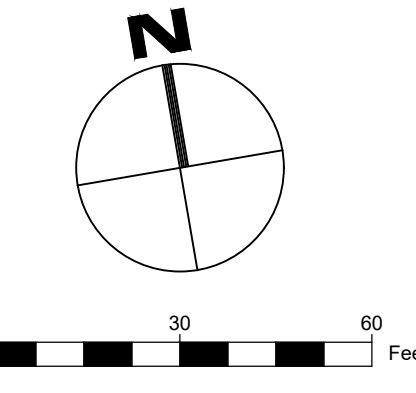


**A1** Scale OVERALL SITE PLAN  
 1" = 40'-0"





**SITE PLAN**



**SITE PLAN NOTES:**

1. CONCRETE SIDEWALK AND BLEACHER PAD SHALL BE CONSTRUCTED AT A MINIMUM 0.3% CROSS SLOPE CONDUCTIVE TO STORMWATER RUNOFF.
2. DOWEL ALL SLABS AND SEPARATE CONCRETE POURS TOGETHER TO LIMIT DIFFERENTIAL SETTLEMENT.
  - 2.1. DOWEL WITH #4 BARS. SPACING OF DOWELS SHALL BE BETWEEN 12" AND 24"
  - 2.2. DOWEL EMBEDMENT SHALL BE BETWEEN 12" AND 18"
3. STRUCTURAL SLAB
  - 3.1. 12" THICKNESS
  - 3.2. 5000 PSI CONCRETE MIX
  - 3.3. 4% AIR ENTRAINMENT
  - 3.4. #5 BARS 12" ON CENTER EACH WAY
  - 3.5. THICKENED TURNED DOWN EDGE. 8" AT 18" THICK
4. BLEACHER PAD
  - 4.1. 8" THICKNESS
  - 4.2. 4000 PSI CONCRETE MIX
  - 4.3. 4% AIR ENTRAINMENT
  - 4.4. #4 BARS 12" ON CENTER EACH WAY
5. SIDEWALK CONCRETE
  - 5.1. 5" THICKNESS
  - 5.2. 4000 PSI CONCRETE MIX
  - 5.3. 4% AIR ENTRAINMENT
  - 5.4. 10 GA WELDED WIRE MESH. CONTRACTOR MAY CHOOSE TO USE #4 BARS 24" ON CENTER EACH WAY IN LIEU OF WELDED WIRE MESH.

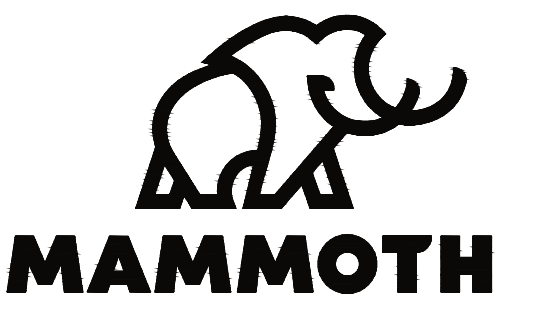
\*CONTAINER AND STRUCTURAL SLAB IDENTIFICATION

- #1 8'x20' STRUCTURAL SLAB RECESSED 7-1/2" FROM ADJACENT GRADES.  
17.8 SY STRUCTURAL CONCRETE
- #2 8'x40' STRUCTURAL SLAB RECESSED 7-1/2" FROM ADJACENT GRADES.  
35.6 SY STRUCTURAL CONCRETE
- #3 8'x40' STRUCTURAL SLAB RECESSED 7-1/2" FROM ADJACENT GRADES.  
35.6 SY STRUCTURAL CONCRETE
- #4 8'x40' STRUCTURAL SLAB RECESSED 7-1/2" FROM ADJACENT GRADES.  
35.6 SY STRUCTURAL CONCRETE
- #5 8'x40' STRUCTURAL SLAB RECESSED 7-1/2" FROM ADJACENT GRADES.  
35.6 SY STRUCTURAL CONCRETE

**SITE PLAN LEGEND**

- STRUCTURAL CONCRETE
- SIDEWALK (5")
- BLEACHER PAD
- GREEN TURF

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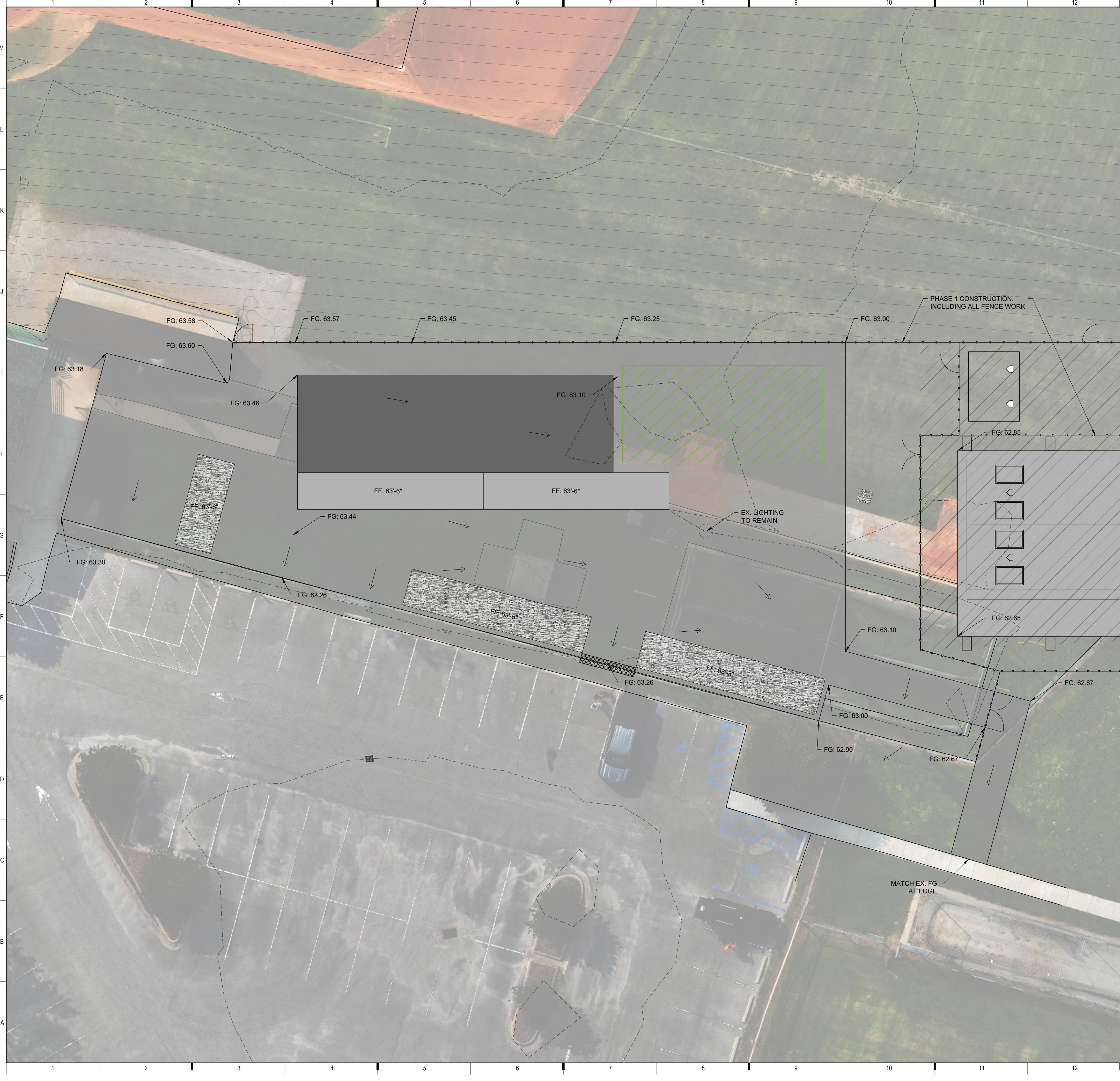
No.	Date	Revision
ADD.1	09-29-23	ADDITIONAL DETAIL

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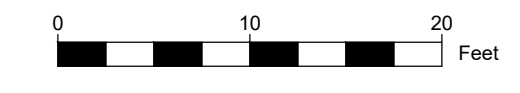
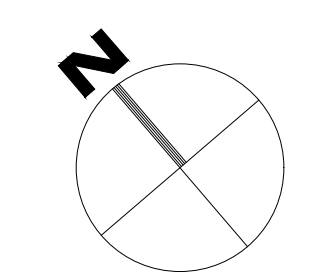
**C - 101**

SITE PLAN (PH. 2)





**SITE PLAN**



**SITE PLAN NOTES:**

1. CONCRETE SIDEWALK SHALL BE CONSTRUCTED AT A MINIMUM 0.3% CROSS SLOPE.
2. "FG" REFERS TO THE FINISHED GRADE OF CONCRETE. "FF" REFERS TO THE FINISHED FLOOR ELEVATION OF CONTAINERS. REF. ARCH. DETAILS FOR FLOOR CROSS-SECTIONS.
3. ALL GRADING AND DRAINAGE TO SHEET FLOW TOWARDS PARKING LOT. NOTIFY ENGINEER OF ANY DISCREPANCIES TO SURVEY OR SITE INFORMATION.

**SITE PLAN LEGEND**

- STRUCTURAL CONCRETE
- SIDEWALK (5")
- BLEACHER PAD
- GREEN TURF
- DRAINAGE DIRECTION

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2113 Myrtle Ave  
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**Revision Key**

No.	Date	Revision
ADD.1	09-29-23	ADDITIONAL DETAIL

Project Manager:

Project Engineer:

Checked By:

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Date of Issue:

Sheet Number:

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DM

DR

23-0176

09-20-2023

**C - 201**

PH. 2 GRADE PLAN





ISSUED FOR BID



**GUY SMITH STADIUM  
IMPROVEMENTS**

2113 Myrtle Ave  
Greenville, NC 27834

FOR BID ONLY

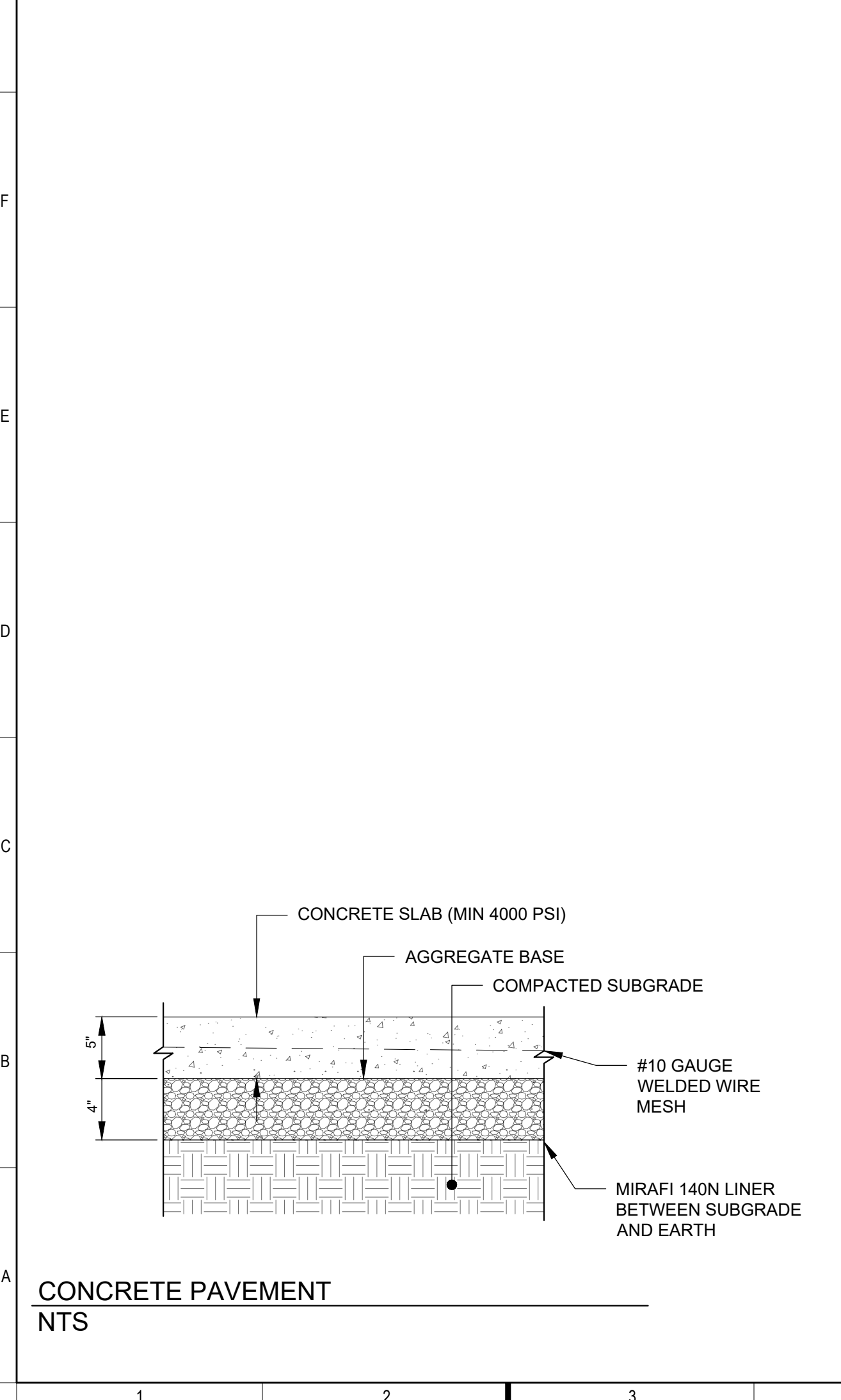
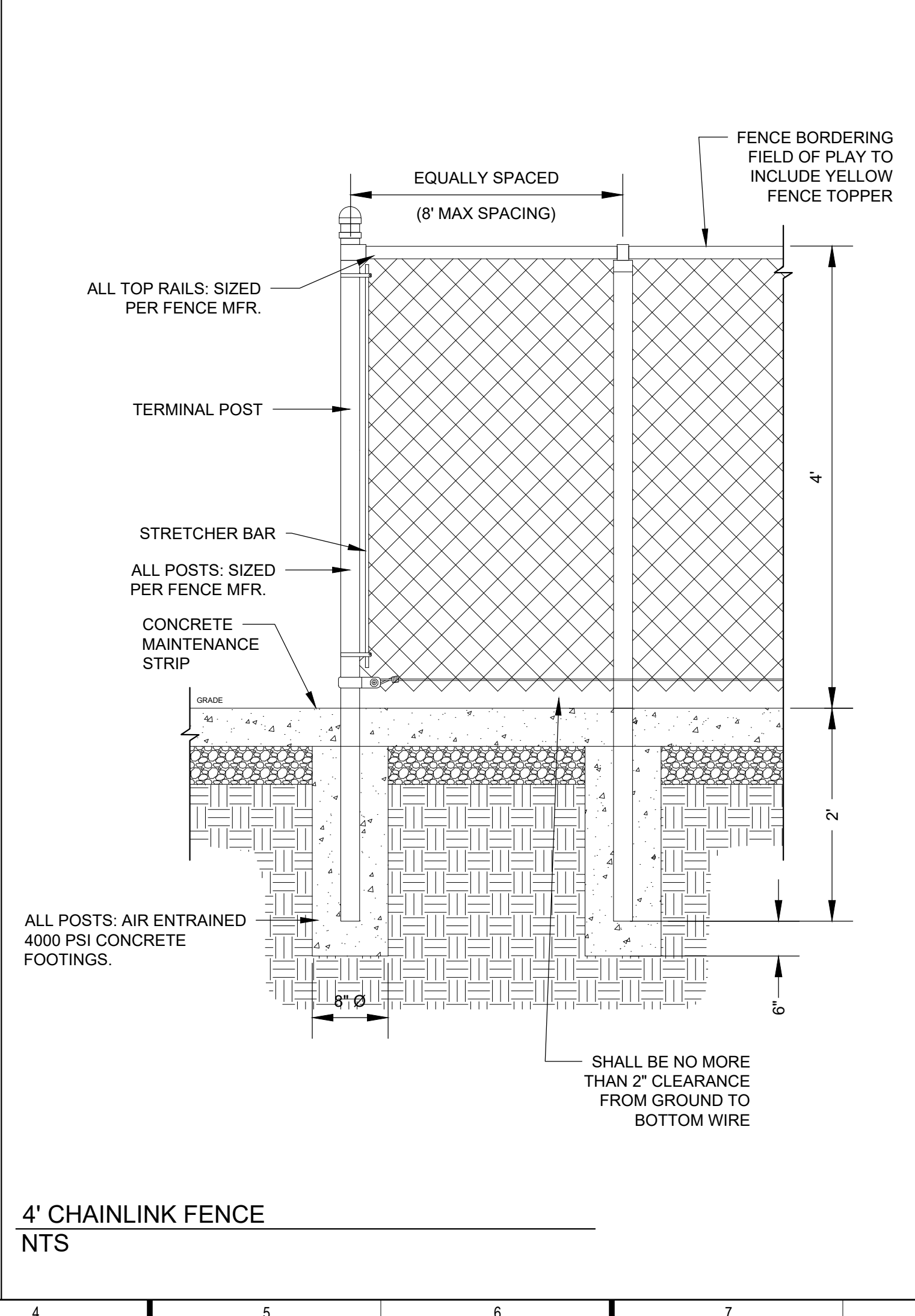
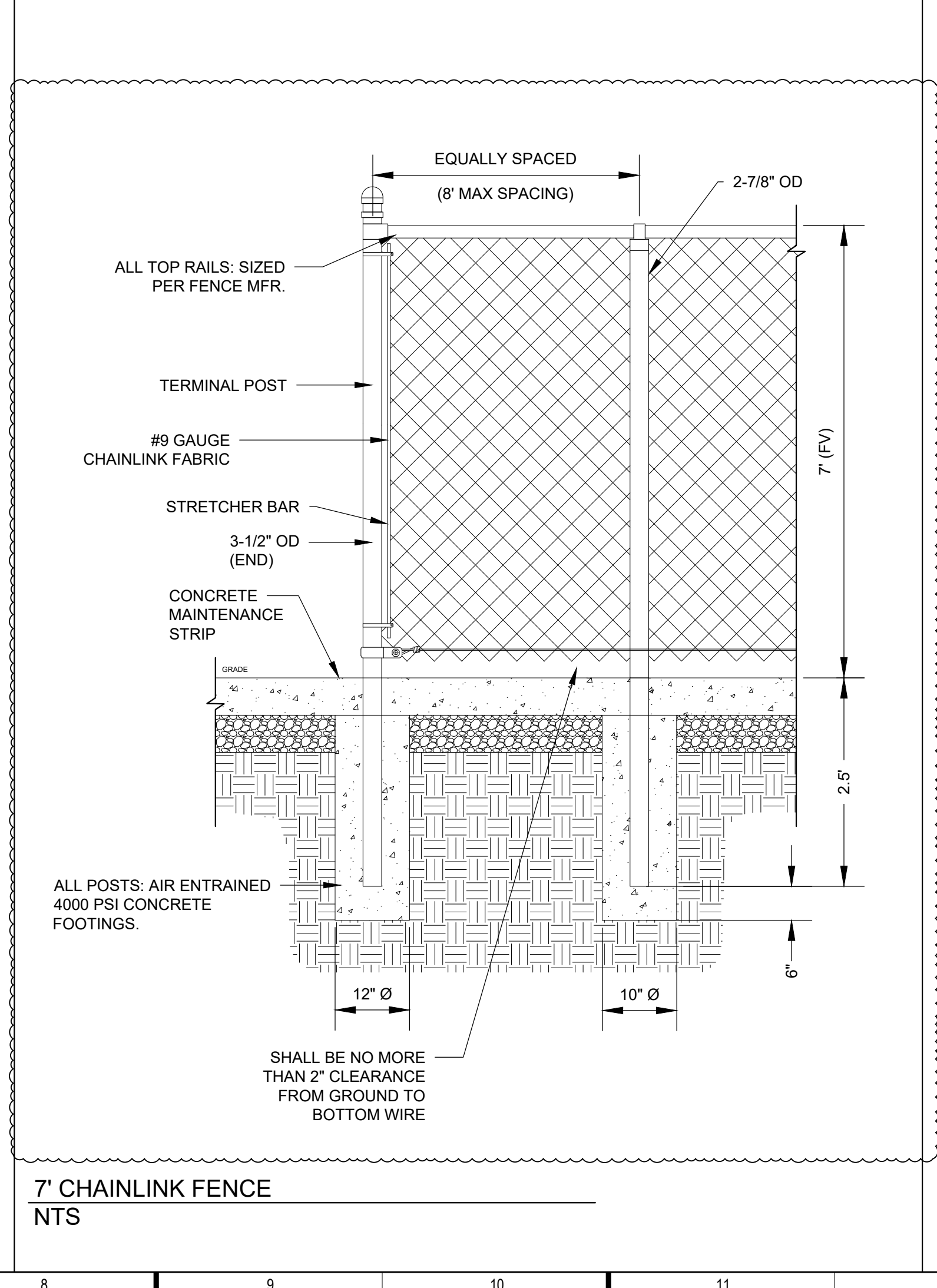
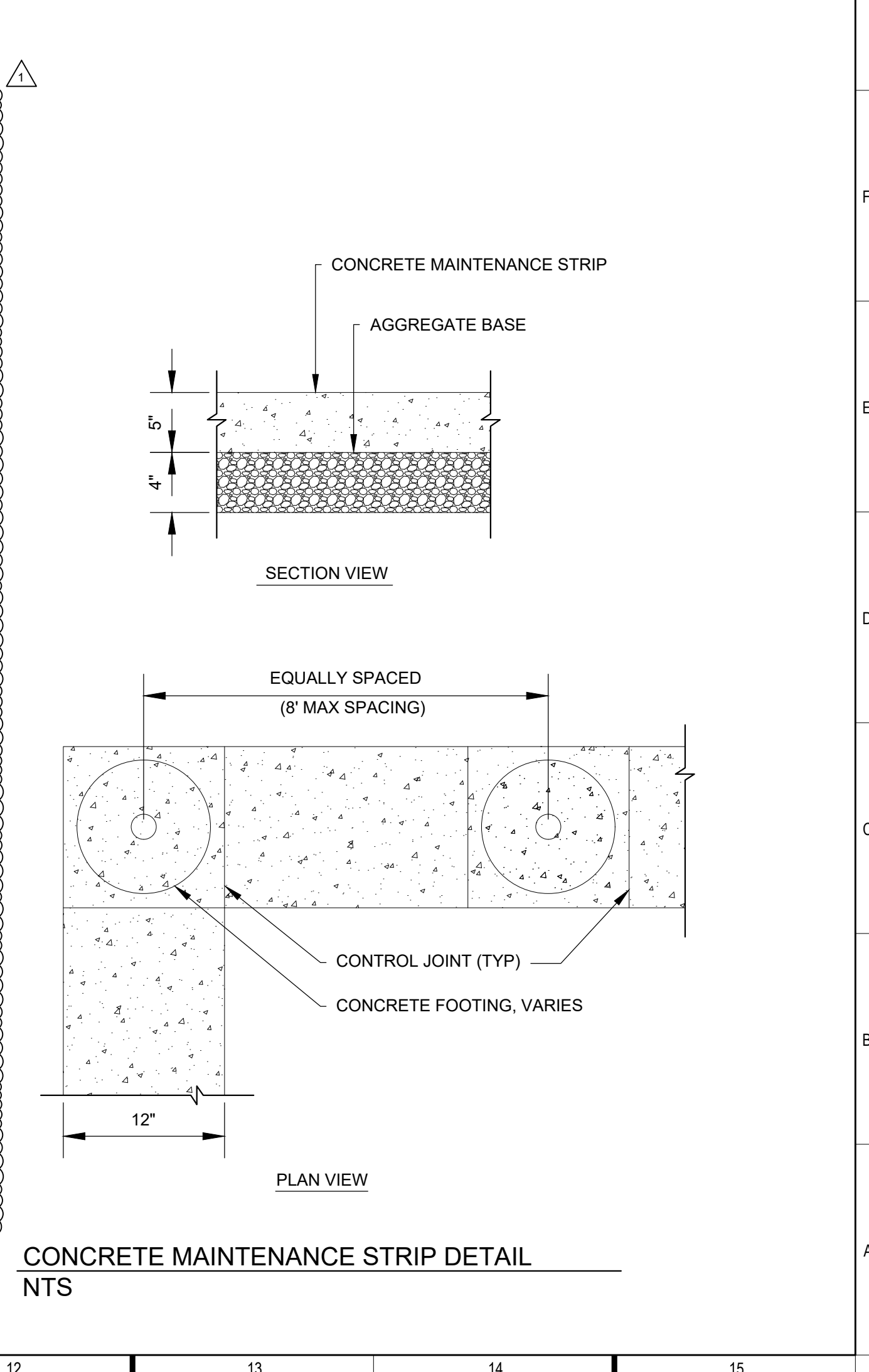
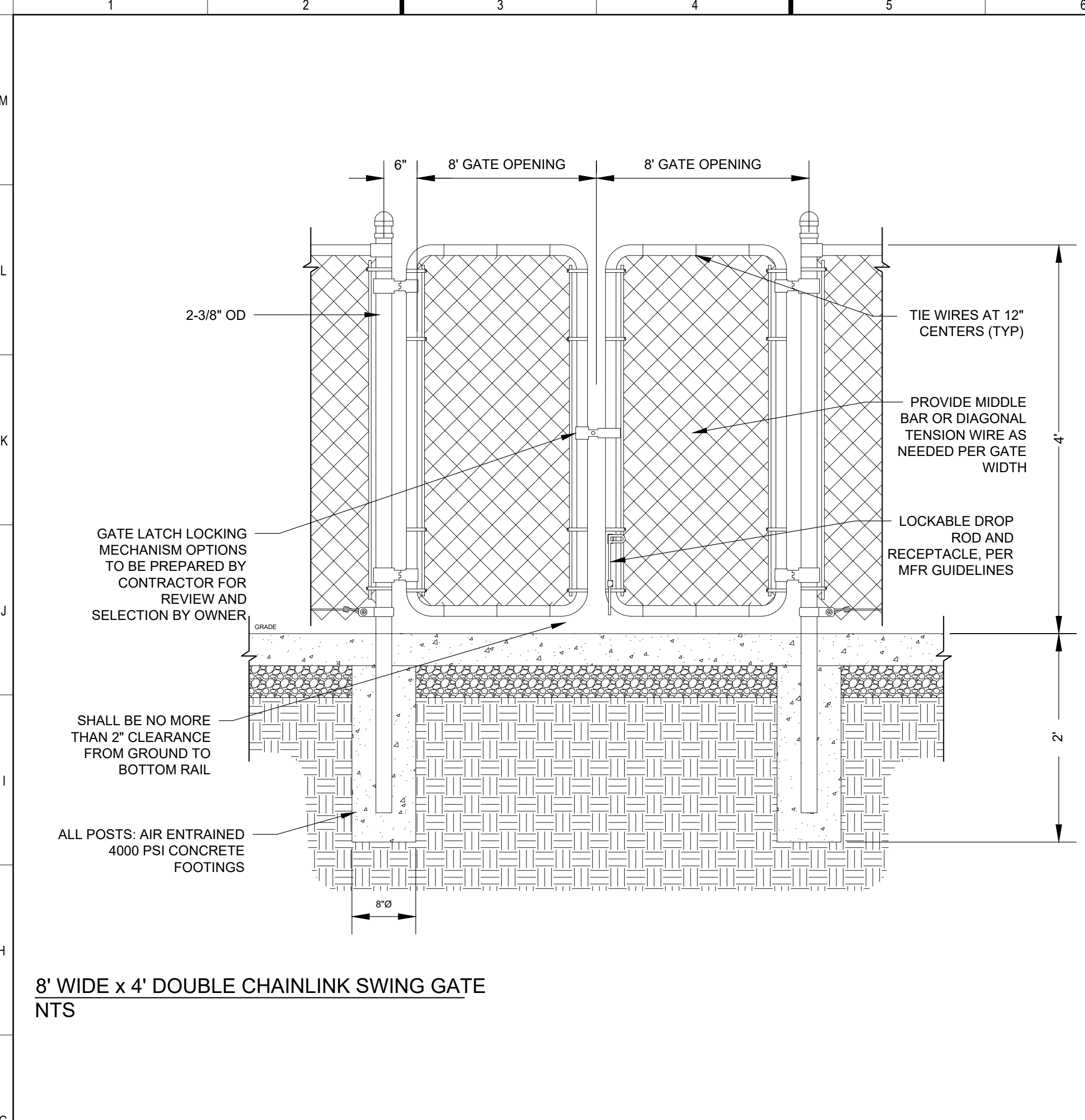
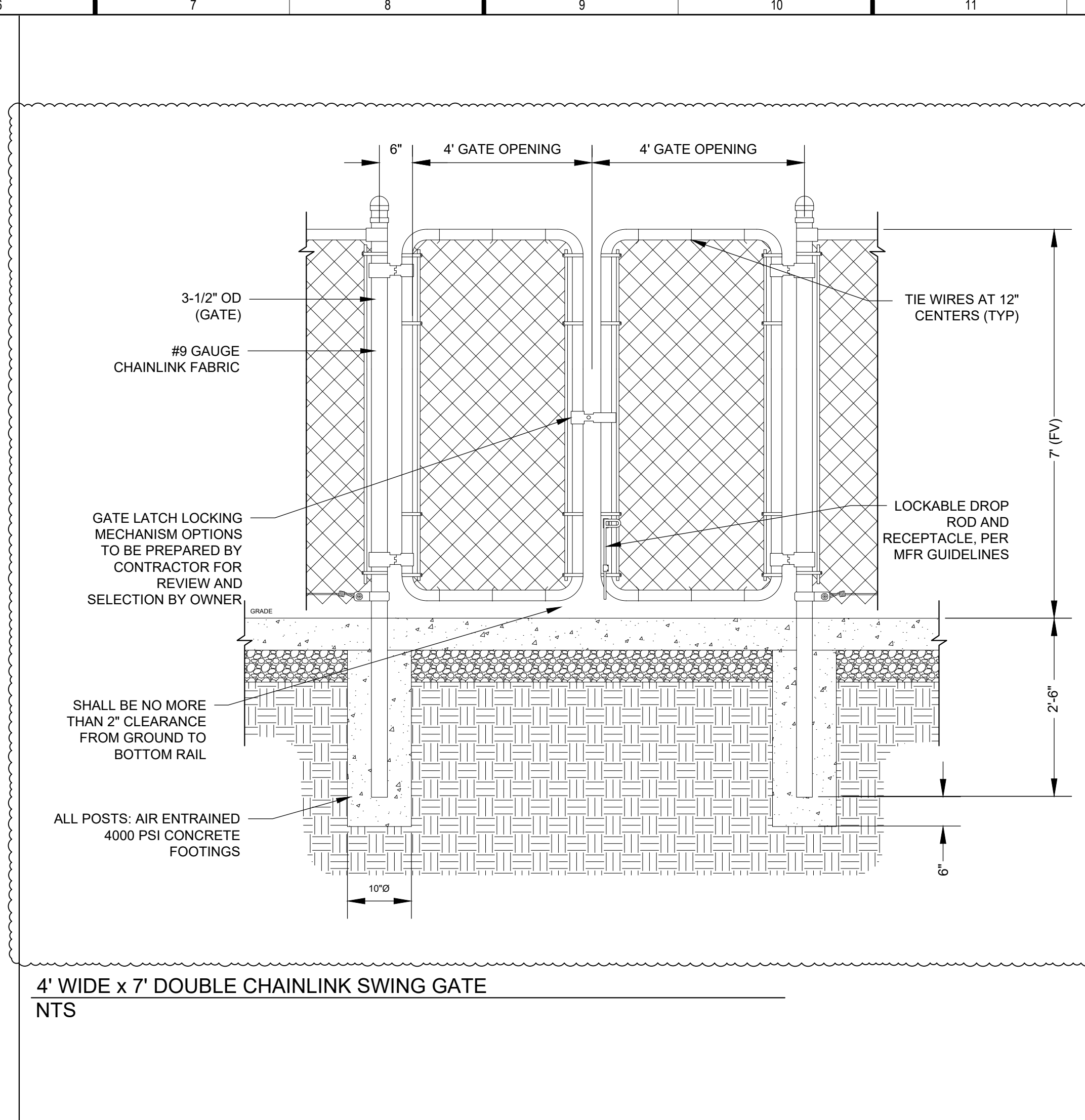
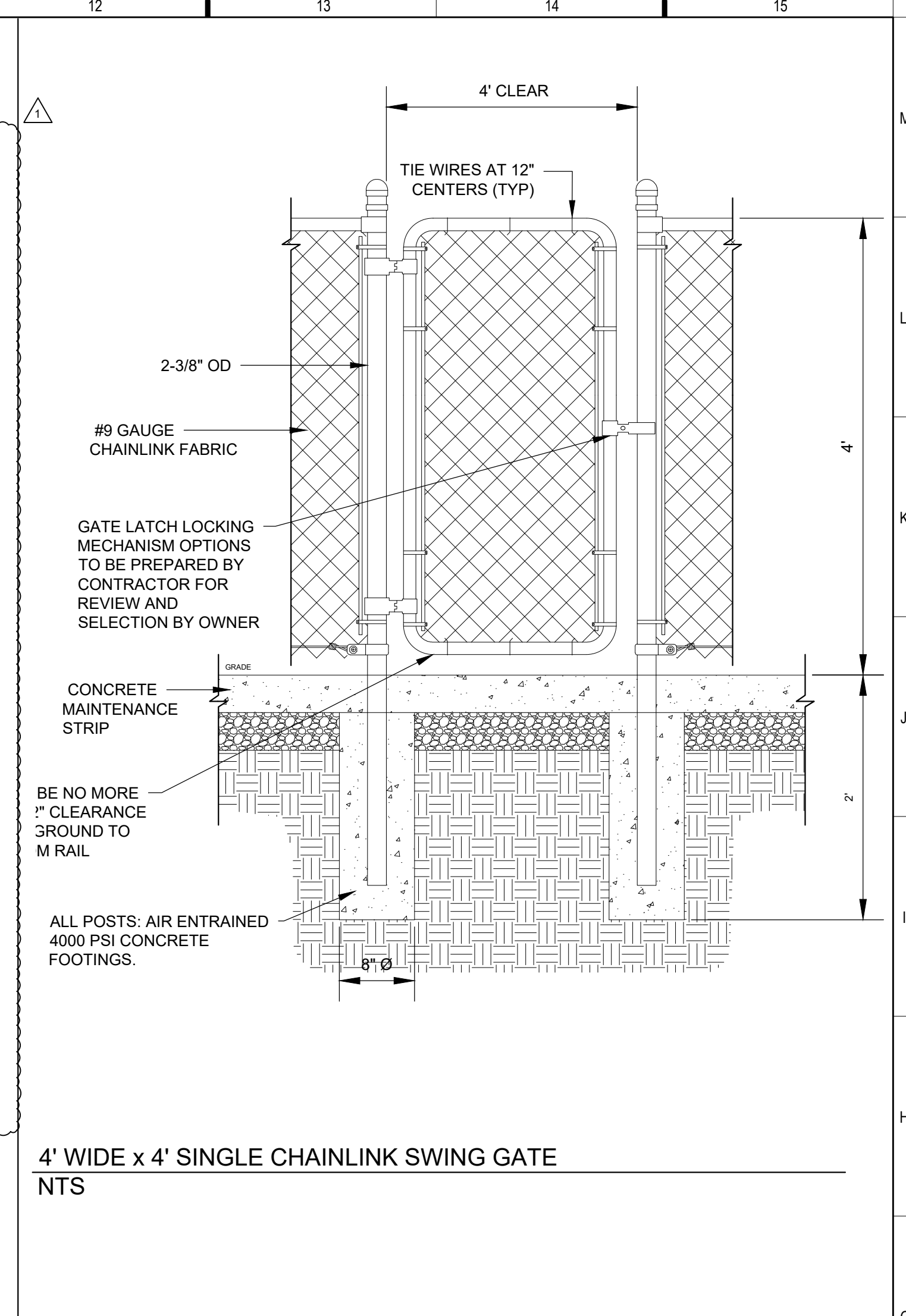
Revision Key

No.	Date	Revision
REV1	8-28-23	FENCE/IRRIGATION REVISIONS

Project Manager:	
Project Engineer:	DM
Checked By:	DR
Project Number:	23-0176
Date of Issue:	09-20-2023
Sheet Number:	

**C - 501**

STANDARD DETAILS







ISSUED FOR BID



**GUY SMITH STADIUM  
IMPROVEMENTS**  
2113 Myrtle Ave  
Greenville, NC 27834

FOR BID ONLY

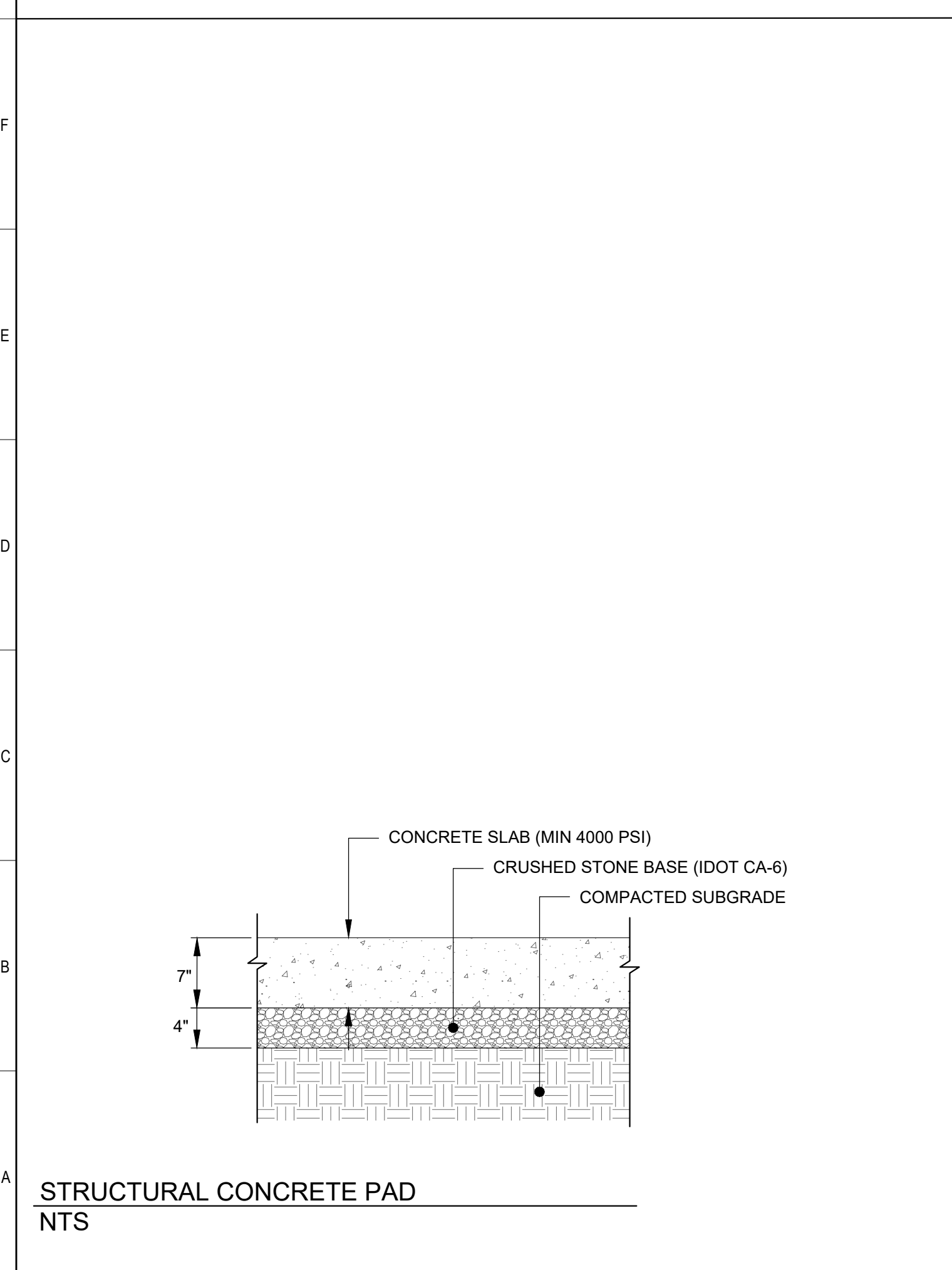
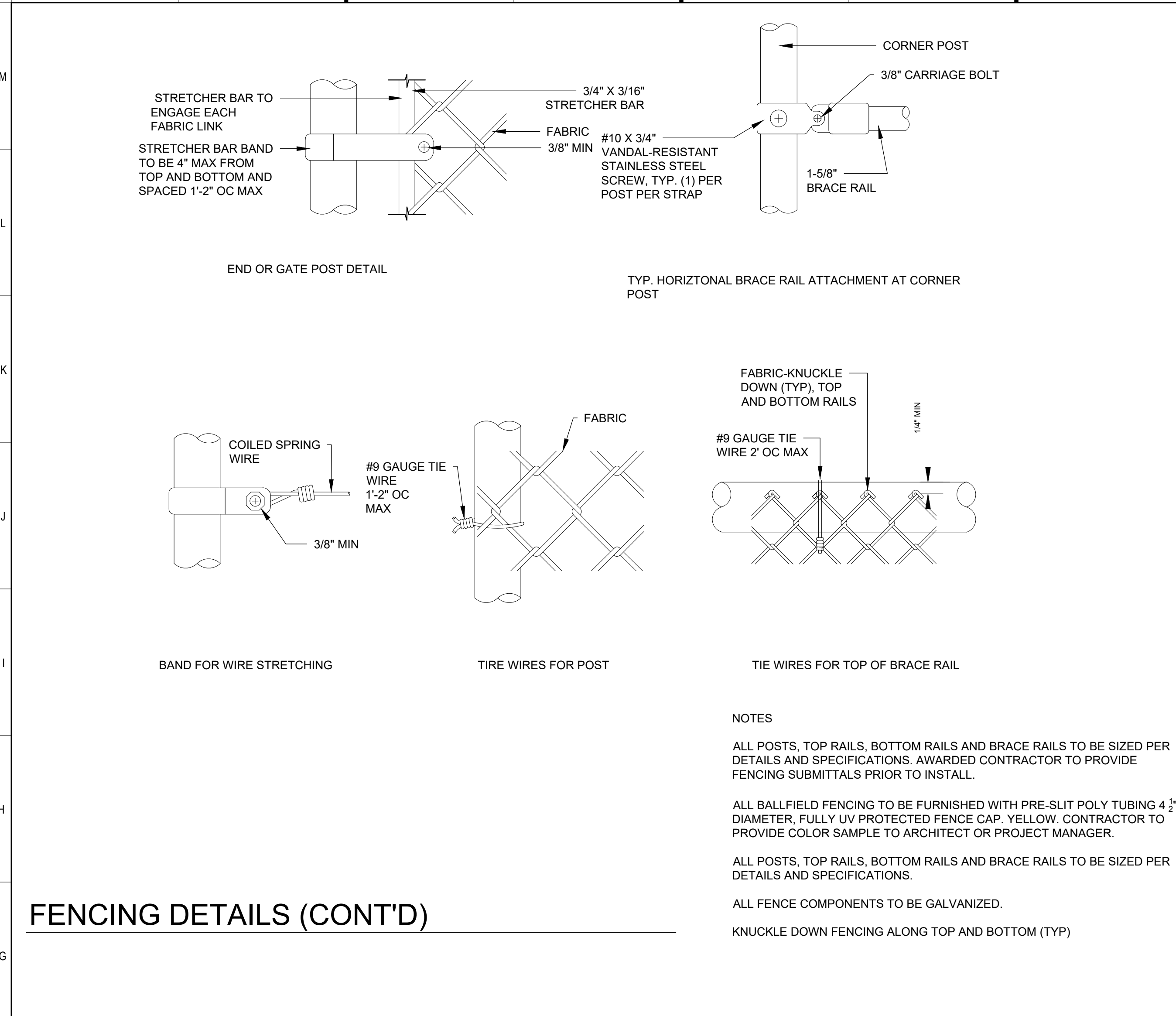
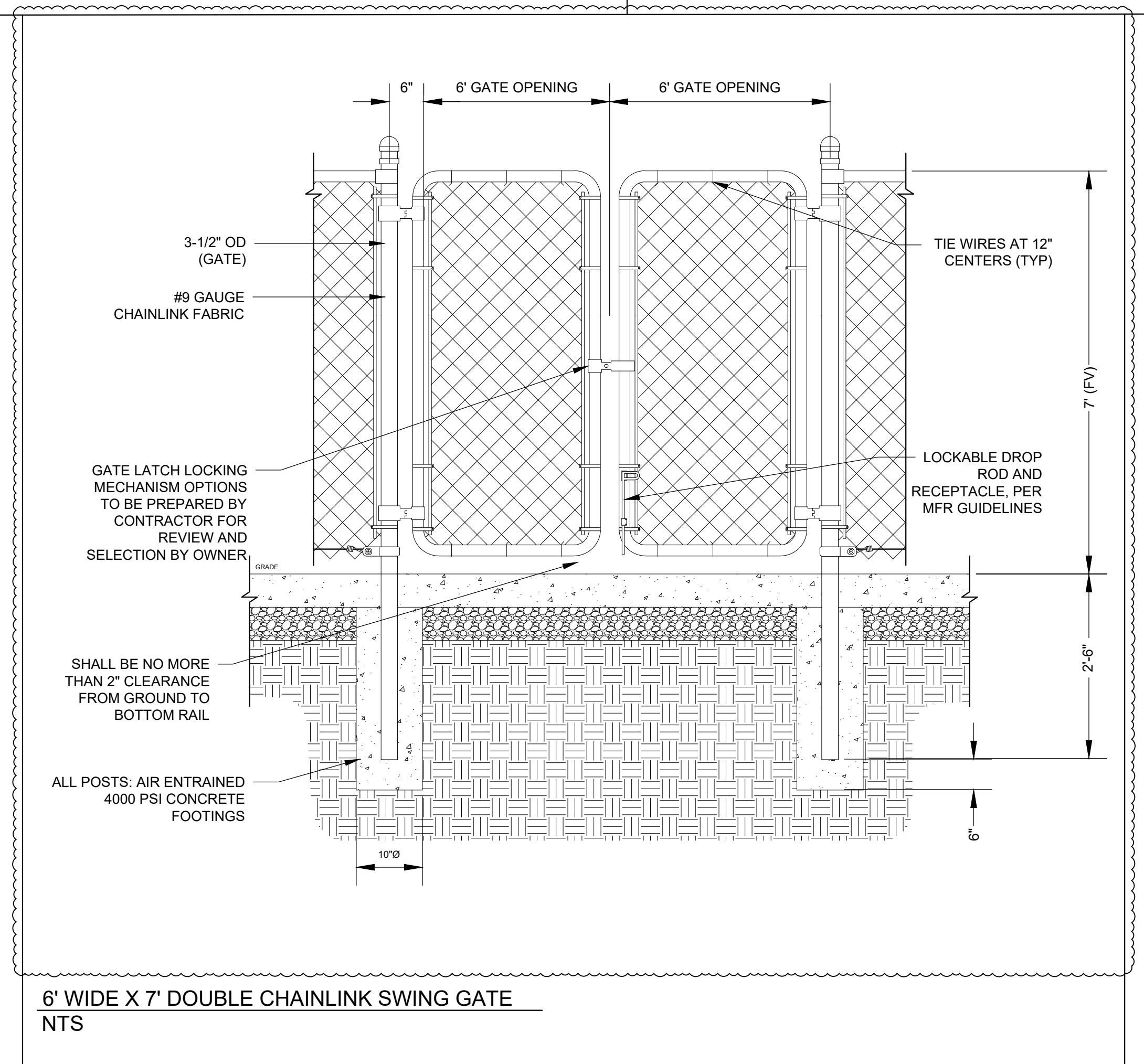
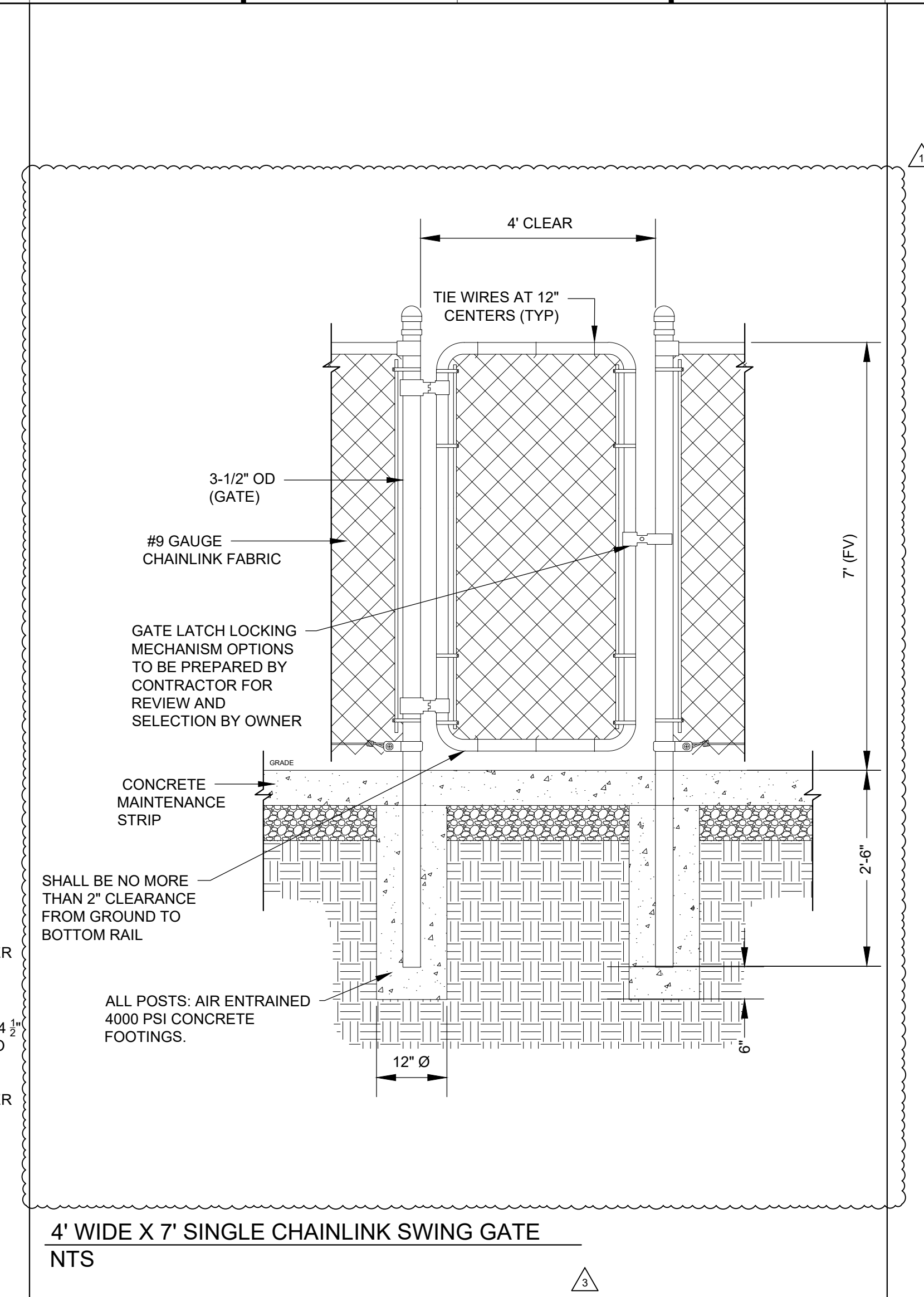
Revision Key

No.	Date	Revision
REV1	8-28-23	FENCE/IRRIGATION REVISIONS
REV3	9-19-23	FENCE UPDATE/CONT. RELOC.

Project Manager: \_\_\_\_\_  
Project Engineer: \_\_\_\_\_ DM  
Checked By: \_\_\_\_\_ DR  
Project Number: \_\_\_\_\_ 23-0176  
Date of Issue: \_\_\_\_\_ 09-20-2023  
Sheet Number: \_\_\_\_\_

**C - 502**

STANDARD DETAILS



FENCING DETAILS (CONT'D)

STRUCTURAL CONCRETE PAD  
NTS

6' WIDE X 7' DOUBLE CHAINLINK SWING GATE  
NTS

4' WIDE X 7' SINGLE CHAINLINK SWING GATE  
NTS





Project Status: CONSTRUCTION  
DOCUMENTS

Owner  
**GUY SMITH STADIUM IMPROVEMENTS**  
2113 Myrtle Ave, Greenville, NC 27834

**FOR BID ONLY**

Revision Key

No.	Date	Description
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Project Manager:	BH
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Project Architect:	DF
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Checked By:	DD
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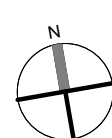
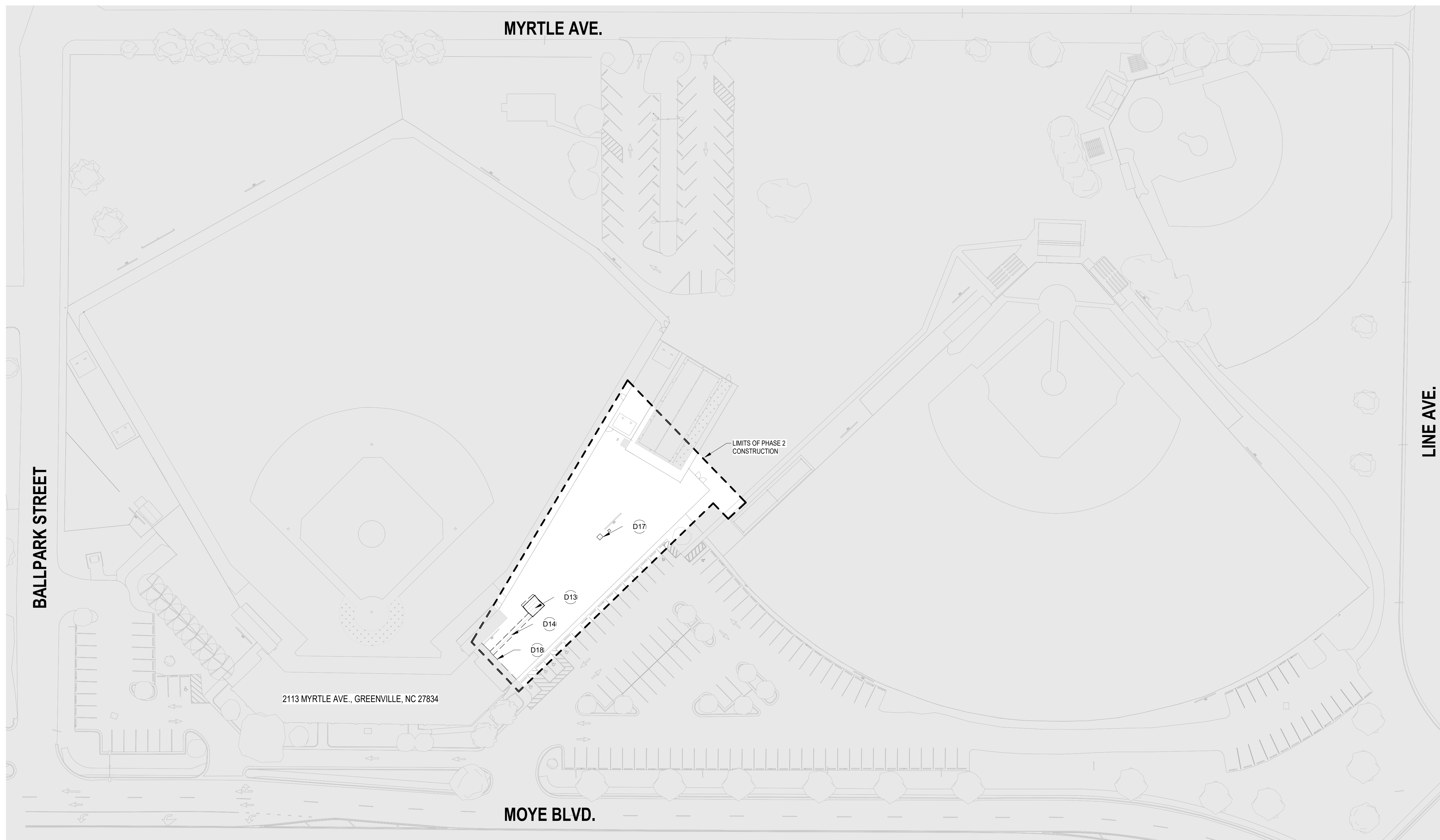
Project Number:	23-0176
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Date of Issue:	9/20/2023
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Sheet Number:	ASD102
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**ASD102**

DEMO. SITE PLAN -  
PHASE 2



<b>1</b>	Scale	SITE DEMO PLAN - PHASE 2
	1" = 40'-0"	

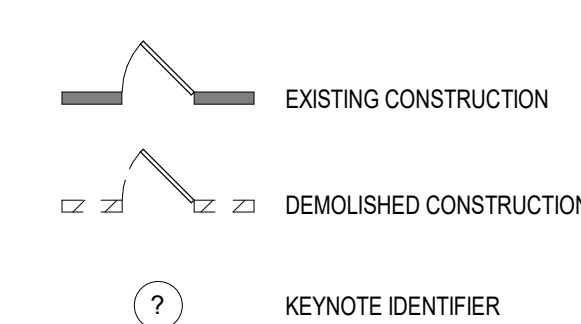
**GENERAL NOTES - SITE DEMOLITION**

1. THE CONTRACTOR, PRIOR TO ANY EXCAVATION OR NEW CONSTRUCTION, SHALL HAVE UTILITIES FIELD LOCATED BY THE APPROPRIATE UTILITY COMPANY AND/OR CITY/COUNTY AGENCY AT LOCATIONS.
2. THE CONTRACTOR SHALL SPOT DIG TO FIELD LOCATE EXISTING SITE UTILITIES PRIOR TO CONSTRUCTION. SERVICE LINES SHOWN IN EXISTING SURVEY WERE OBTAINED FROM RECORD DATA AND SURFACE STRUCTURES AND WERE NOT FIELD LOCATED. EXISTING UTILITIES MAY NOT BE SHOWN OR MAY BE SHOWN INCORRECTLY.
3. THE SITE PLAN IS BASED ON A SURVEY OF THE SITE CONDITIONS AT THE TIME OF CONSTRUCTION AND MAY VARY FROM THE SURVEYED CONDITIONS. CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
4. ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS SHALL BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED.
5. NO CHANGES TO THE APPROVED CONSTRUCTION PLANS WILL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING PROPERTY PINS AND SECTION CORNER MONUMENTS. THE CONTRACTOR WILL BE REQUIRED TO RE-ESTABLISH ANY PROPERTY PINS OR MONUMENTS WHICH ARE DAMAGED OR DESTROYED BY HIS CONSTRUCTION OPERATIONS. SUCH PINS SHALL BE RE-ESTABLISHED BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH STATE LAWS.
7. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES, DIMENSIONS, AND PLAN SCALES, AND SHALL IMMEDIATELY NOTIFY THE OWNER/ENGINEER/ARCHITECT OF ANY SUCH DISCREPANCIES. ALL QUANTITIES, DIMENSIONS, AND PLAN SCALES PROVIDED ARE FOR GENERAL INFORMATION PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL QUANTITIES NECESSARY FOR THE COMPLETION OF THE WORK AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE THE WORK DESCRIBED IN THE CONSTRUCTION DOCUMENTS IRRESPECTIVE OF THE QUANTITIES, DIMENSIONS, AND PLAN SCALES NOTED, NOT NOTED, OR NOTED INCORRECTLY.
8. ALL REMOVALS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PER APPLICABLE STANDARDS UNLESS OTHERWISE NOTED.
9. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GEOTECHNICAL ENGINEERING SERVICES REPORT AND SHALL IMPLEMENT THE RECOMMENDATIONS NOTED IN THE REPORT FOR ALL SOILS AND FOUNDATION RELATED CONSTRUCTION.
10. THE PAVEMENT SECTIONS ARE BASED ON THE GEOTECHNICAL REPORT. THE GEOTECHNICAL REPORT RECOMMENDATIONS SHALL TAKE PRECEDENCE IN THE CASE OF ANY DISCREPANCIES. CONSEQUENTLY, THE ENGINEER WHOSE SEAL APPEARS ON THESE PLANS IS NOT RESPONSIBLE FOR THE DURABILITY OR SUITABILITY OF THE PAVEMENT SECTIONS.
11. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT ALL ADJACENT WORK NOT INDICATED TO BE DEMOLISHED PRIOR TO COMMENCEMENT OF DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND REPAIR CAUSED BY CONTRACTOR'S NEGLIGENT PERFORMANCE.
12. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DEMOLITION DRAWINGS FOR ASSOCIATED WORK.
13. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AND BRACING OF PARTIALLY DEMOLISHED CONSTRUCTION AND STRUCTURAL ELEMENTS AS REQUIRED TO MAINTAIN SAFE WORKING CONDITIONS.
14. CONTRACTOR TO CONFIRM WITH ARCHITECT SECTIONS OF FENCE TO BE DEMOLISHED PRIOR TO DEMOLITION.

**LEGEND - KEYNOTES**

KEY VALUE	KEYNOTE TEXT
D13	DEMOLISH SHADE STRUCTURE AND SOG
D14	DEMOLISH EXISTING SIDEWALK
D17	RELOCATE TRANSFORMER AND ELECTRICAL BOX - RE. MEP
D18	DEMOLISH FENCE - AT END OF PHASE 2 CONSTRUCTION

**DEMOLITION LEGEND**







Project Status: CONSTRUCTION  
DOCUMENTS

Owner  
**GUY SMITH STADIUM IMPROVEMENTS**  
2113 Myrtle Ave, Greenville, NC 27834

FOR BID ONLY

Revision Key

No.	Date	Description

Project Manager: **BH**

Project Architect: **DF**

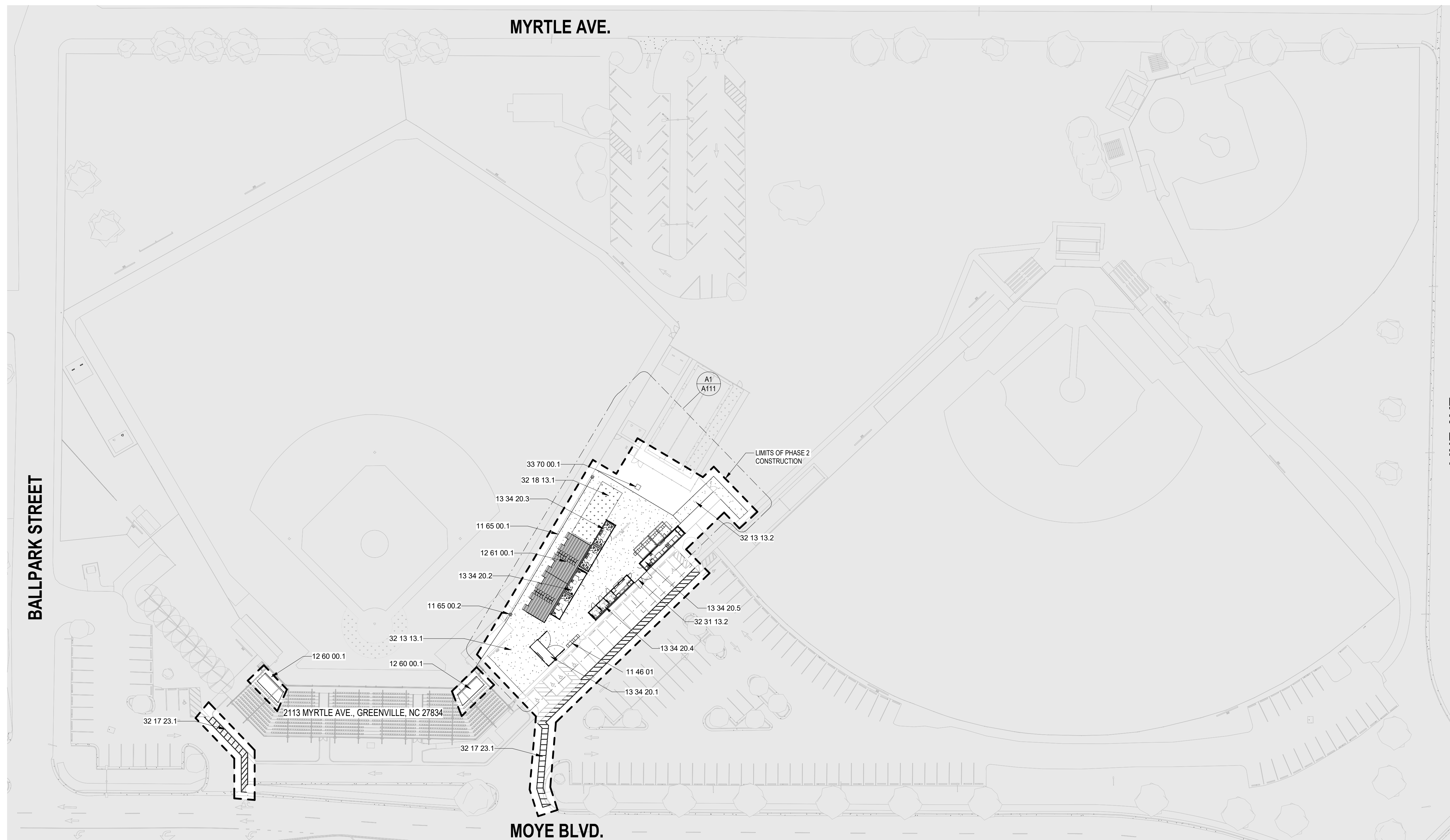
Checked By: **DD**

Project Number: **23-0176**

Date of Issue: **Issue Date: 9/20/2023**

Sheet Number:

**AS102**  
ARCH. SITE PLAN - PHASE  
2



**1** Scale OVERALL SITE PLAN - PHASE 2  
1" = 40'-0"

LEGEND - KEYNOTES	
KEY VALUE	KEYNOTE TEXT
11 46 01	MOBILE POS - DTG OPEN CONFIGURATION
11 65 00.1	SPORTS NETTING
11 65 00.2	NETTING POLE PER MFG
12 60 00.1	SEAT COVERS - FIRST FOUR ROWS
12 61 00.1	BLEACHERS PER BELSON OUTDOORS OR APPROVED ALTERNATE - MODEL:BD-1033C - NON-ELEV. 10 ROW X 33'-0" W/ WHEELCHAIR CUTOUTS ADDED
13 34 20.1	CONTAINER 1 - 20' X 8' TEAM STORE
13 34 20.2	CONTAINER 2 - 40' X 8' RESTROOM CONTAINER W/ 3 WOMEN'S, INCLUDING ADA TOILETS, 3 MEN'S, INCLUDING ADA, TOILETS, AND LAVATORIES
13 34 20.3	CONTAINER 3 - 40' X 8' RESTROOM CONTAINER W/ 8 WOMEN'S TOILETS AND 4 LAVATORIES
13 34 20.4	CONTAINER 4 - 40' X 8' 3 FAMILY TOILETS AND CONCESSIONS W/ 2 POS
13 34 20.5	CONTAINER 5 - 40' X 8' KITCHEN/PASS THROUGH
32 13 13.1	RE: PHASE 2 CIVIL SITE PLAN FOR LOCATION AND SPECIFICATIONS OF SOG
32 13 13.2	RE: PHASE 2 CIVIL SITE PLAN FOR LOCATION AND SPECIFICATIONS OF NEW SIDE WALK
32 17 23.1	PATH TO PUBLIC WAY STRIPING
32 18 13.1	RE: CIVIL PHASE 2 - SYNTHETIC TURF AREA
32 31 13.2	RE: CIVIL PHASE 2 - 12' FENCE GATE
33 70 00.1	RE: CIVIL PHASE 2 - RELOCATE TRANSFORMER









Project Status: CONSTRUCTION  
DOCUMENTS

Owner  
**GUY SMITH STADIUM IMPROVEMENTS**  
21113 Myrtle Ave, Greenville, NC 27834

FOR BID ONLY

Revision Key

No.	Date	Description
1	9/29/23	REV #1

Project Manager: **BH**

Project Architect: **DF**

Checked By: **DD**

Project Number: **23-0176**

Date of Issue: **Issue Date: 9/22/2023**

Sheet Number:

**A112**  
CONTAINER 1  
PLANS/ELEVATIONS

**GENERAL NOTES - FLOOR PLAN**

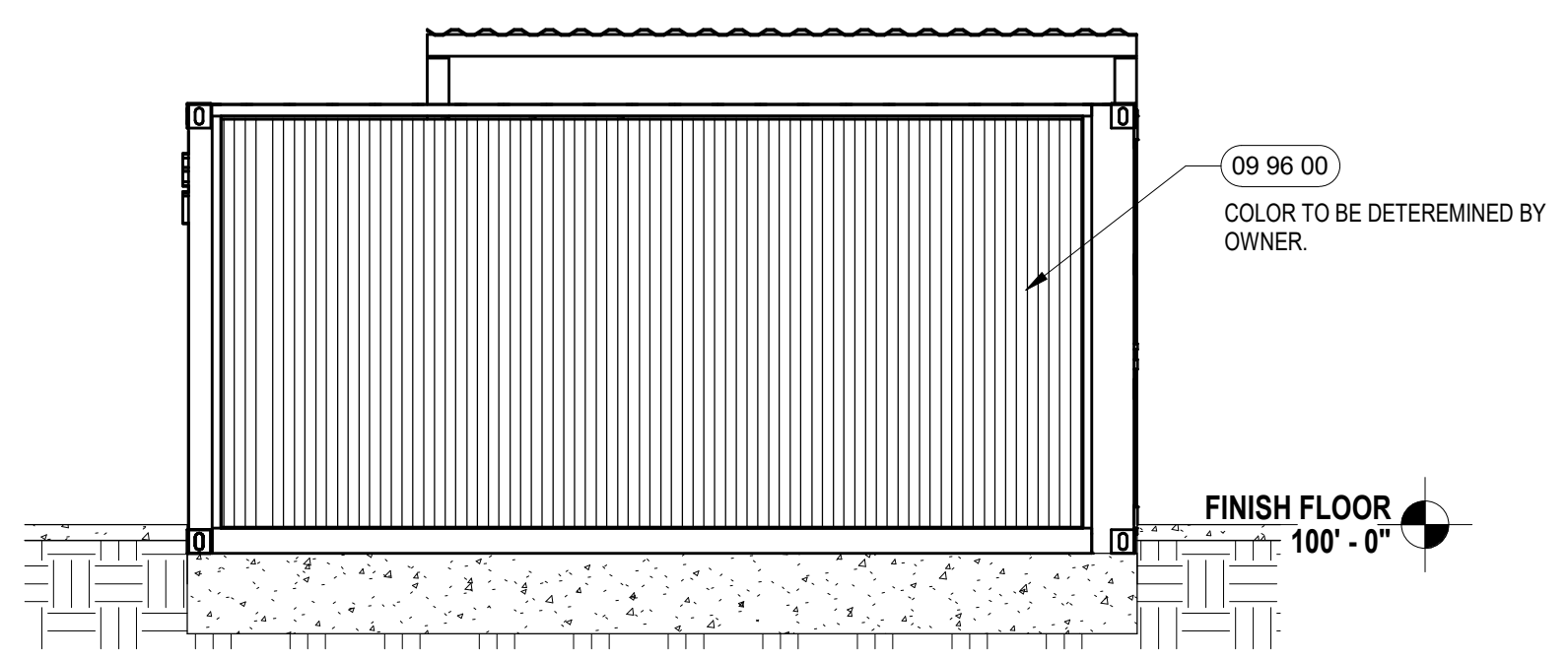
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. VERIFY ALL DIMENSION PRIOR TO START OF WORK. IN THE EVENT OF DISCREPANCY, NOTIFY ARCHITECT AND OBTAIN RESOLUTION BEFORE PROCEEDING.
- NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF WORK. FAILURE TO NOTIFY THE ARCHITECT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO PERFORM THE WORK AS INTENDED BY THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ARISING FROM SUCH FAILURE TO COORDINATE DISCREPANCIES TO THE SATISFACTION OF THE ARCHITECT.
- WHERE EXISTING CONSTRUCTION AND GRIDS ARE INDICATED, CONTRACTOR SHALL VERIFY EXISTING DIMENSIONED GRIDS PRIOR TO PERFORMING LAYOUT WORK REQUIRED FOR INSTALLATION OF NEW WORK.
- VERIFY EXISTING DIMENSIONS, CONDITIONS AND CLEARANCES PRIOR TO THE SUBMITTAL OF SHOP DRAWINGS.
- ALL SLEEVES, OPENINGS, ETC. FOR CONDUIT, PIPES, DUCTS, ETC. (OUTSIDE OF RATED CHASES) THROUGH FLOOR SLABS AND RATED PARTITIONS ARE TO BE FIRE SEALED IN ACCORDANCE WITH FIRE RATED ASSEMBLY DESIGNS, APPLICABLE CODES AND FIRE MARSHAL'S REQUIREMENTS.
- PROVIDE A MINIMUM OF 3/4" FIRE-RETARDANT TREATED WOOD BLOCKING OR 18 GA. MINIMUM STEEL PLATE BLOCKING AS REQUIRED WITHIN STEEL STUD FRAMED PARTITIONS FOR SECURE AND PROPER ATTACHMENT OF NEW WORK, INCLUDING BUT NOT LIMITED TO AN EQUIPMENT, MILLWORK, VISUAL DISPLAY SURFACES, SIGNAGE, AND FURNISHINGS WHERE INDICATED ON PLANS.
- WHERE WORK OCCURS IN AREAS WITH EXISTING FINISHES TO REMAIN, REFINISH DISTURBED AREAS TO MATCH EXISTING FINISHES AND MATERIALS UNLESS NOTED OR DIRECTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, ELEVATIONS, AND DETAIL SHOWN ON THE DRAWINGS. ANY DISCREPANCIES WHICH WILL PREVENT THE ACCOMPLISHMENT OF INTENT SHOWN ON DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. INDICATED CONDITIONS ARE NOT INTENDED AS REPRESENTATIONS OR WARRANTIES OF ACCURACY. IT IS EXPRESSLY UNDERSTOOD THAT THE OWNER WILL NOT BE RESPONSIBLE FOR INTERPRETATIONS OR CONCLUSIONS DRAWN BY THE CONTRACTOR.
- WHERE CONDUIT, PIPES, DUCTS, ETC. ARE INDICATED TO BE INSTALLED IN EXISTING WALLS AND NO FURRING IS SHOWN, THE WALLS SHALL BE NEATLY CHASED, CONDUITS, ETC. INSTALLED, AND WALLS PATCHED TO MATCH EXISTING. IN AREAS OF NEW PARTITIONS WHERE CONDUITS, DUCTS, PIPING, ETC. PASS THROUGH FINISHED SPACES, ROUTE WITHIN PARTITION CONSTRUCTION.
- PROTECT AND PRESERVE ALL EXISTING ITEMS TO REMAIN AND REPAIR AND/OR REPLACE ANY ITEMS DAMAGED DURING THE COURSE OF THE WORK TO THE SATISFACTION AND APPROVAL OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER.
- (## ##) INDICATES REFERENCED SPECIFICATIONS FOR PRODUCTS AND MATERIALS SHOWN ON THE DRAWINGS AND SPECIFIED IN THE PROJECT MANUAL.

**LEGEND - KEYNOTES**

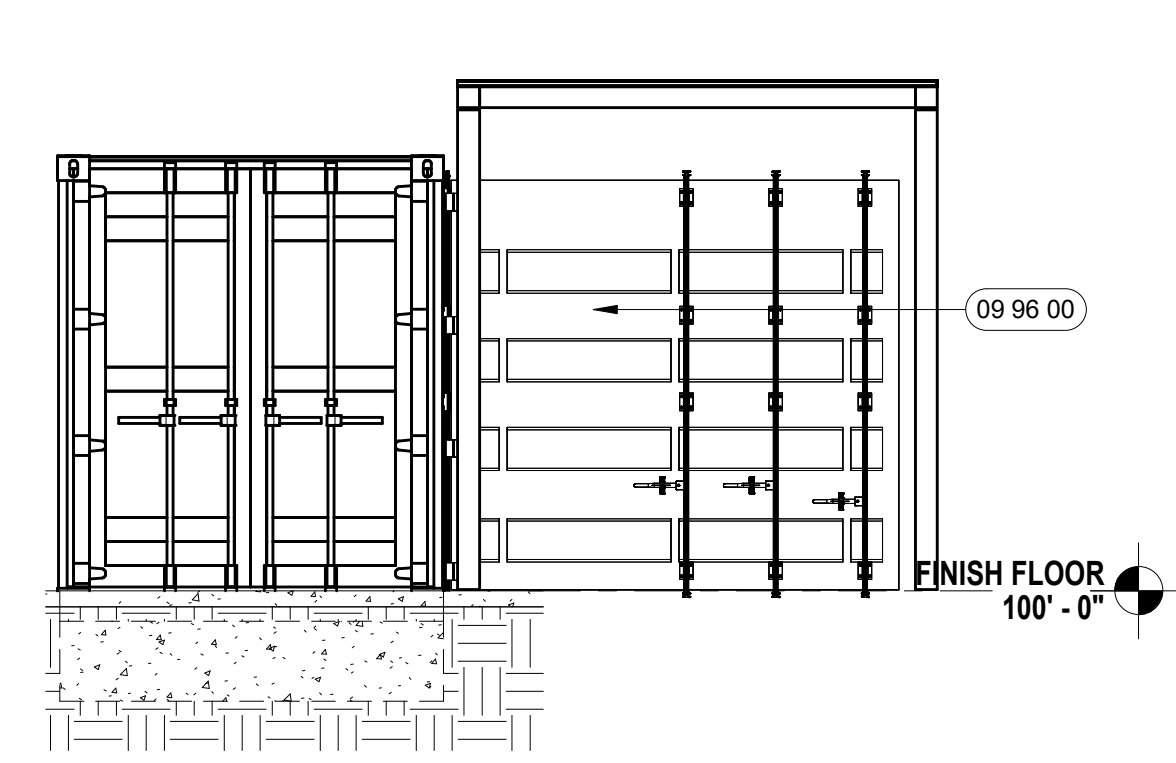
KEY VALUE	KEYNOTE TEXT
06 41 00	ARCHITECTURAL WOOD CASEWORK
09 67 00	FLUID APPLIED FLOORING
09 91 23	INTERIOR PAINTING
09 96 00	HIGH-PERFORMANCE COATINGS
10 14 19	DIMENSIONAL LETTER SIGNAGE
26 20 00.1	WEATHERPROOF EXTERIOR OUTLET FOR STRING LIGHTS
26 50 00	LIGHTING

**FLOOR PLAN SYMBOLS**

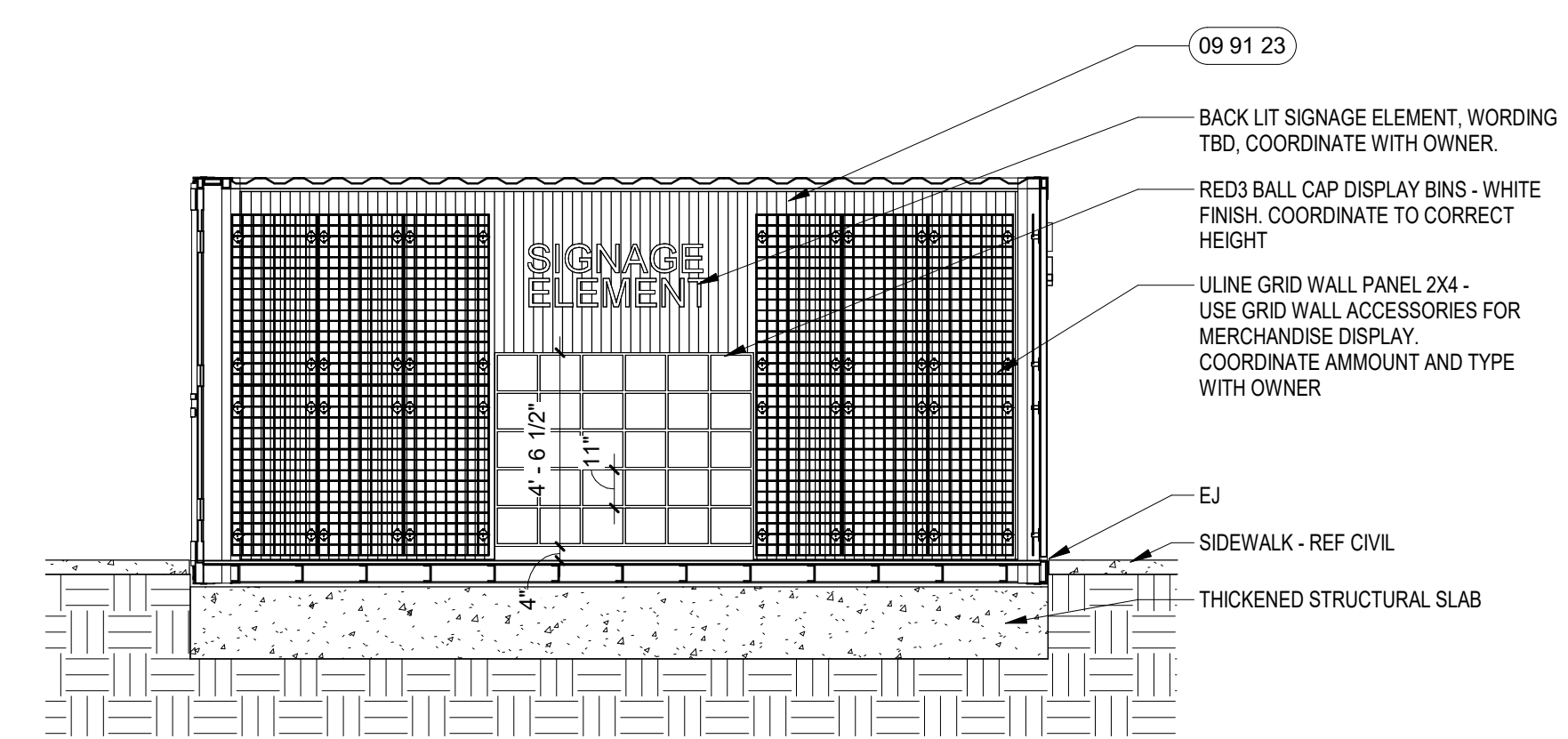
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- ROOM NAME**  
#### ROOM NAME AND NUMBER
- CENTER LINE
- MATCH LINE
- (10) DOOR INDICATION TAG
- ## PARTITION TYPE
- X WINDOW TYPES
- ? PLAN KEYNOTES
- SPOT ELEVATION
- DRAWING REVISION
- ## NEW GRID IDENTIFIER
- ## EXISTING GRID IDENTIFIER



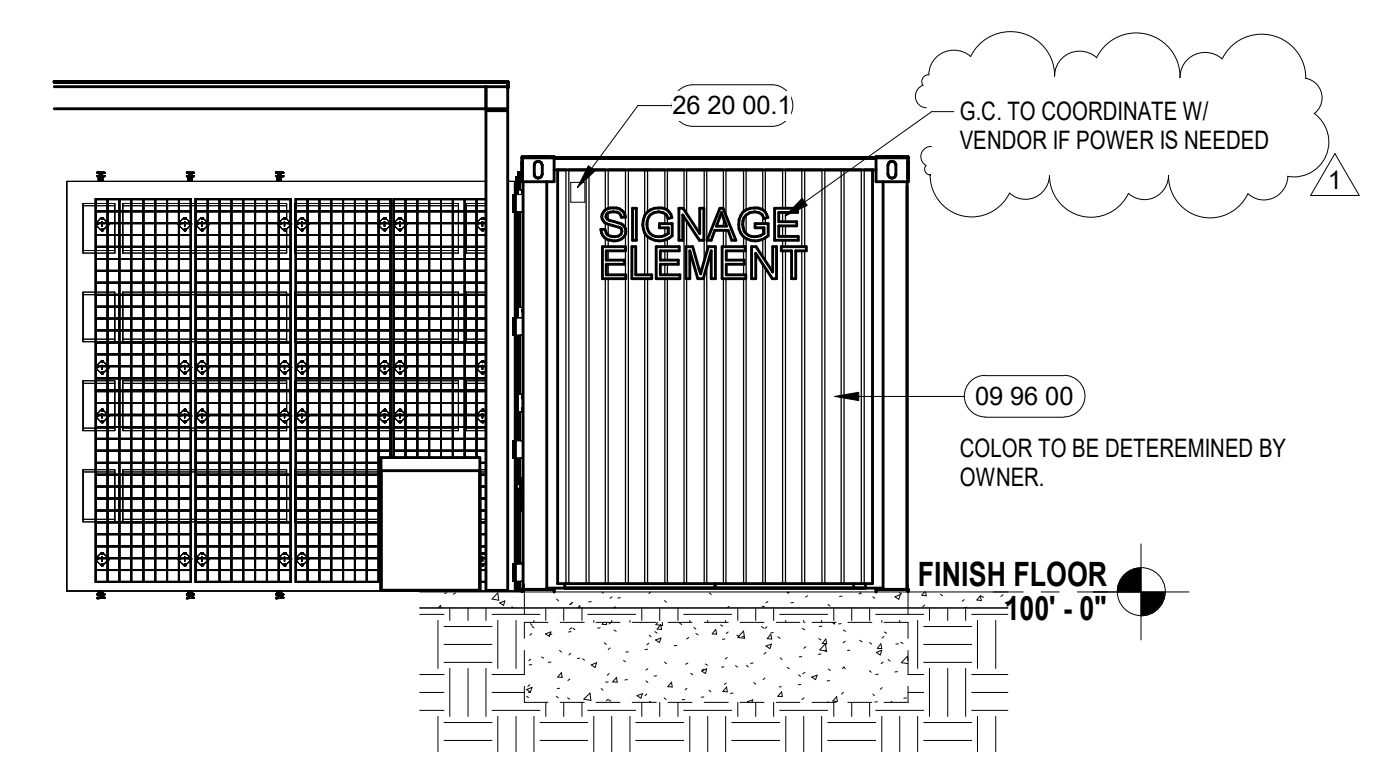
**K1** Scale 1/4" = 1'-0"  
CONTAINER 1 - BACK



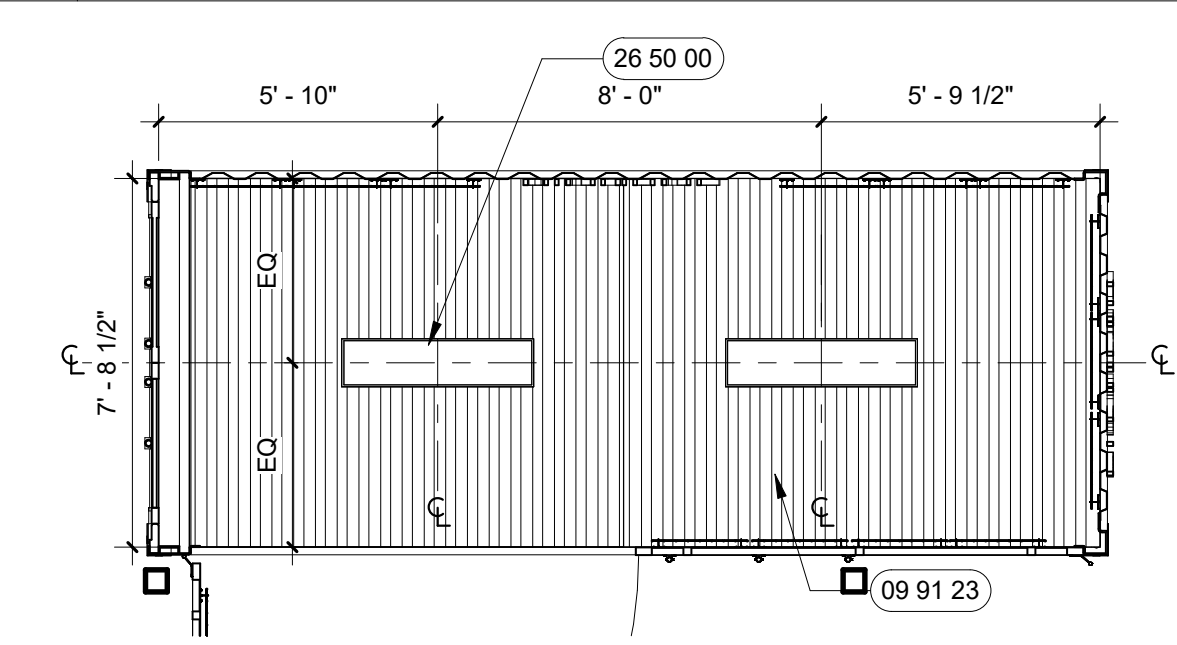
**K7** Scale 1/4" = 1'-0"  
CONTAINER 1 - SOUTH SIDE



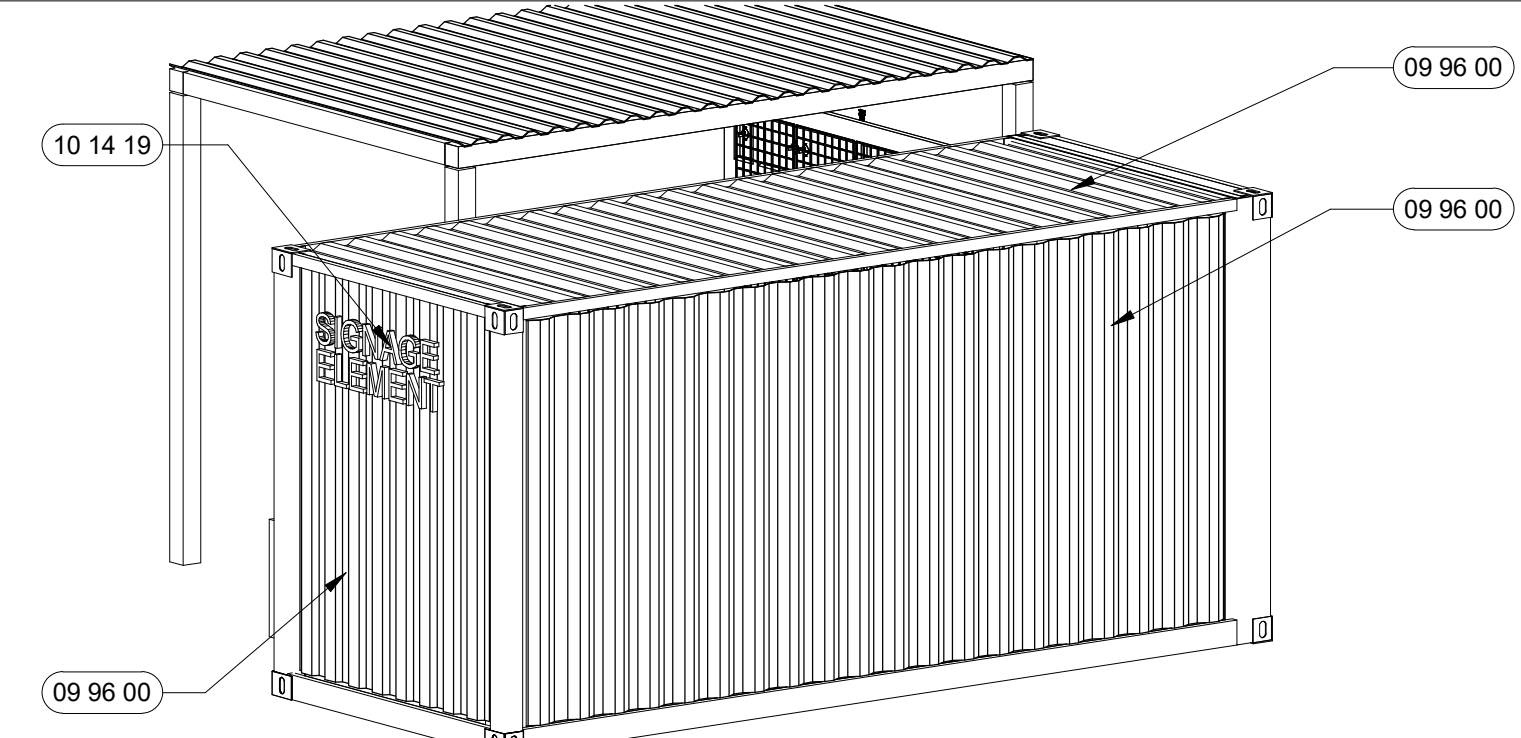
**G1** Scale 1/4" = 1'-0"  
CONTAINER 1 - BUILDING SECTION/INTERIOR ELEVATION



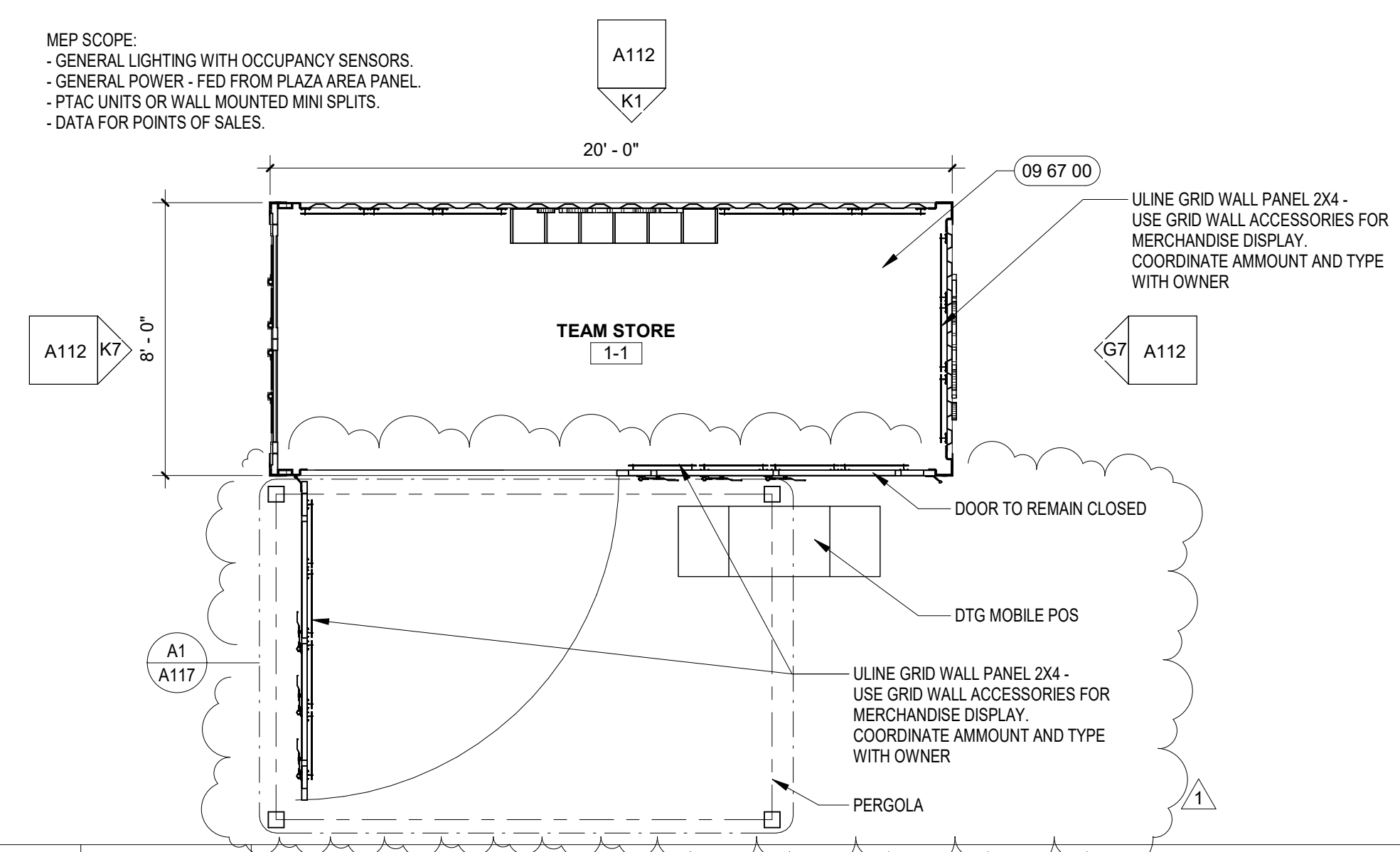
**G7** Scale 1/4" = 1'-0"  
CONTAINER 1 - NORTH SIDE



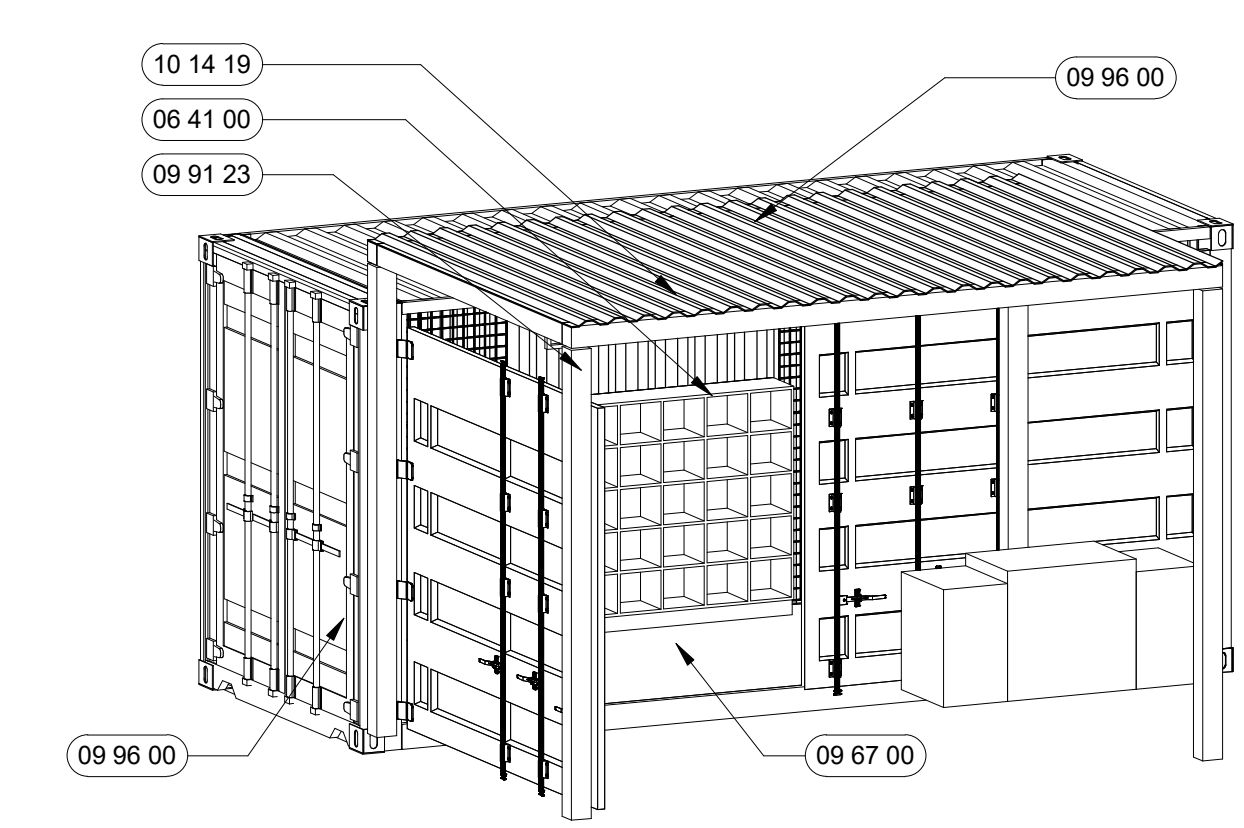
**E1** Scale 1/4" = 1'-0"  
CONTAINER 1 - REFLECTED CEILING PLAN



**E7** Scale  
CONTAINER 1 - AXON (WEST SIDE)

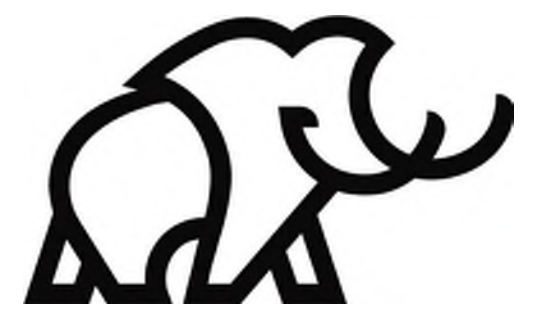


**A1** Scale 1/4" = 1'-0"  
CONTAINER 1 FLOOR PLAN



**A7** Scale  
CONTAINER 1 - AXON (EAST SIDE)





Project Status: CONSTRUCTION DOCUMENTS

Owner  
**GUY SMITH STADIUM IMPROVEMENTS**  
2113 Myrtle Ave, Greenville, NC 27834

FOR BID ONLY

Revision Key

No.	Date	Description
1	9/29/23	REV #1

Project Manager: **BH**

Project Architect: **DF**

Checked By: **Checker**

Project Number: **23-0176**

Date of Issue: **Issue Date: 9/22/2023**

Sheet Number:

**A113**  
CONTAINER 2  
PLANS/ELEVATIONS

**GENERAL NOTES - FLOOR PLAN**

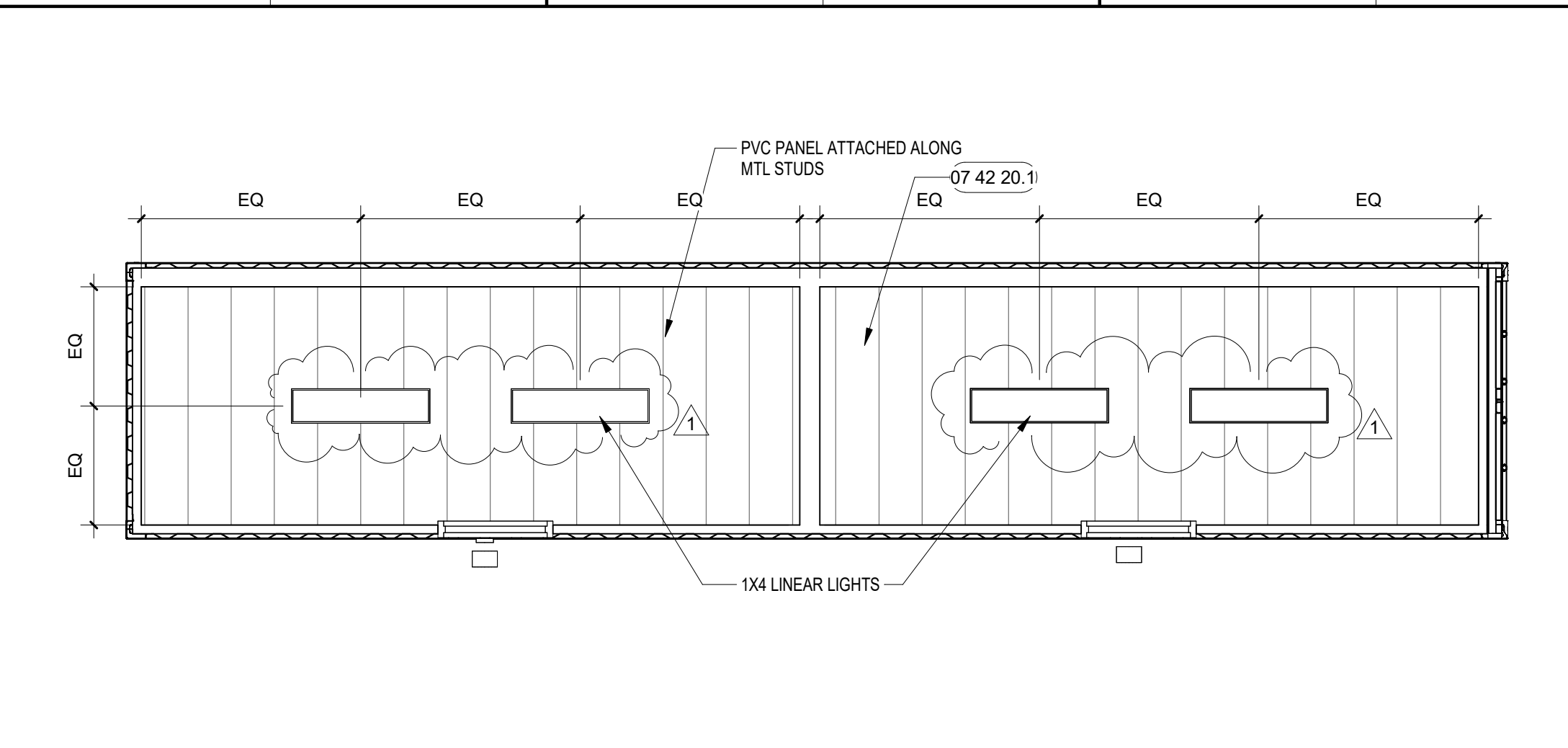
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- ALL SLEEVES, OPENINGS, ETC. FOR CONDUIT, PIPES, DUCTS, ETC. (OUTSIDE OF RATED CHASES) THROUGH FLOOR SLABS AND RATED PARTITIONS ARE TO BE FIRE SEALED IN ACCORDANCE WITH FIRE RATED ASSEMBLY DESIGNS, APPLICABLE CODES AND FIRE MARSHAL'S REQUIREMENTS.
- PROVIDE A MINIMUM OF 3/4" FIRE-RETARDANT TREATED WOOD BLOCKING OR 18 GA. MINIMUM STEEL PLATE BLOCKING AS REQUIRED WITHIN STEEL STUD FRAMED PARTITIONS FOR SECURE AND PROPER ATTACHMENT OF NEW WORK, INCLUDING BUT NOT LIMITED TO AV EQUIPMENT, MILLWORK, VISUAL DISPLAY SURFACES, SIGNAGE, AND FURNISHINGS WHERE INDICATED ON PLANS.
- WHERE WORK OCCURS IN AREAS WITH EXISTING FINISHES TO REMAIN, REFINISH DISTURBED AREAS TO MATCH EXISTING FINISHES AND MATERIALS UNLESS NOTED OR DIRECTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, ELEVATIONS, AND DETAIL SHOWN ON THE DRAWINGS. ANY DISCREPANCIES WHICH WILL PREVENT THE ACCOMPLISHMENT OF INTENT SHOWN ON DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT. INDICATED CONDITIONS ARE NOT INTENDED AS REPRESENTATIONS OR WARRANTIES OF ACCURACY. IT IS EXPRESSLY UNDERSTOOD THAT THE OWNER WILL NOT BE RESPONSIBLE FOR INTERPRETATIONS OR CONCLUSIONS DRAWN BY THE CONTRACTOR.
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- PROTECT AND PRESERVE ALL EXISTING ITEMS TO REMAIN AND REPAIR AND/OR REPLACE ANY ITEMS DAMAGED DURING THE COURSE OF THE WORK TO THE SATISFACTION AND APPROVAL OF THE ARCHITECT WITHOUT ADDITIONAL COST TO THE OWNER.
- (###) INDICATES REFERENCED SPECIFICATIONS FOR PRODUCTS AND MATERIALS SHOWN ON THE DRAWINGS AND SPECIFIED IN THE PROJECT MANUAL.

**LEGEND - KEYNOTES**

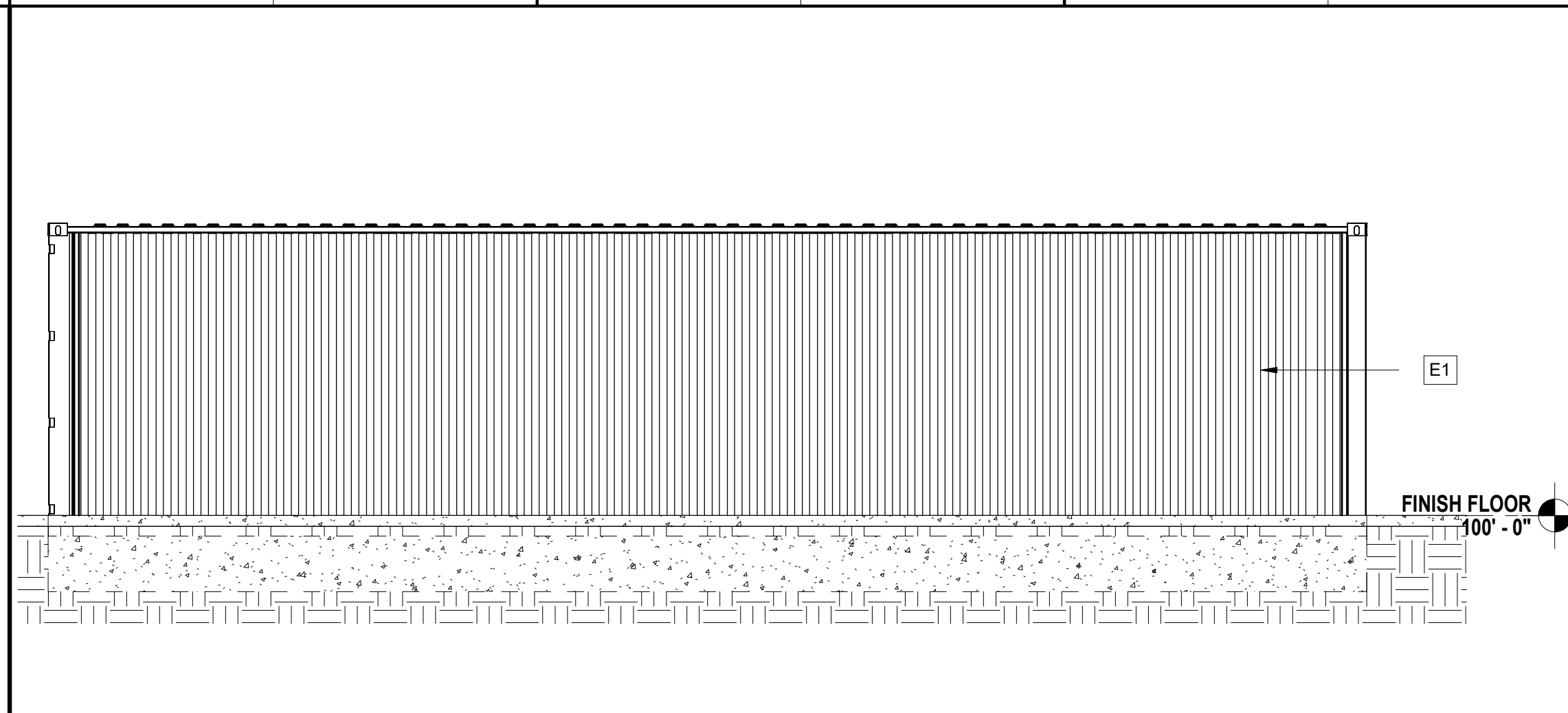
KEY VALUE	KEYNOTE TEXT
07 42 20.1	PVC WALLCEILING PANELS - WHITE
26 20 00.1	WEATHERPROOF EXTERIOR OUTLET FOR STRING LIGHTS
26 50 00.1	OUTDOOR WALL PACK/FLOOD LIGHT - COMMERCIAL ELECTRIC, 150W EQUIVALENT INTEGRATED 5 COLOR ADJUSTABLE LED BRONZE OUTDOOR WALL PACK/FLOOD LIGHT, 3000 LUMENS
E1	MARINE GRADE PAINT, PAINT COLOR TBD, 09 96 00

**FLOOR PLAN SYMBOLS**

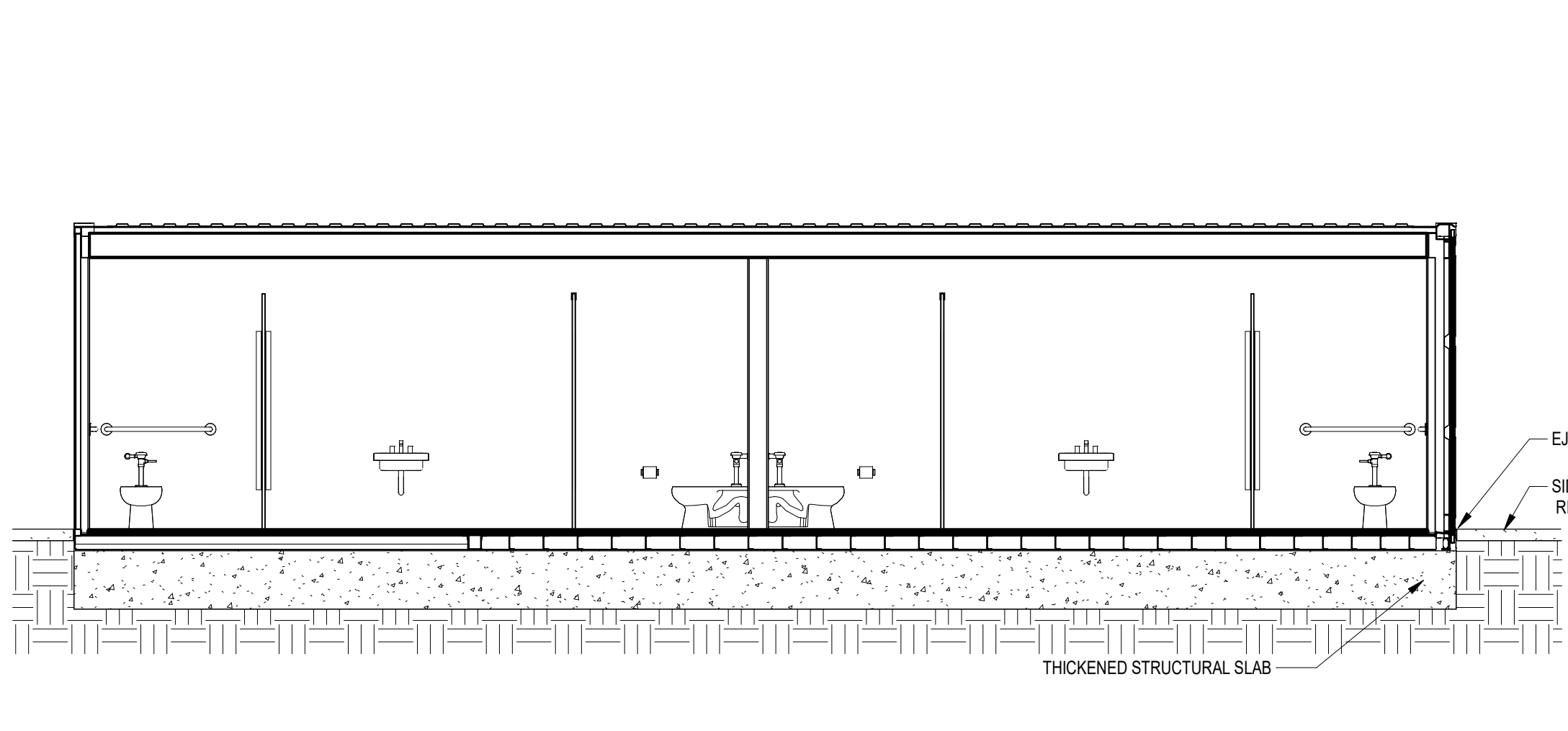
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- ROOM NAME**  
 ROOM NAME AND NUMBER
- CENTER LINE
- MATCH LINE
- DOOR INDICATION TAG
- PARTITION TYPE
- WINDOW TYPES
- PLAN KEYNOTES
- SPOT ELEVATION
- DRAWING REVISION
- NEW GRID IDENTIFIER
- EXISTING GRID IDENTIFIER



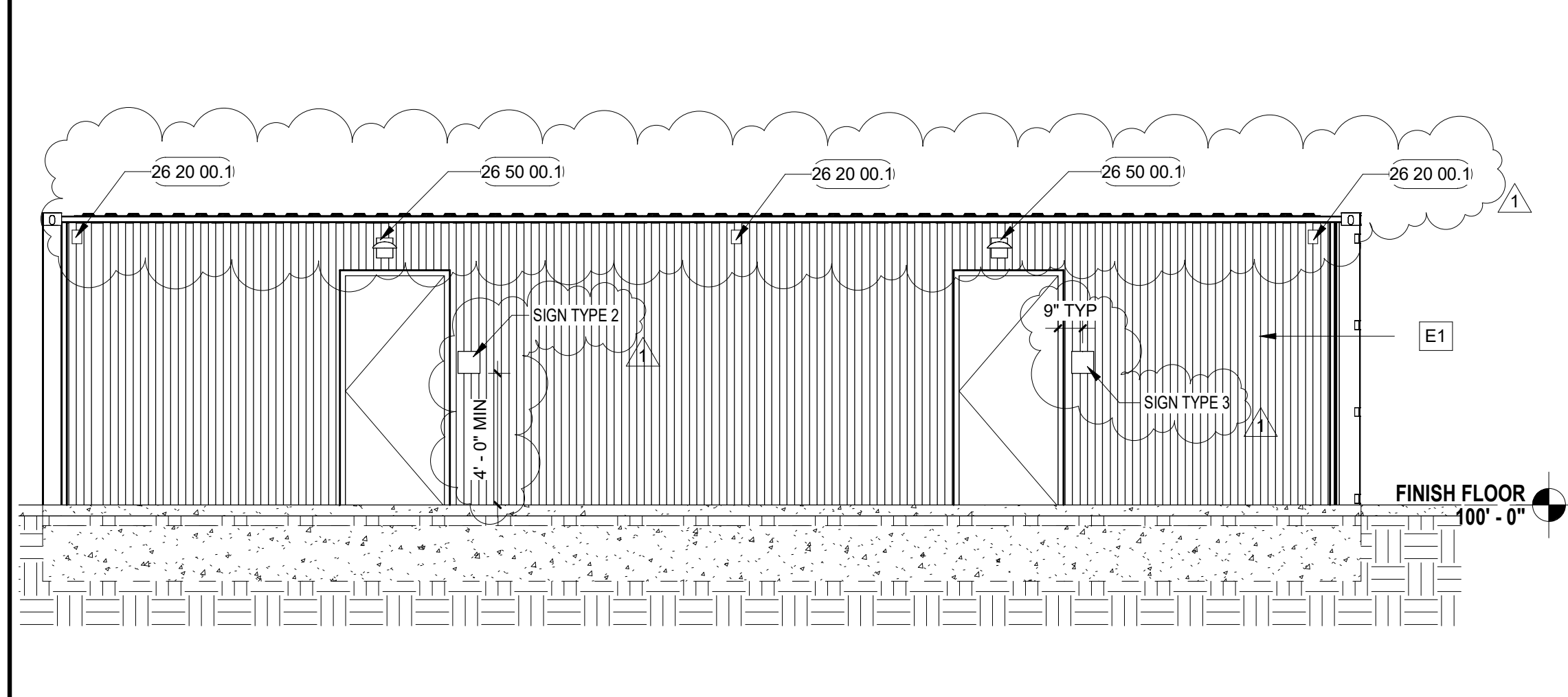
**K1** Scale REFLECTED CEILING PLAN - CONTAINER 2  
1/4" = 1'-0"



**K7** Scale CONTAINER 2 - BACK  
1/4" = 1'-0"

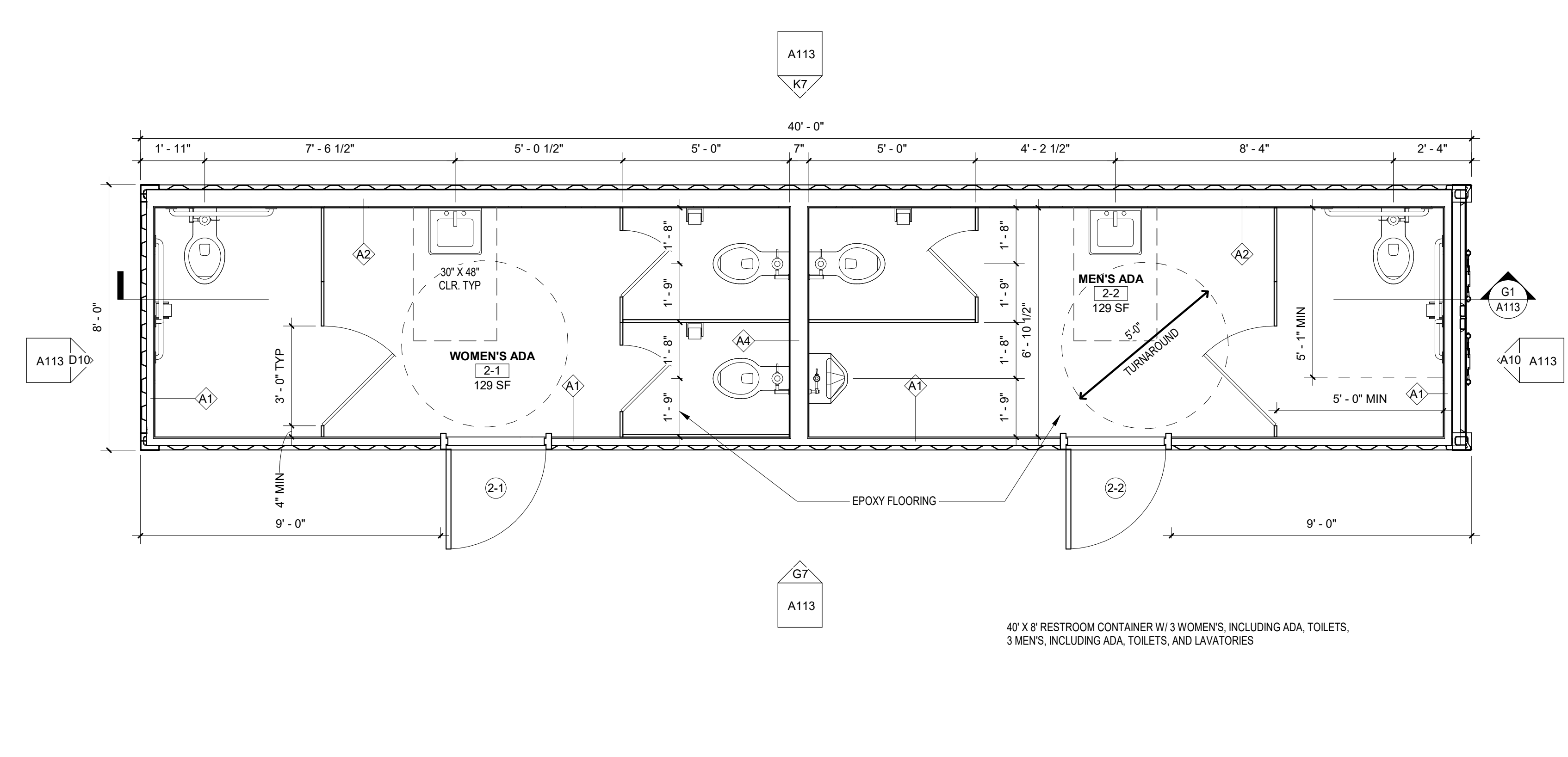


**G1** Scale CONTAINER 2 - BUILDING SECTION  
1/4" = 1'-0"

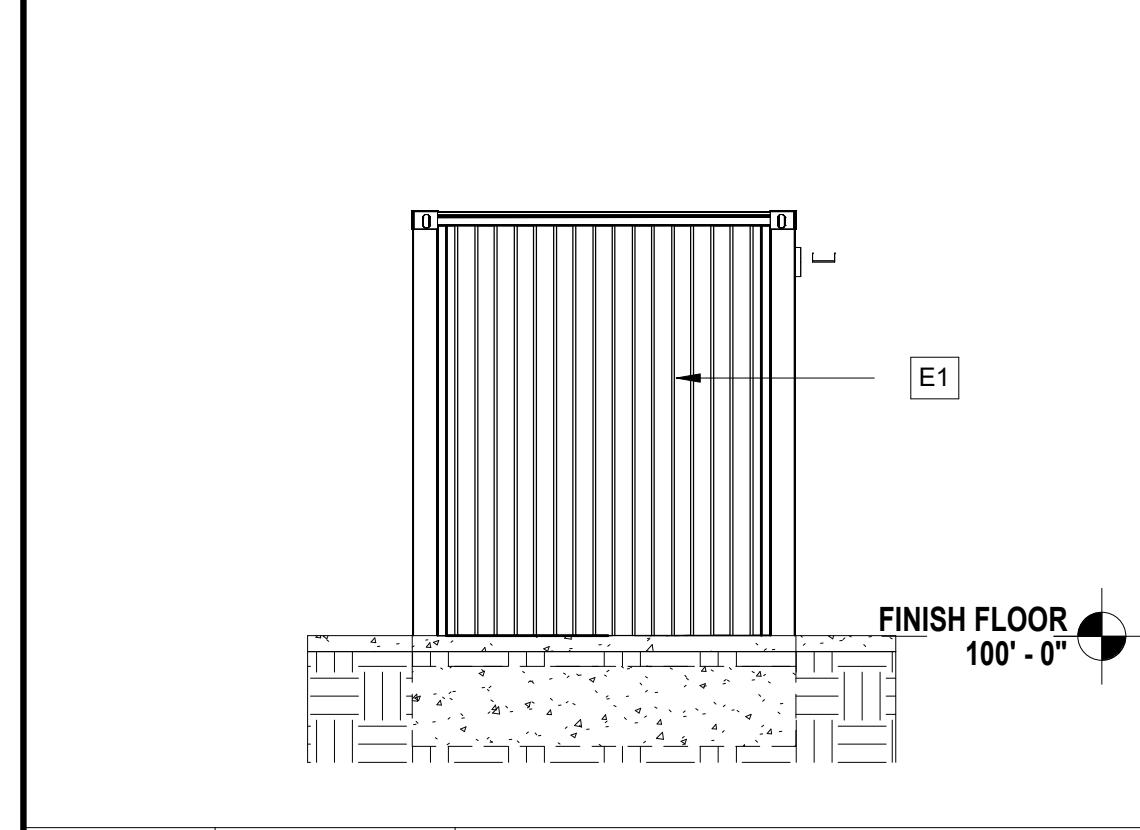


**G7** Scale CONTAINER 2 - FRONT  
1/4" = 1'-0"

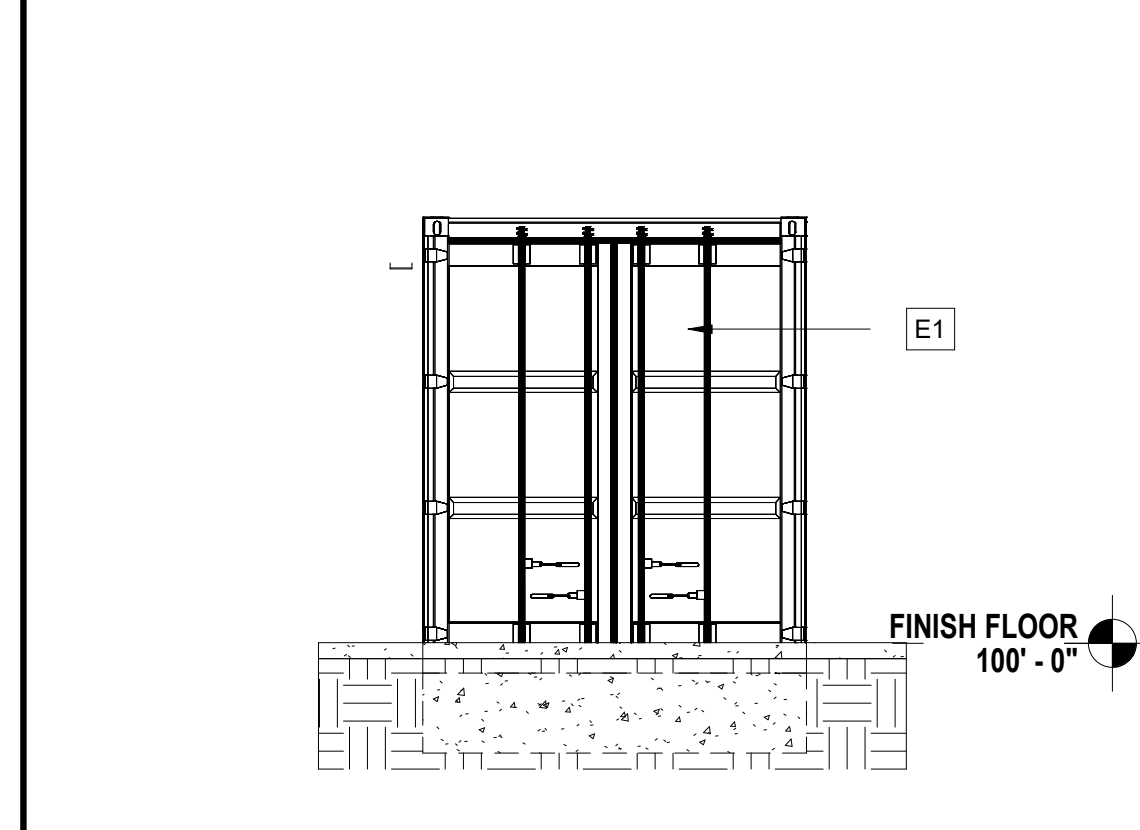
MEP SCOPE:  
- FLOOR MOUNTED SENSOR FLUSH VALVE WATER CLOSETS.  
- WALL MOUNTED LAVATORY WITH SENSOR FAUCETS.  
- INDIVIDUAL EXHAUST AND HEATER FOR EACH RESTROOM.  
- GENERAL LIGHTING WITH OCCUPANCY SENSORS.  
- GENERAL POWER.



**A1** Scale CONTAINER 2 FLOOR PLAN  
3/8" = 1'-0"



**D10** Scale CONTAINER 2 - SIDE 2  
1/4" = 1'-0"



**A10** Scale CONTAINER 2 - SIDE 1  
1/4" = 1'-0"

40' X 8' RESTROOM CONTAINER W/ 3 WOMEN'S, INCLUDING ADA, TOILETS, 3 MEN'S, INCLUDING ADA, TOILETS, AND LAVATORIES





Project Status: CONSTRUCTION DOCUMENTS

Owner  
**GUY SMITH STADIUM IMPROVEMENTS**  
2113 Myrtle Ave, Greenville, NC 27834

FOR BID ONLY

Revision Key

No.	Date	Description
1	9/29/23	REV #1

Project Manager: **BH**

Project Architect: **DF**

Checked By: \_\_\_\_\_  
Checker

Project Number: **23-0176**

Date of Issue: **9/22/2023**

Sheet Number: \_\_\_\_\_

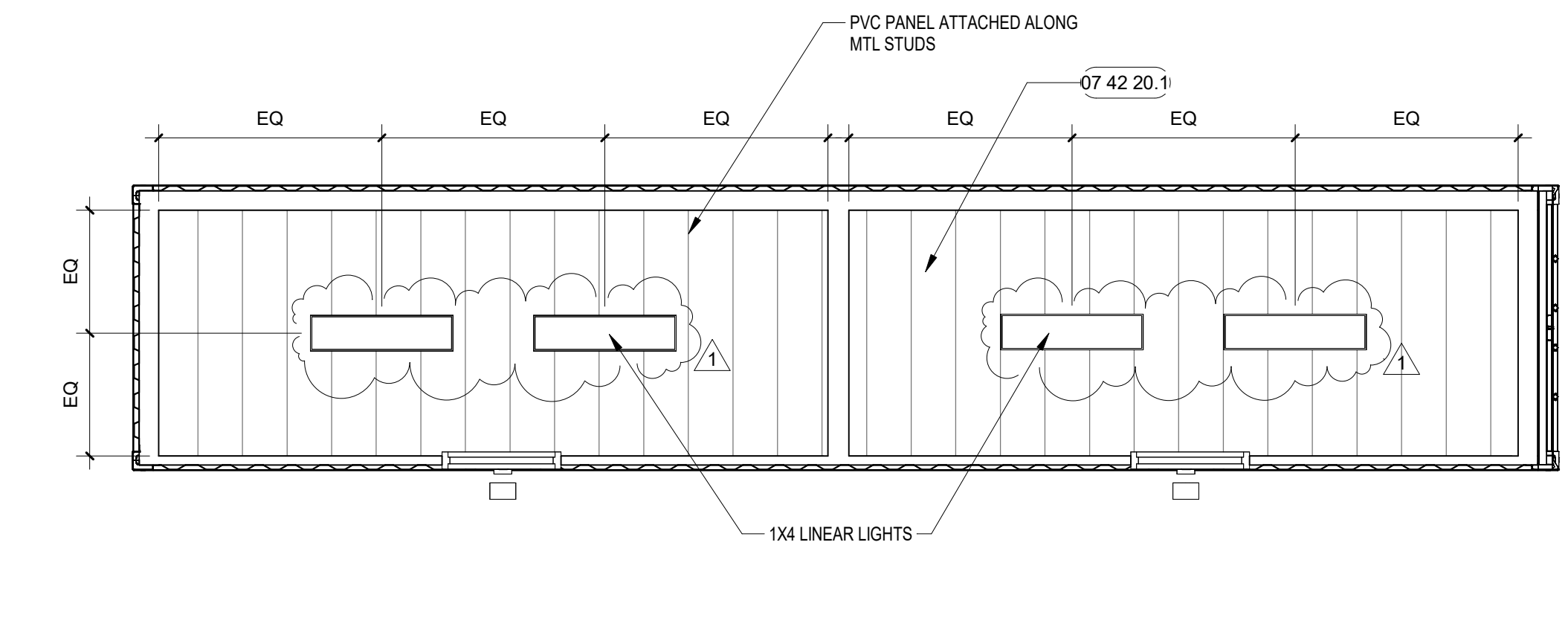
**A114**  
CONTAINER 3  
PLANS/ELEVATIONS

**GENERAL NOTES - FLOOR PLAN**

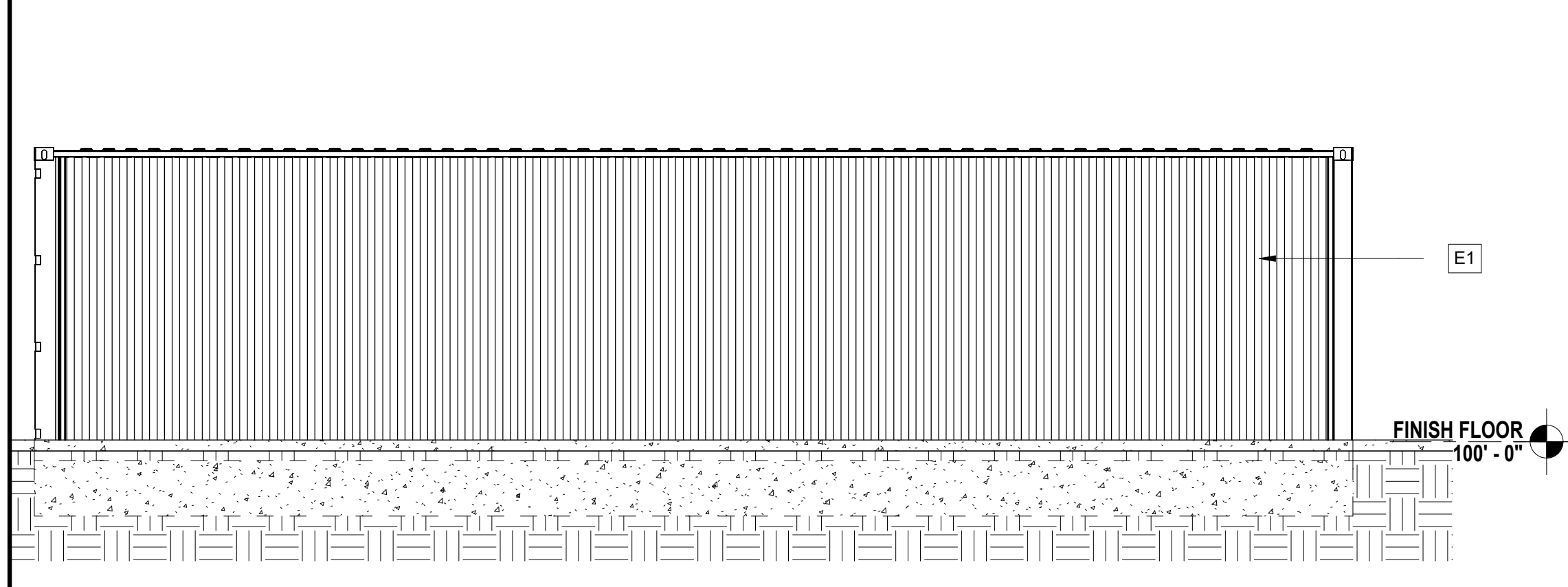
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- (###) INDICATES REFERENCED SPECIFICATIONS FOR PRODUCTS AND MATERIALS SHOWN ON THE DRAWINGS AND SPECIFIED IN THE PROJECT MANUAL.

**LEGEND - KEYNOTES**

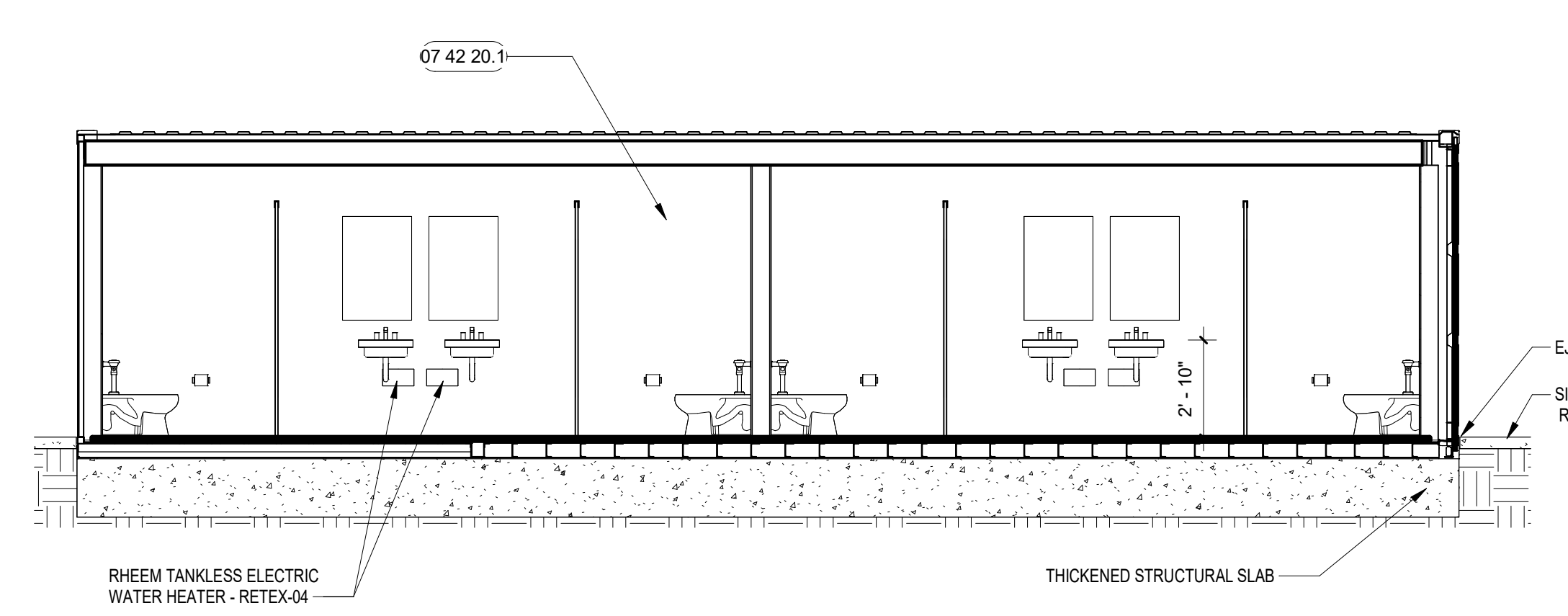
KEY VALUE	KEYNOTE TEXT
07 42 20.1	PVC WALLCILING PANELS - WHITE
26 20 00.1	WEATHERPROOF EXTERIOR OUTLET FOR STRING LIGHTS
26 50 00.1	OUTDOOR WALL PACK/FLOOD LIGHT - COMMERCIAL ELECTRIC, 150W EQUIVALENT INTEGRATED 5 COLOR ADJUSTABLE LED BRONZE OUTDOOR WALL PACK/FLOOD LIGHT, 3000 LUMENS
E1	MARINE GRADE PAINT, PAINT COLOR TBD, 09 96 00



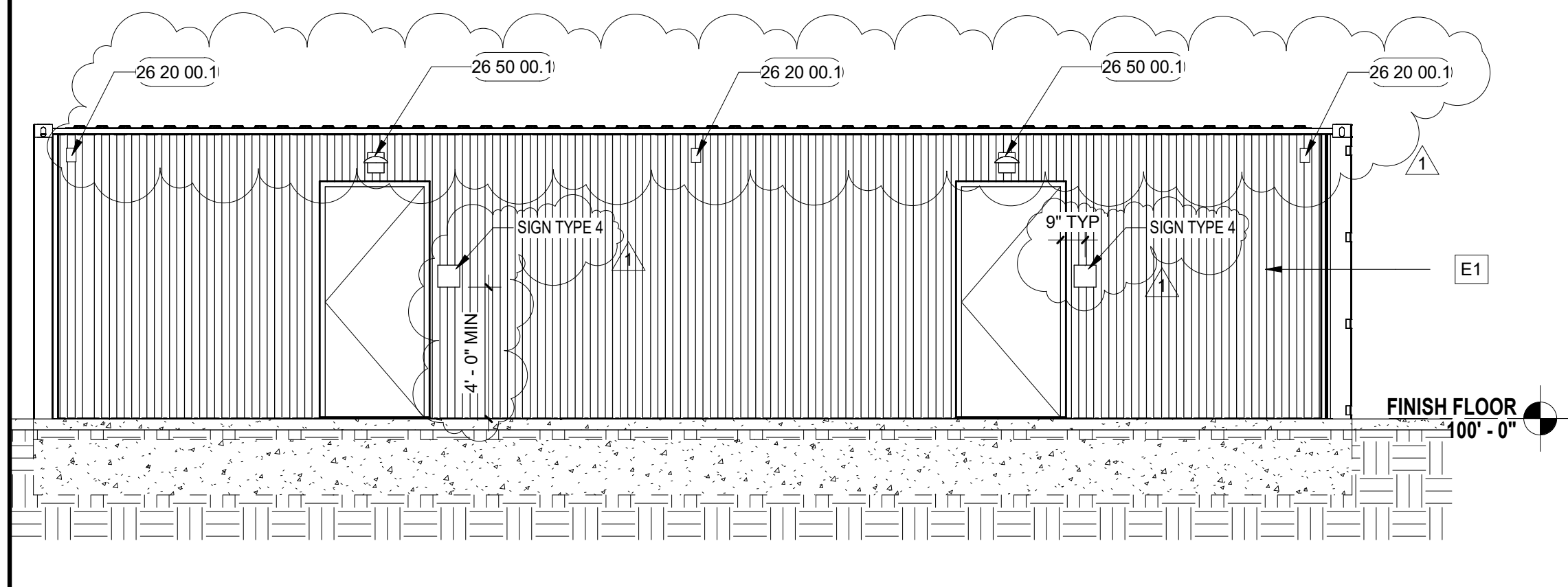
**K1** Scale REFLECTED CEILING PLAN - CONTAINER 3  
1/4" = 1'-0"



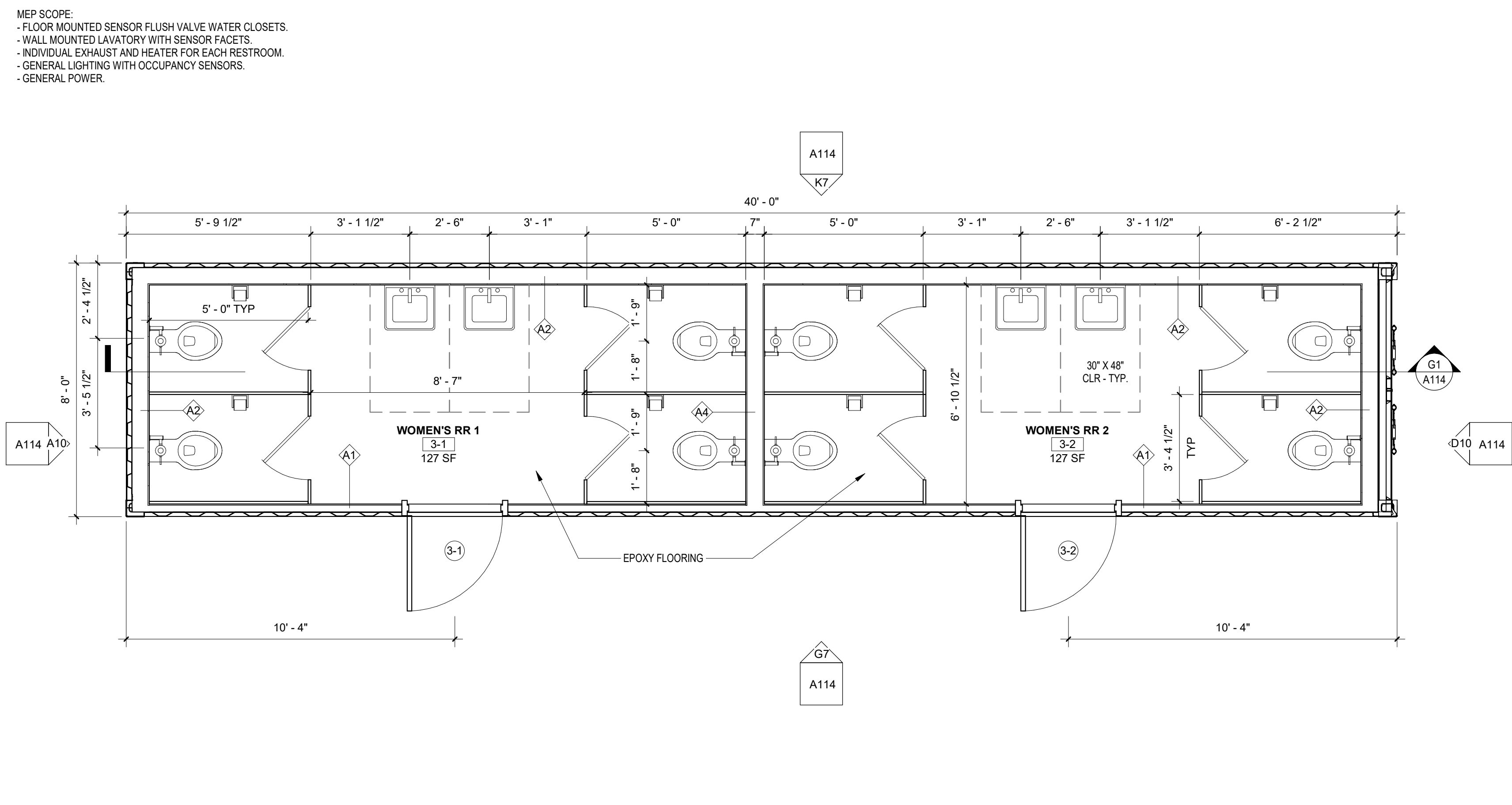
**K7** Scale CONTAINER 3 - BACK  
1/4" = 1'-0"



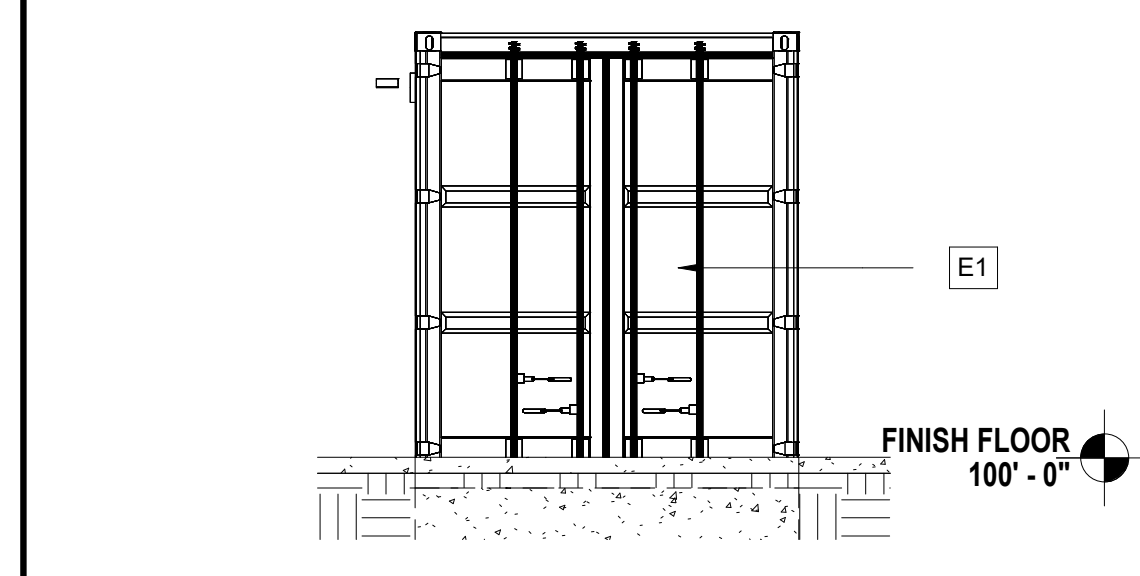
**G1** Scale CONTAINER 3 - BUILDING SECTION  
1/4" = 1'-0"



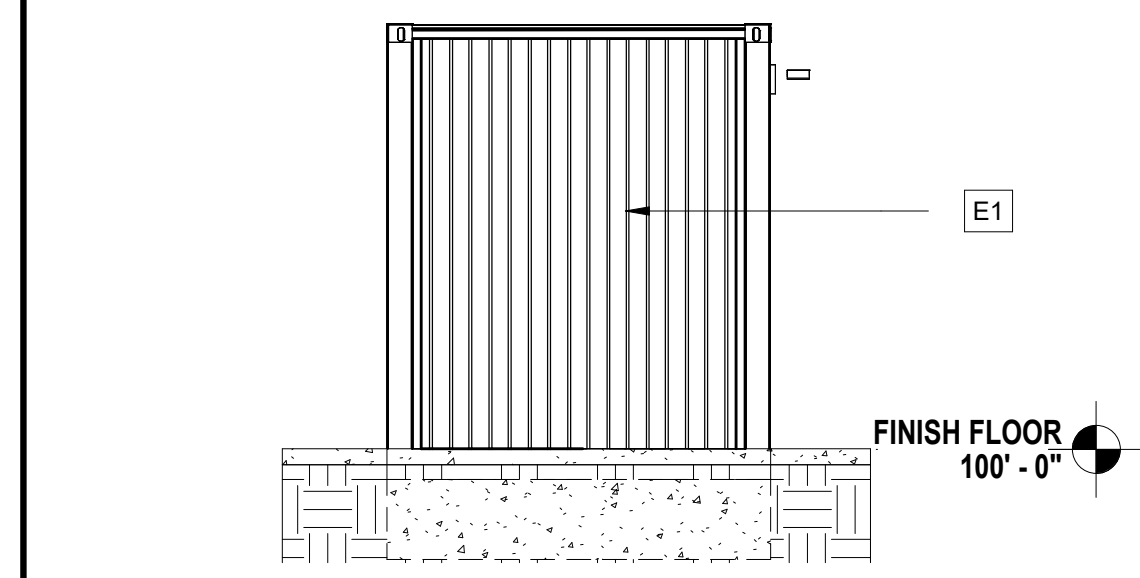
**G7** Scale CONTAINER 3 - FRONT  
1/4" = 1'-0"



**A1** Scale CONTAINER 3 FLOOR PLAN  
3/8" = 1'-0"



**D10** Scale CONTAINER 3 - SIDE 2  
1/4" = 1'-0"



**A10** Scale CONTAINER 3 - SIDE 1  
1/4" = 1'-0"

**FLOOR PLAN SYMBOLS**

- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- ROOM NAME**  
### ROOM NAME AND NUMBER
- CENTER LINE
- MATCH LINE
- DOOR INDICATION TAG
- PARTITION TYPE
- WINDOW TYPES
- PLAN KEYNOTES
- SPOT ELEVATION
- DRAWING REVISION
- NEW GRID IDENTIFIER
- EXISTING GRID IDENTIFIER





Project Status: CONSTRUCTION DOCUMENTS

Owner  
**GUY SMITH STADIUM IMPROVEMENTS**  
2113 Myrtle Ave, Greenville, NC 27834

FOR BID ONLY

Revision Key

No.	Date	Description
1	9/29/23	REV #1

Project Manager: **BH**

Project Architect: **DF**

Checked By: \_\_\_\_\_  
Checker

Project Number: **23-0176**

Date of Issue: **9/22/2023**

Sheet Number:

**A115**  
CONTAINER 4  
PLANS/ELEVATIONS

**GENERAL NOTES - FLOOR PLAN**

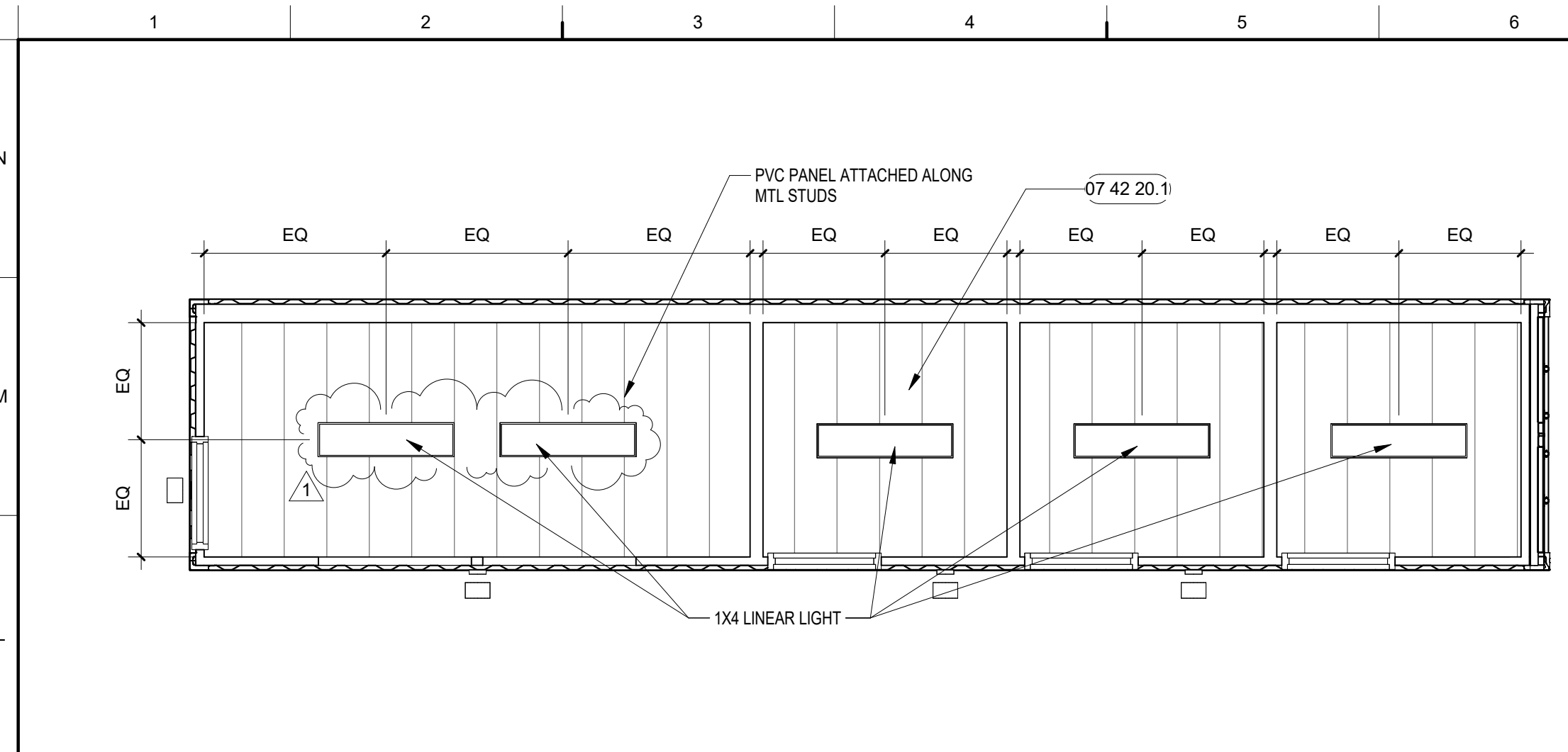
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**LEGEND - KEYNOTES**

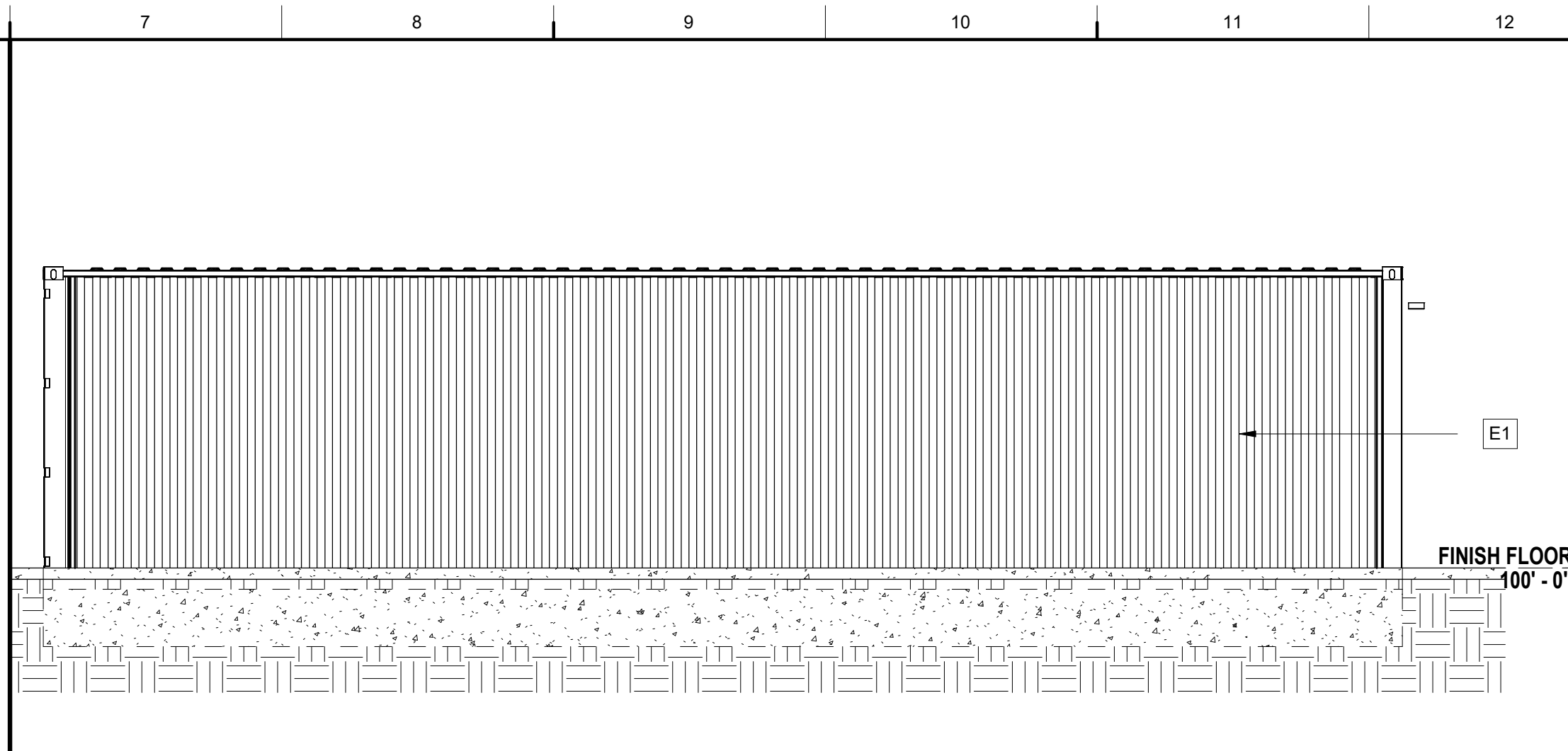
KEY VALUE	KEYNOTE TEXT
07 42 20.1	PVC WALLCEILING PANELS - WHITE
26 20 00.1	WEATHERPROOF EXTERIOR OUTLET FOR STRING LIGHTS
26 50 00.1	OUTDOOR WALL PACKFLOOD LIGHT - COMMERCIAL ELECTRIC, 150W EQUIVALENT INTEGRATED 5 COLOR ADJUSTABLE LED BRONZE OUTDOOR WALL PACKFLOOD LIGHT, 3000 LUMENS
E1	MARINE GRADE PAINT, PAINT COLOR TBD, 09 96 00

**FLOOR PLAN SYMBOLS**

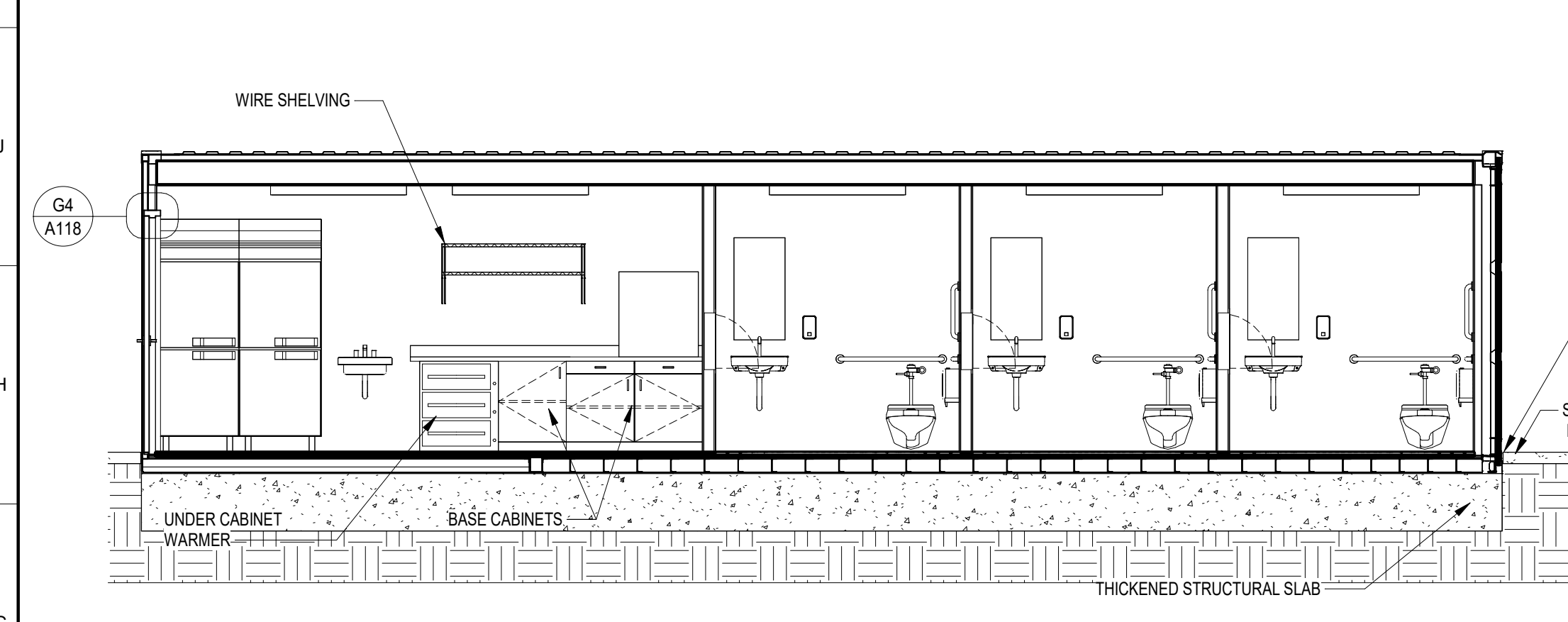
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- ROOM NAME**  
### ROOM NAME AND NUMBER
- CENTER LINE
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- PLAN KEYNOTES
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- DRAWING REVISION
- NEW GRID IDENTIFIER
- EXISTING GRID IDENTIFIER



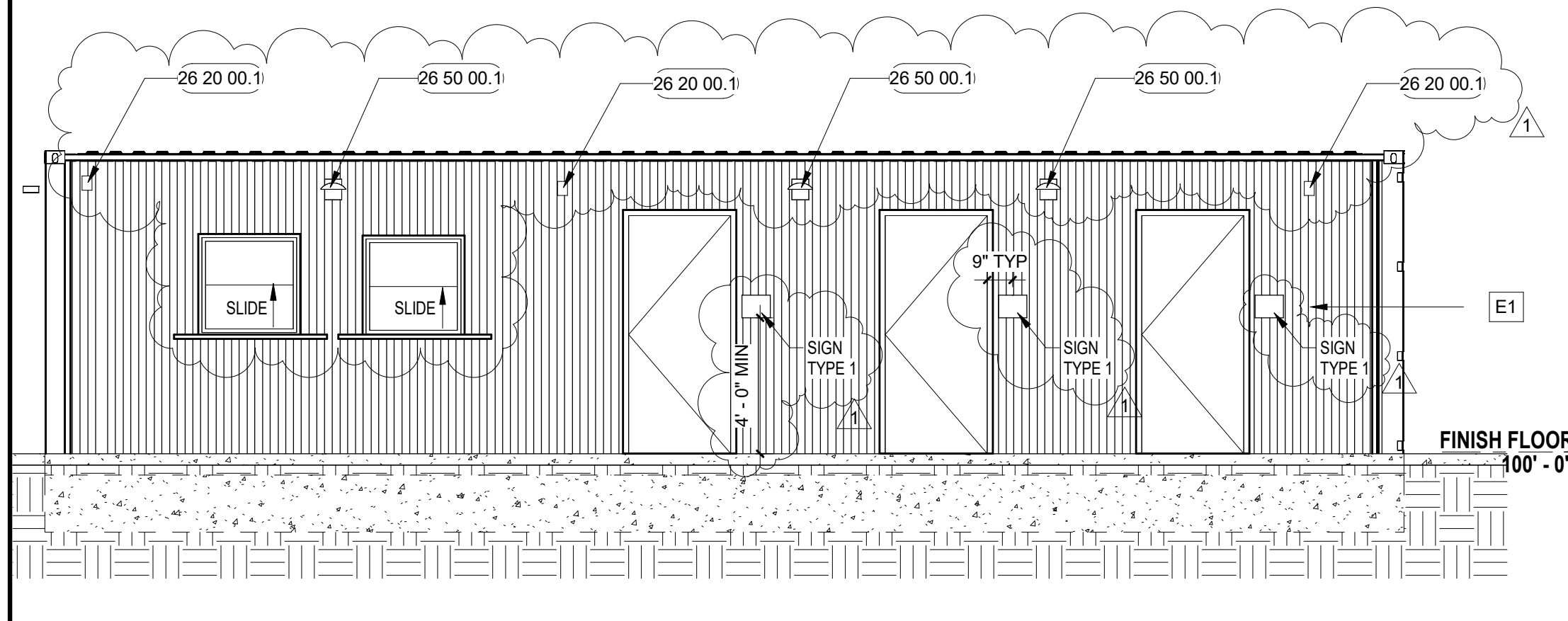
**K1** Scale REFLECTED CEILING PLAN - CONTAINER 4  
1/4" = 1'-0"



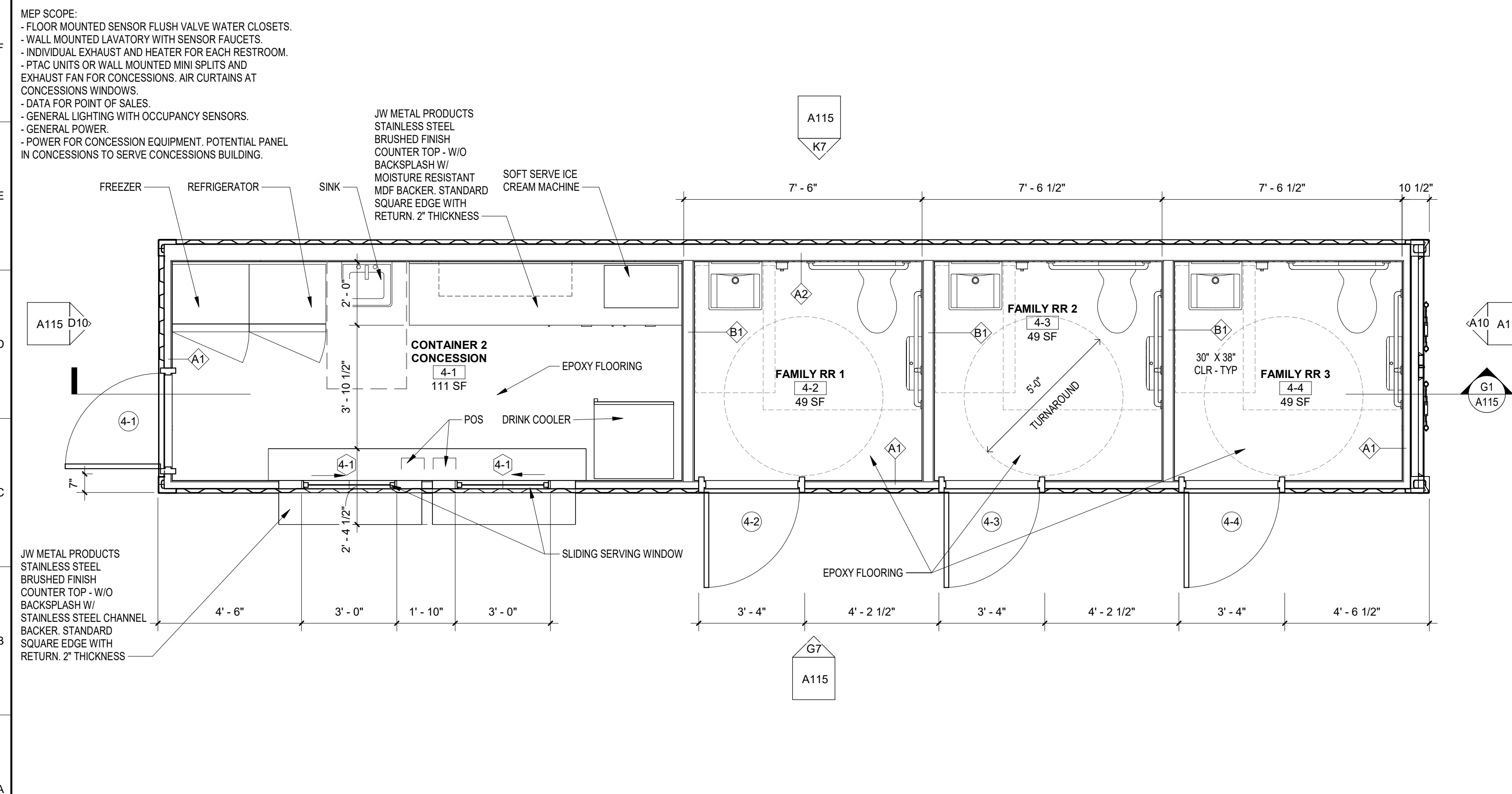
**K7** Scale CONTAINER 4 - BACK  
1/4" = 1'-0"



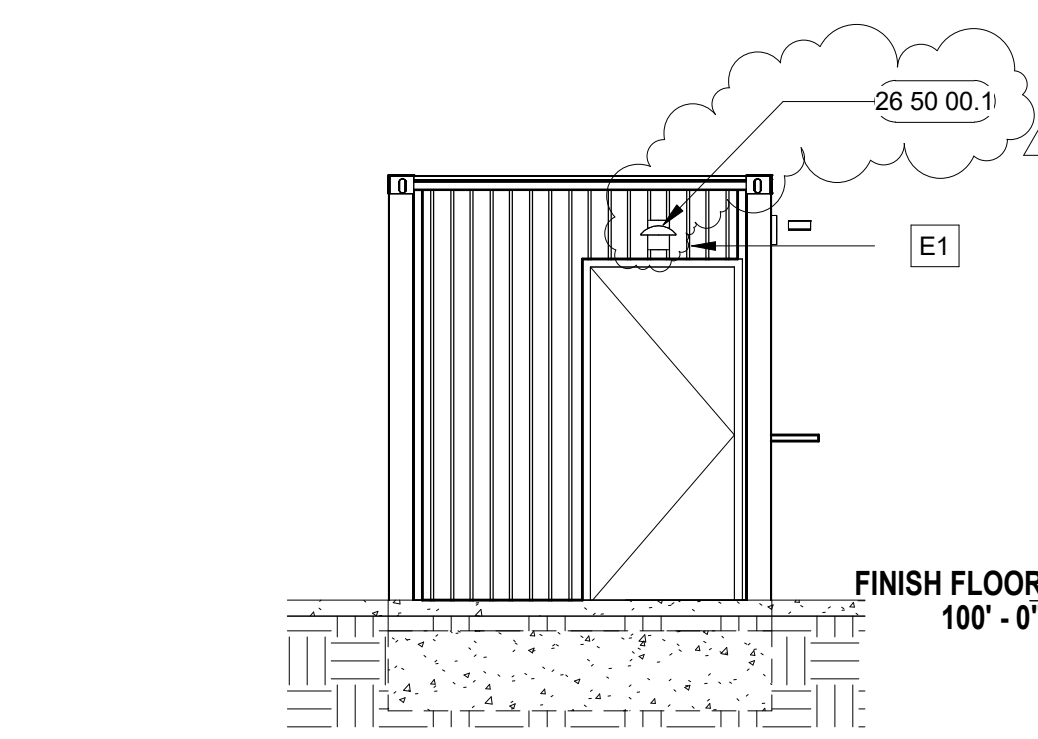
**G1** Scale CONTAINER 4 - BUILDING SECTION  
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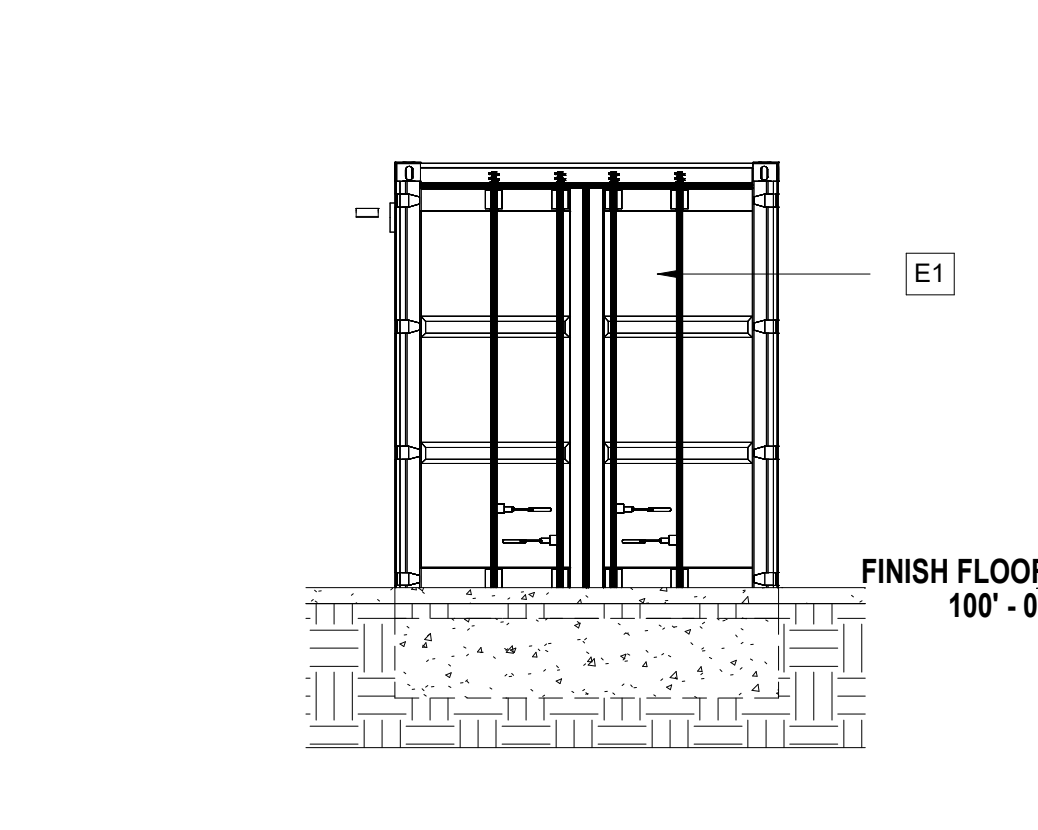
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**A1** Scale CONTAINER 4 FLOOR PLAN  
3/8" = 1'-0"

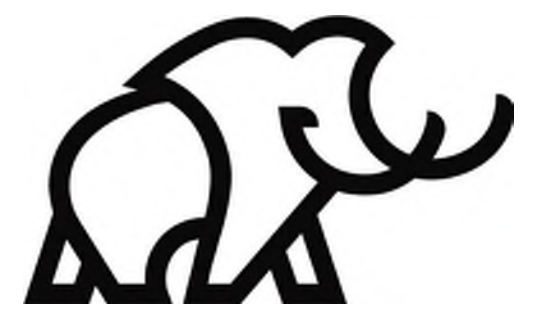


**D10** Scale CONTAINER 4 - SIDE 2  
1/4" = 1'-0"



**A10** Scale CONTAINER 4 - SIDE 1  
1/4" = 1'-0"





Project Status: CONSTRUCTION DOCUMENTS

Owner  
**GUY SMITH STADIUM IMPROVEMENTS**  
21113 Myrtle Ave, Greenville, NC 27834

FOR BID ONLY

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**LEGEND - KEYNOTES**

KEY VALUE	KEYNOTE TEXT
06 40 00.1	WOOD LOOK SKIRTING - TO MATCH PERGOLAS - MATERIAL TO BE WEATHER RESISTANT. SKIRTING FASTENED TO HSS ATTACHED TO TOP OF CONTAINER
07 42 20.1	PVC WALL/CEILING PANELS - WHITE
10 14 14.1	COORDINATE SIGNAGE WITH OWNER AND MFR. - PROVIDE WEATHERPROOF JUNCTION BOX AS NEEDED
26 20 00.1	WEATHERPROOF EXTERIOR OUTLET FOR STRING LIGHTS
26 50 00.1	OUTDOOR WALL PACK/FLOOD LIGHT - COMMERCIAL ELECTRIC, 150W EQUIVALENT INTEGRATED 5 COLOR ADJUSTABLE LED BRONZE OUTDOOR WALL PACK/FLOOD LIGHT, 5000 LUMENS
E1	MARINE GRADE PAINT, PAINT COLOR TBD, 09 96 00

**FOODSERVICE EQUIPMENT SCHEDULE**

Mark - FE#	Count	Manufacturer	Model	Description
1	1	TRUE MFG.	T-35-HC	REACH-IN REFRIGERATOR
2	1	TRUE MFG.	T-35F-HC	REACH-IN FREEZER
3	1	NEW AGE	1311	MOBILE WORK TOP PAN RACK
4	1			HOOD SYSTEM - PROVIDED BY OTHERS
5	2	MOFFAT	G32D5	CONVECTION OVEN, GAS
6	1	TRUE MFG.	TRCB-48-HC	CHEF BASE
7	1	STAR	848TA	GRIDDLE, GAS, COUNTERTOP
8	2	SERV-WARE	G32D5	GAS FLOOR FRYER
9	1	MARSHALL AIR SYSTEMS	145486SS	COOKED FRY STATION TABLE
10	1	TRUE MFG.	TWT-48-HC	WORKTOP FREEZER
11	1	TRUE MFG.	TWT-48-HC	REFRIGERATED WORK TOP
12	1	TRUE MFG.	TSSU-27-08-HC	SANDWICH/SALAD PREPARATION REFRIGERATOR
14	1	SERV-WARE	GR1436CWP	WIRE SHELVING
15	1	SERV-WARE	HS10S-CWP	HAND SINK
16	2	FMP	280-2342	COMMERCIAL WASTER CONTAINER
17	1	SERV-WARE	GR1454CWP	WIRE SHELVING
18	1	BKI	2TSM-6224L	DISPLAY MERCHANDISER, HEATED, FOR MULTI-PRODUCT

**FLOOR PLAN SYMBOLS**

- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- ROOM NAME**  
 ROOM NAME AND NUMBER
- CENTER LINE
- MATCH LINE
- DOOR INDICATION TAG
- PARTITION TYPE
- WINDOW TYPES
- PLAN KEYNOTES
- SPOT ELEVATION
- DRAWING REVISION
- NEW GRID IDENTIFIER
- EXISTING GRID IDENTIFIER

**Revision Key**

No.	Date	Description
1	9/29/23	REV #1

Project Manager: **BH**

Project Architect: **DF**

Checked By: **Checker**

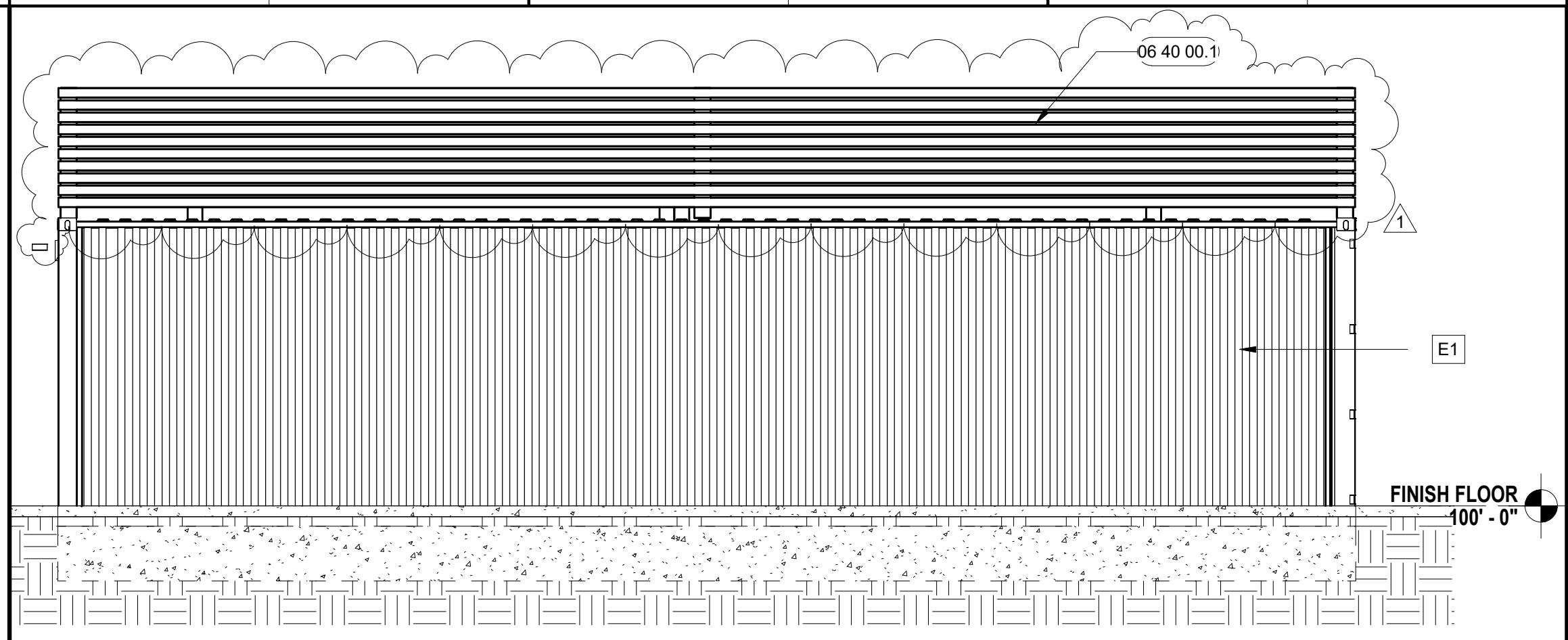
Project Number: **23-0176**

Date of Issue: **Issue Date: 9/22/2023**

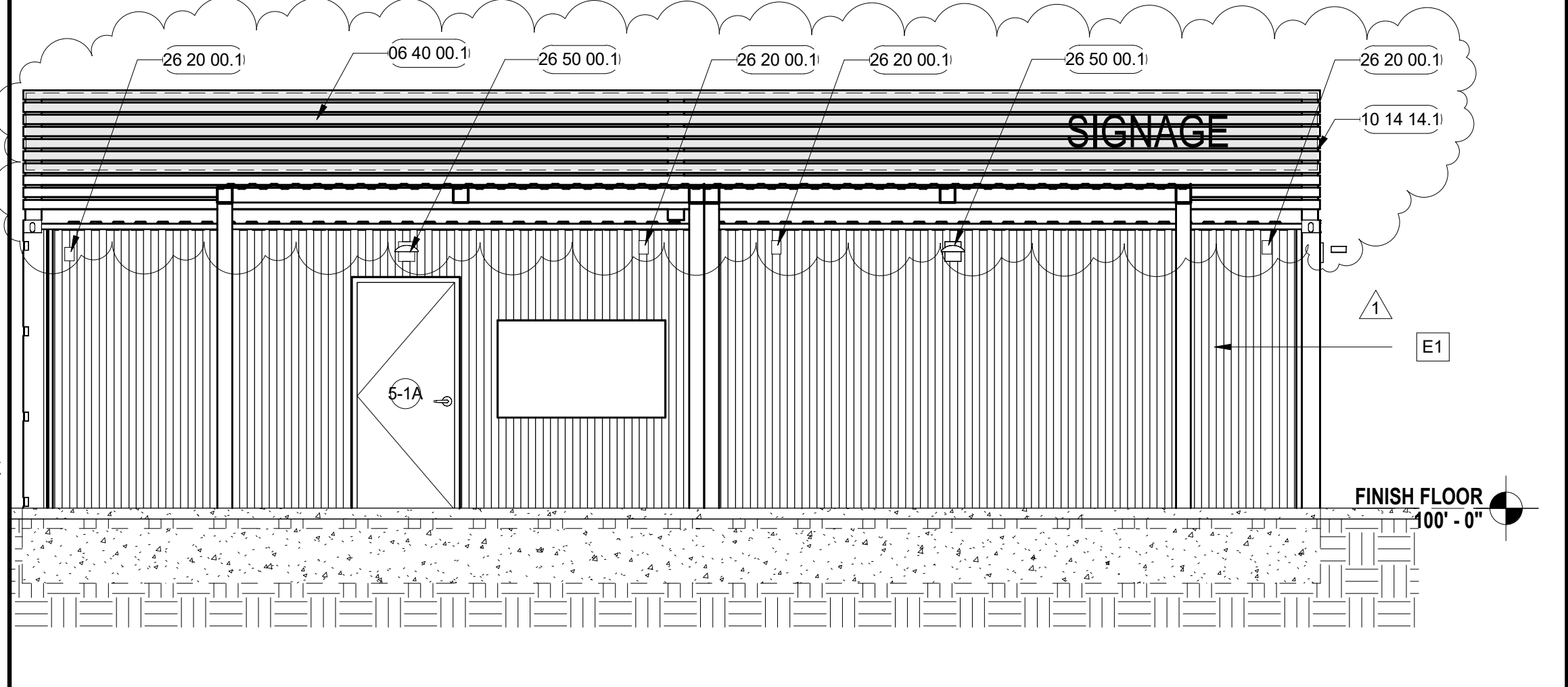
Sheet Number:

**A116**

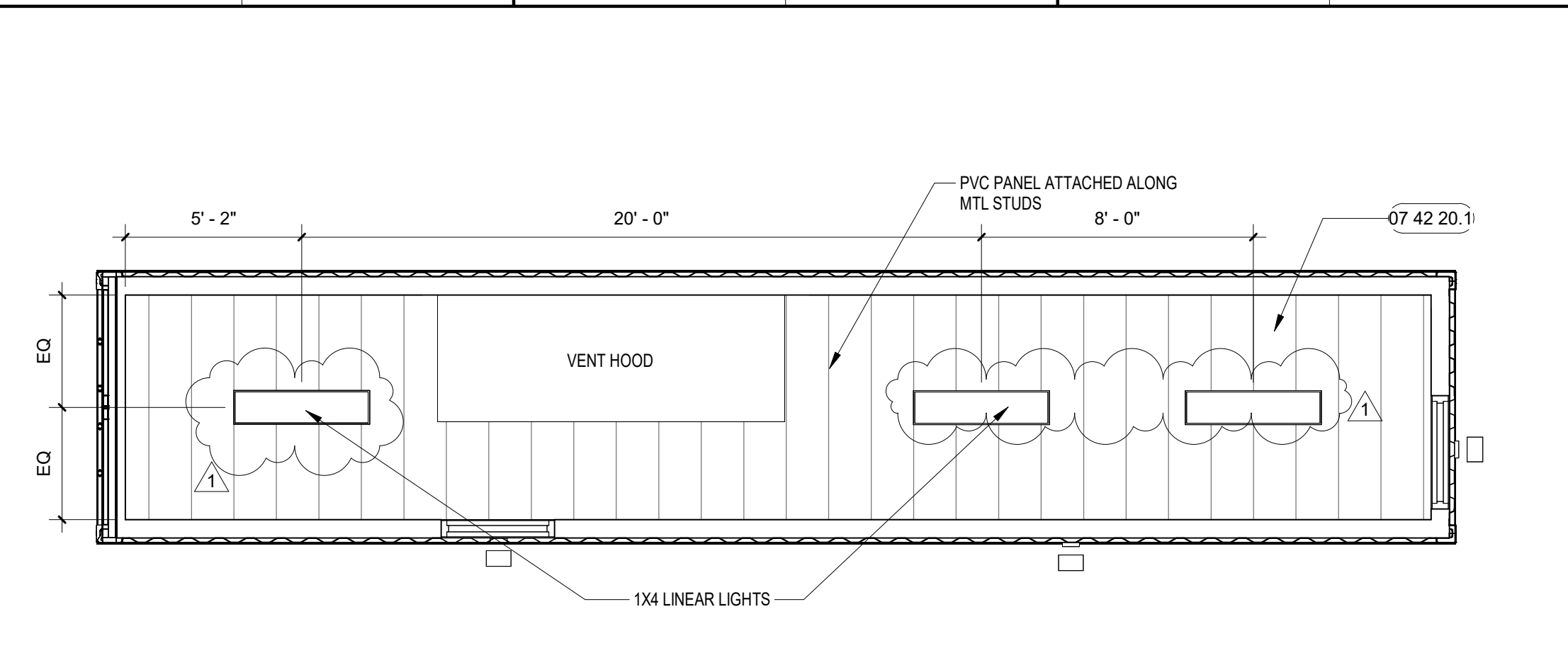
ADD ALT - CONTAINER 5 PLANS/ELEVATIONS



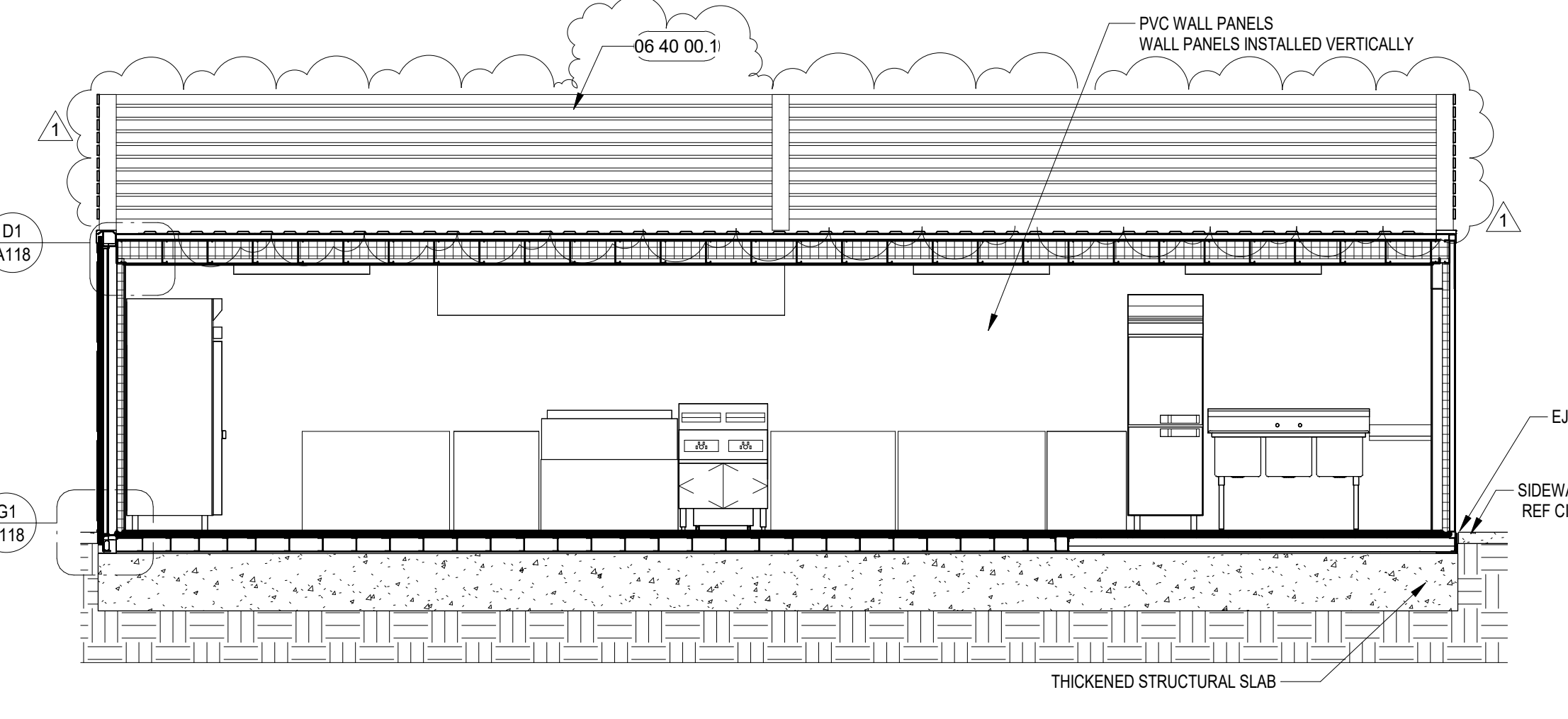
**K7** Scale 1/4" = 1'-0"  
CONTAINER 5 - BACK



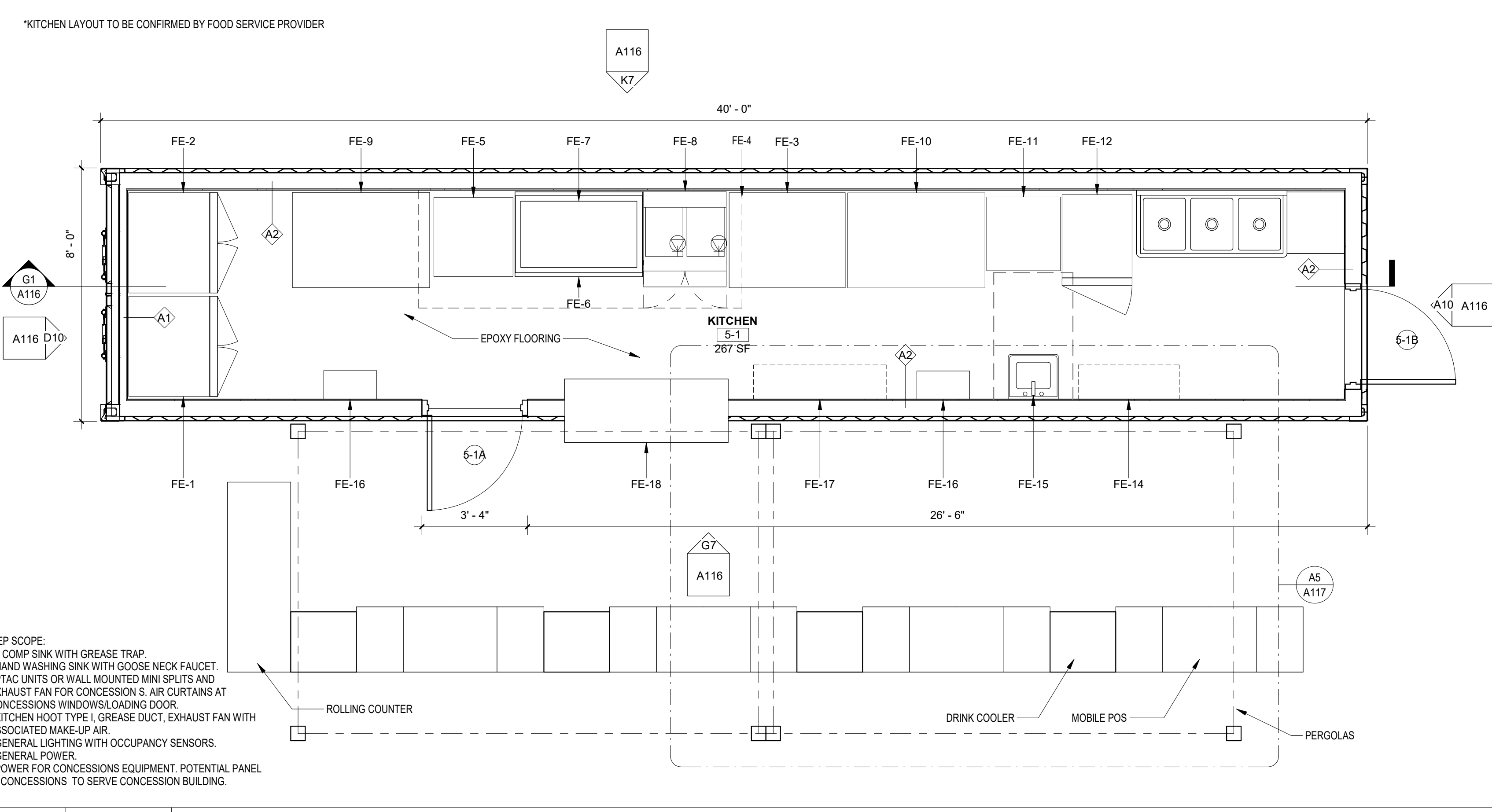
**G7** Scale 1/4" = 1'-0"  
CONTAINER 5 - FRONT



**K1** Scale 1/4" = 1'-0"  
REFLECTED CEILING PLAN - CONTAINER 5

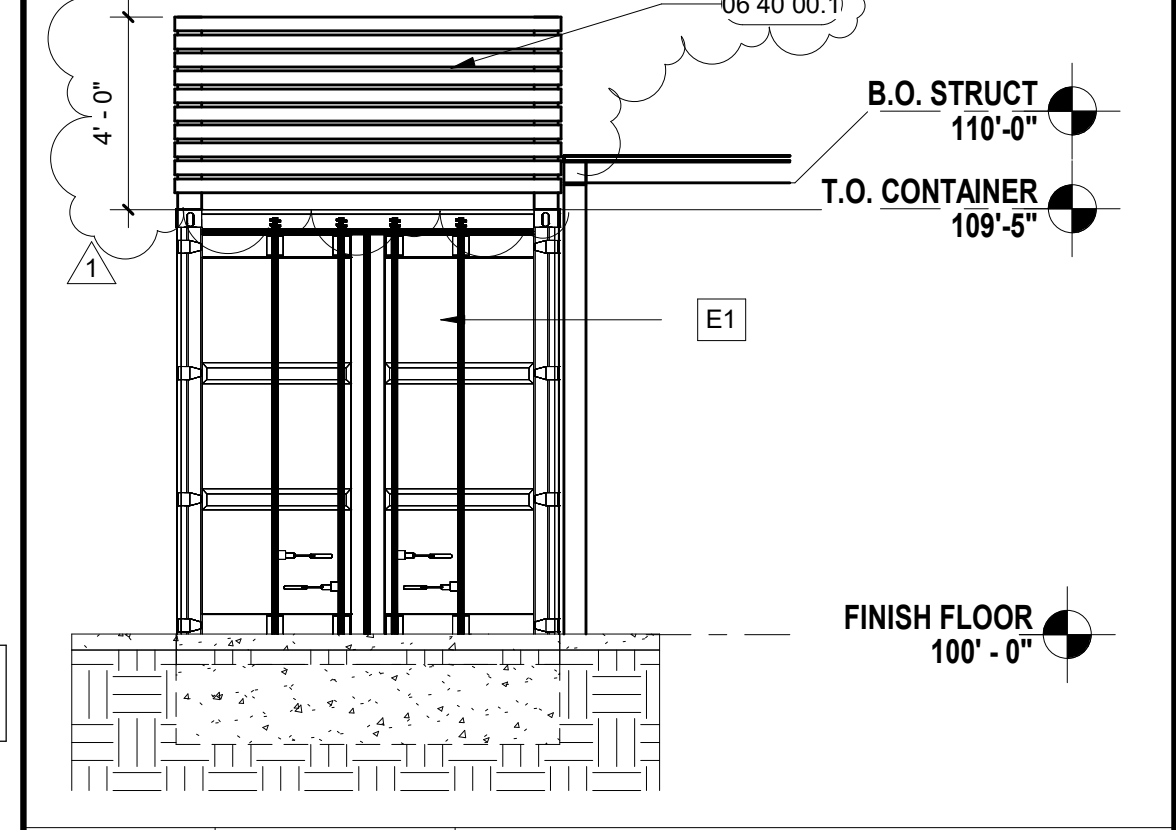


**G1** Scale 1/4" = 1'-0"  
CONTAINER 5 - BUILDING SECTION

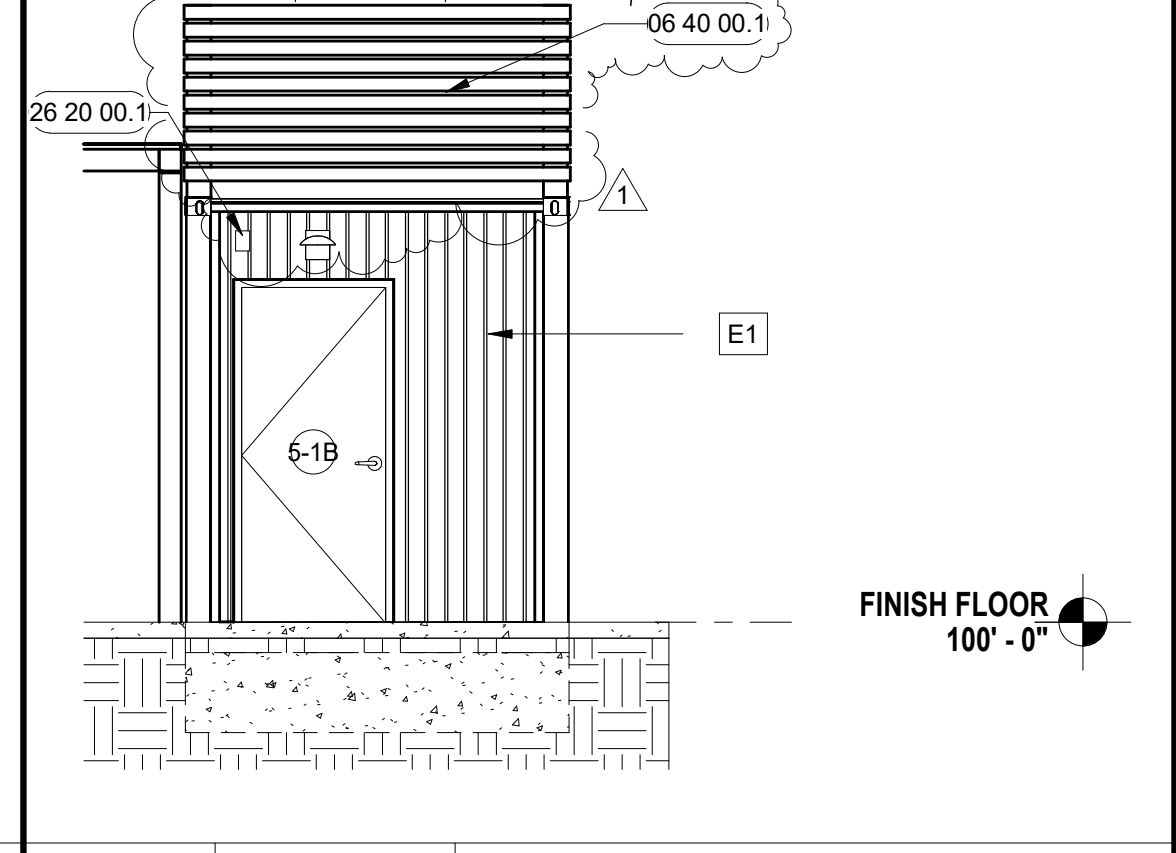


**A1** Scale 3/8" = 1'-0"  
CONTAINER 5 FLOOR PLAN

- MEP SCOPE:**
- 3 COMP SINK WITH GREASE TRAP
  - HAND WASHING SINK WITH GOOSE NECK FAUCET
  - PTAC UNITS OR WALL MOUNTED MINI SPLITS AND EXHAUST FAN FOR CONCESSION S. AIR CURTAINS AT CONCESSIONS WINDOWS/LOADING DOOR
  - KITCHEN HOOT TYPE I, GREASE DUCT, EXHAUST FAN WITH ASSOCIATED MAKE-UP AIR
  - GENERAL LIGHTING WITH OCCUPANCY SENSORS
  - GENERAL POWER
  - POWER FOR CONCESSIONS EQUIPMENT. POTENTIAL PANEL IN CONCESSIONS TO SERVE CONCESSION BUILDING.



**D10** Scale 1/4" = 1'-0"  
CONTAINER 5 - SIDE 2



**A10** Scale 1/4" = 1'-0"  
CONTAINER 5 - SIDE 1





Project Status: CONSTRUCTION  
DOCUMENTS

Owner  
**GUY SMITH STADIUM IMPROVEMENTS**  
21113 Myrtle Ave, Greenville, NC 27834

FOR BID ONLY

Revision Key

No.	Date	Description

Project Manager: \_\_\_\_\_

BH

Project Architect: \_\_\_\_\_

DF

Checked By: \_\_\_\_\_

Checker

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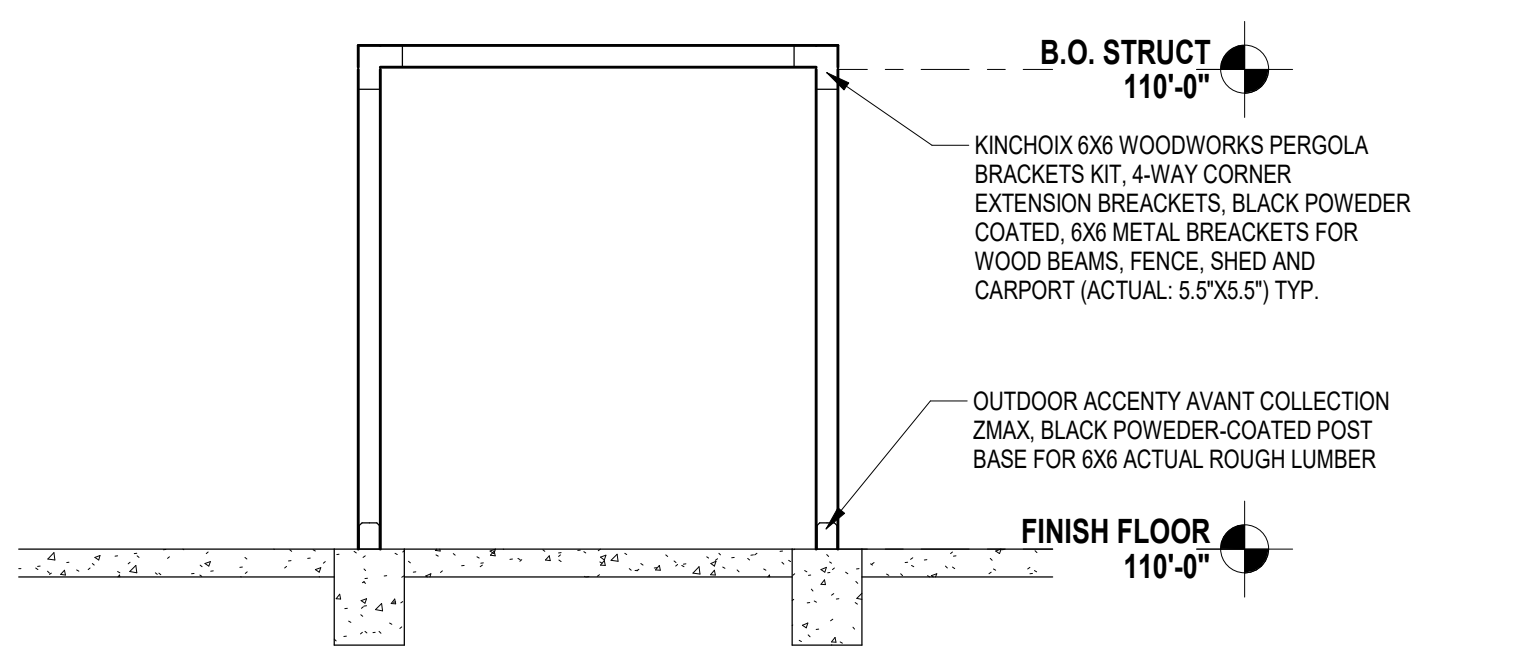
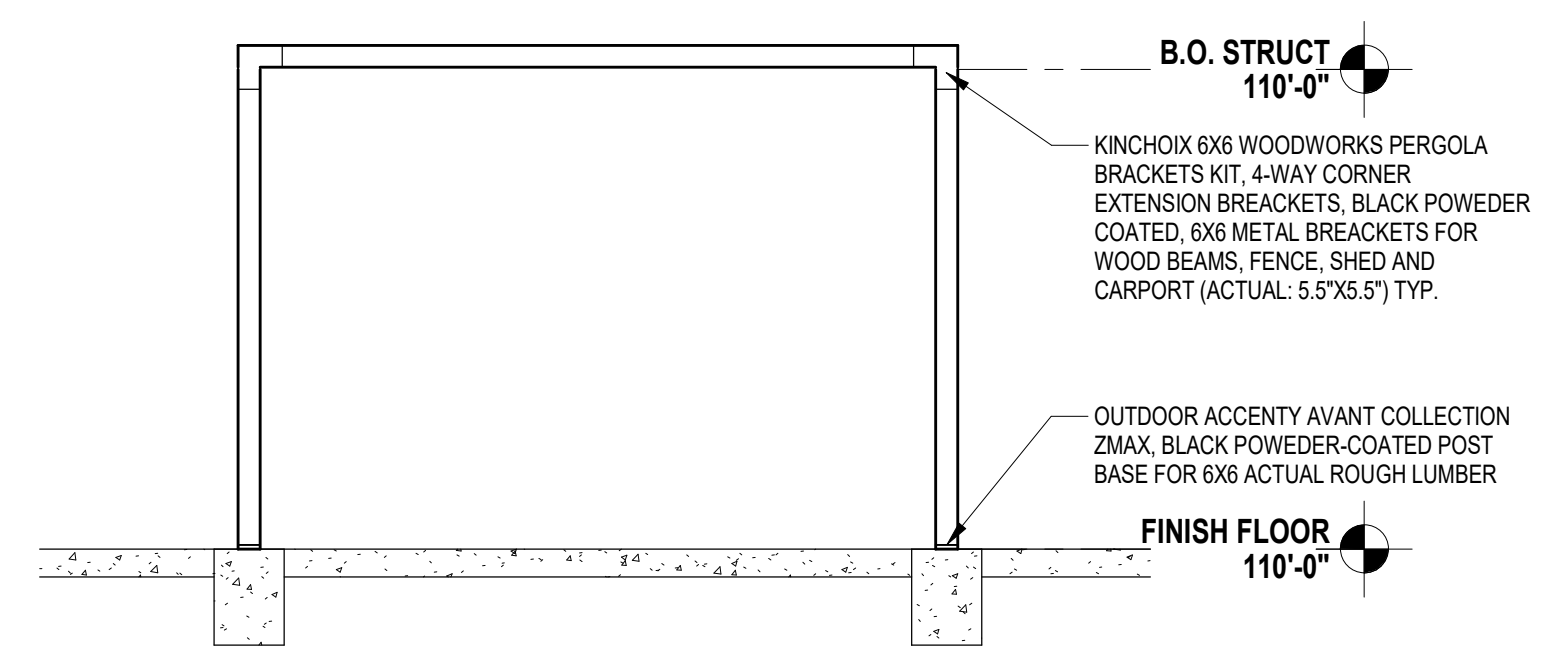
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Sheet Number: \_\_\_\_\_

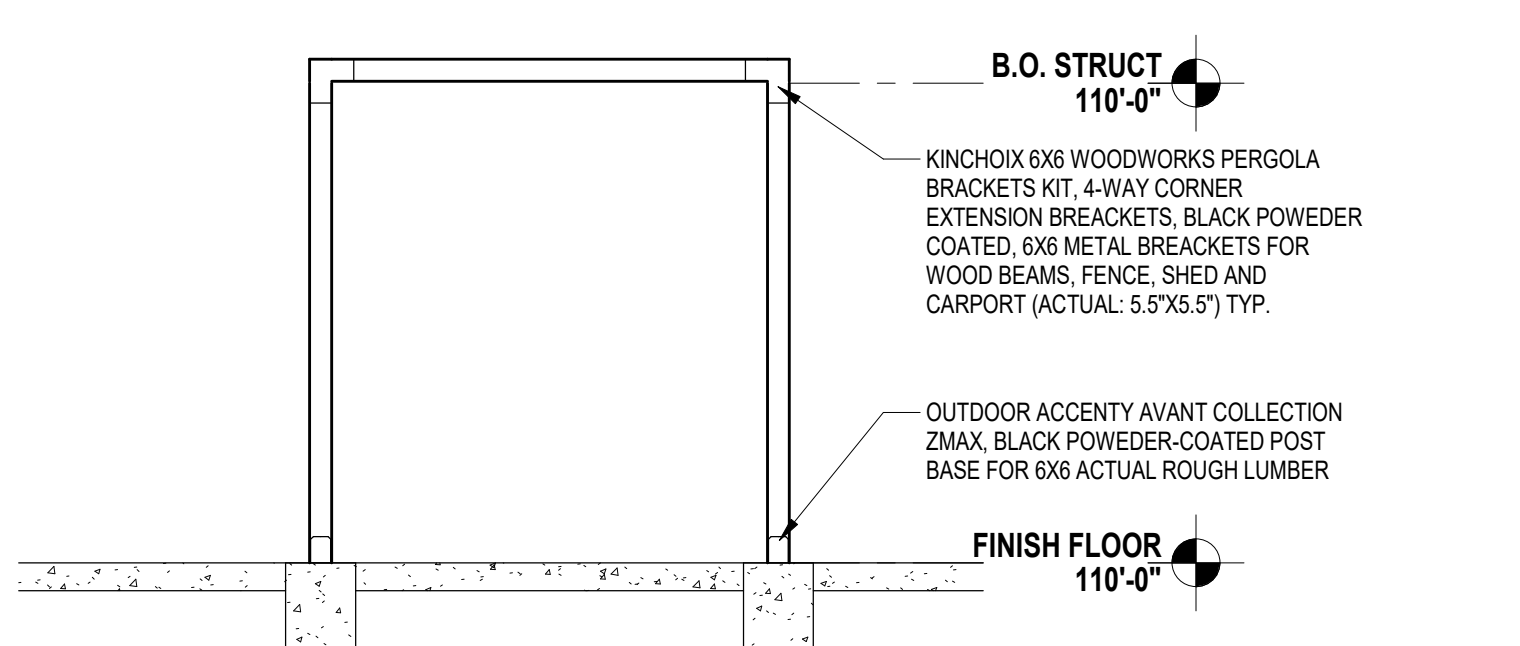
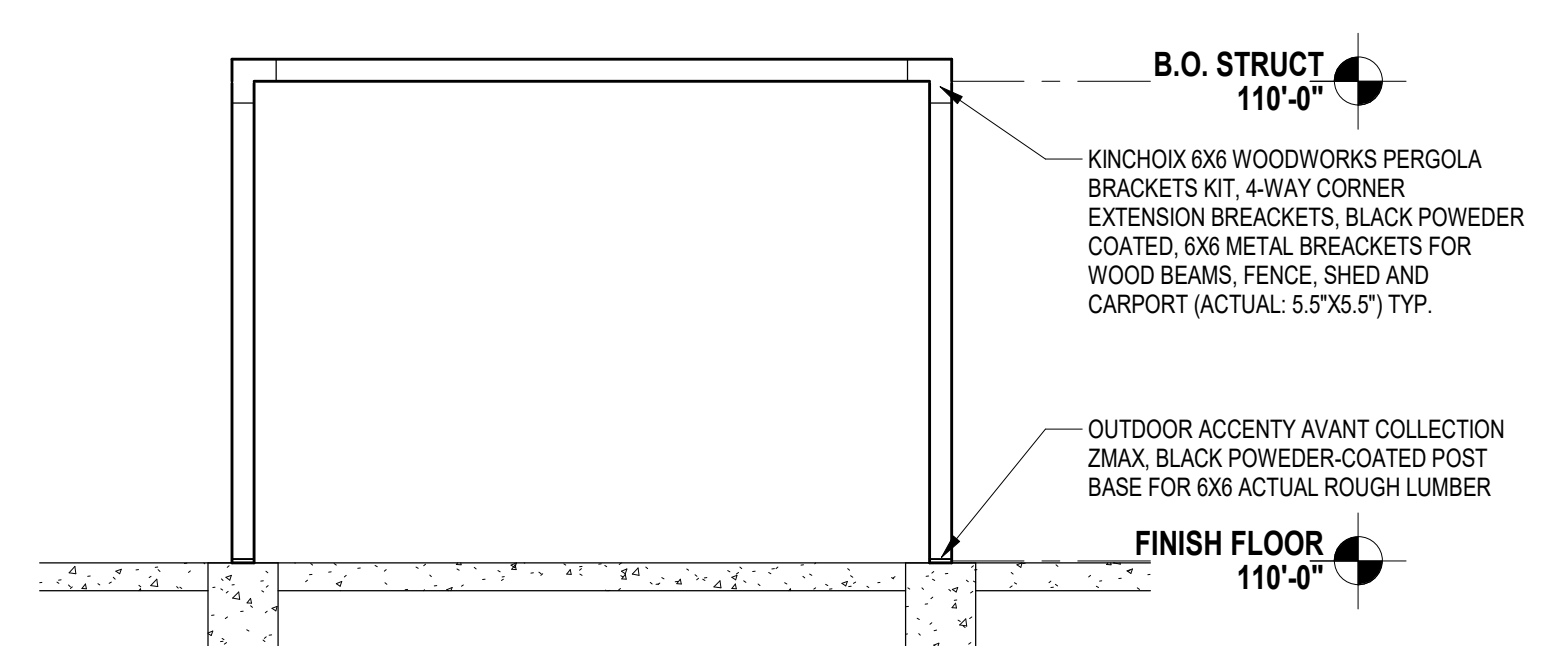
**A117**  
ADD ALT - PERGOLA  
PLANS

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

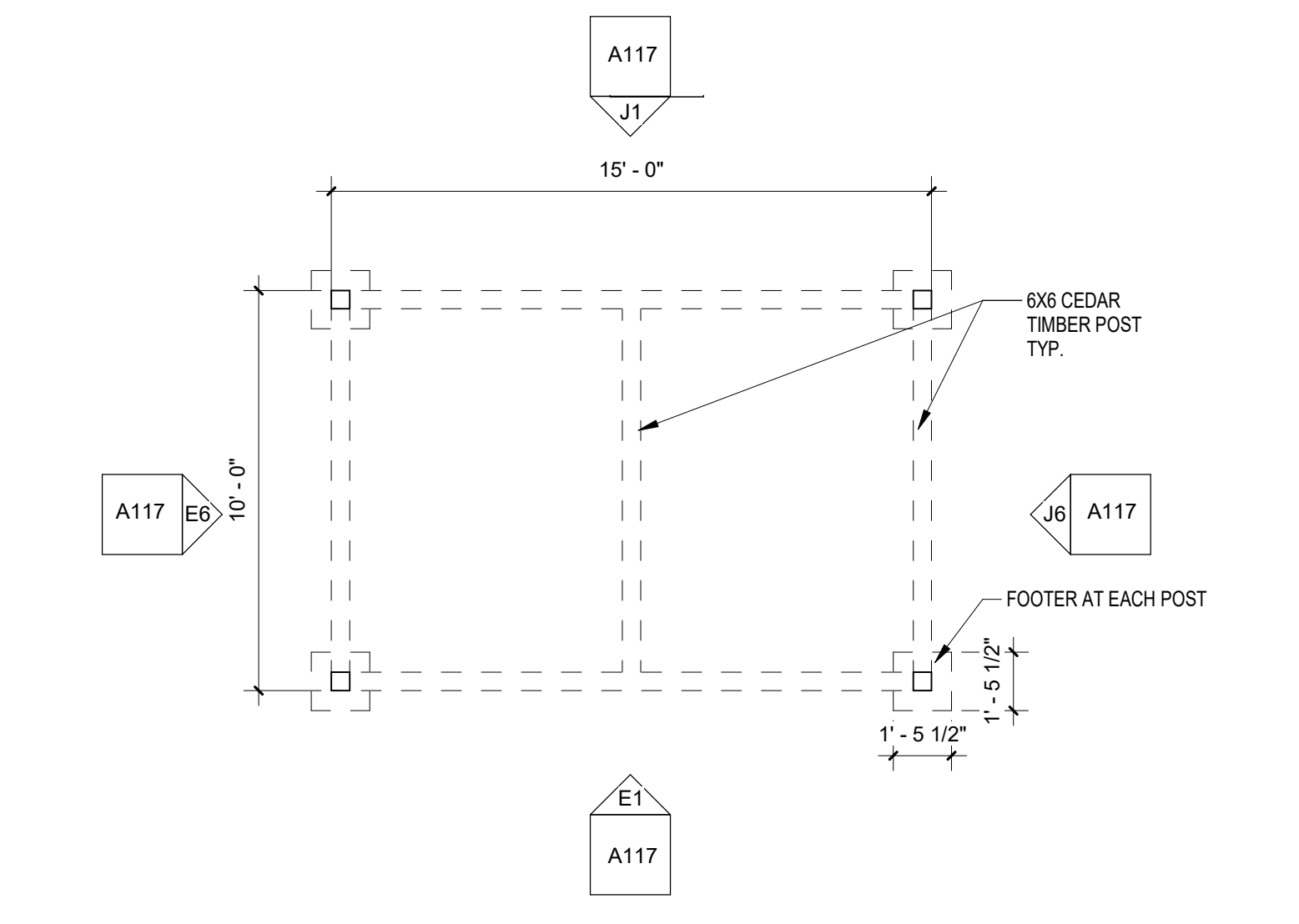
N  
M  
L  
K  
J  
H  
G  
F  
E  
D  
C  
B  
A



<b>J1</b>	Scale	PERGOLA - BACK	<b>J6</b>	Scale	PERGOLA - SIDE 1
	1/4" = 1'-0"			1/4" = 1'-0"	



<b>E1</b>	Scale	PERGOLA - FRONT	<b>E6</b>	Scale	PERGOLA - SIDE 2
	1/4" = 1'-0"			1/4" = 1'-0"	



<b>A1</b>	Scale	PERGOLA FLOOR PLAN
	1/4" = 1'-0"	

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

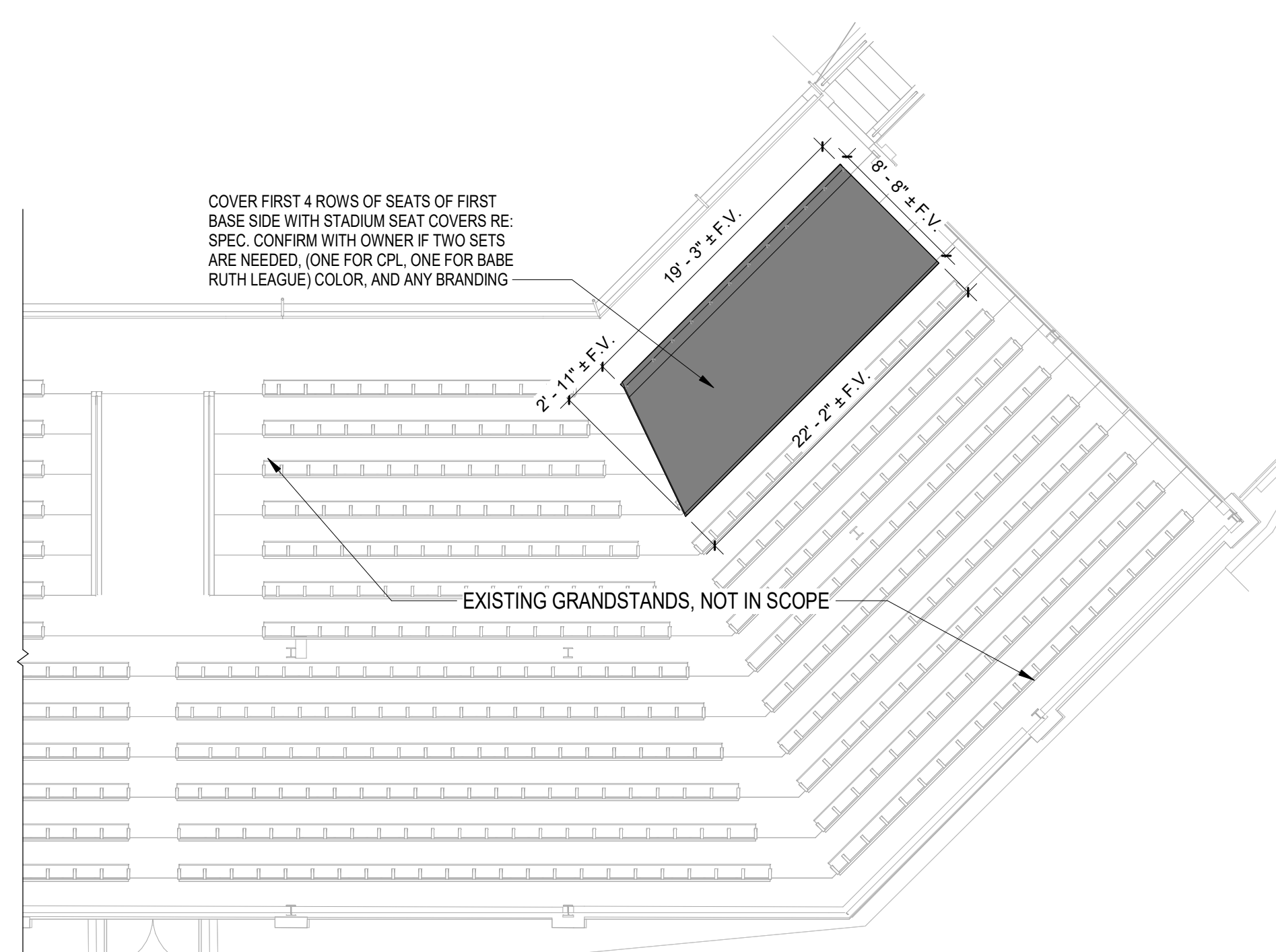
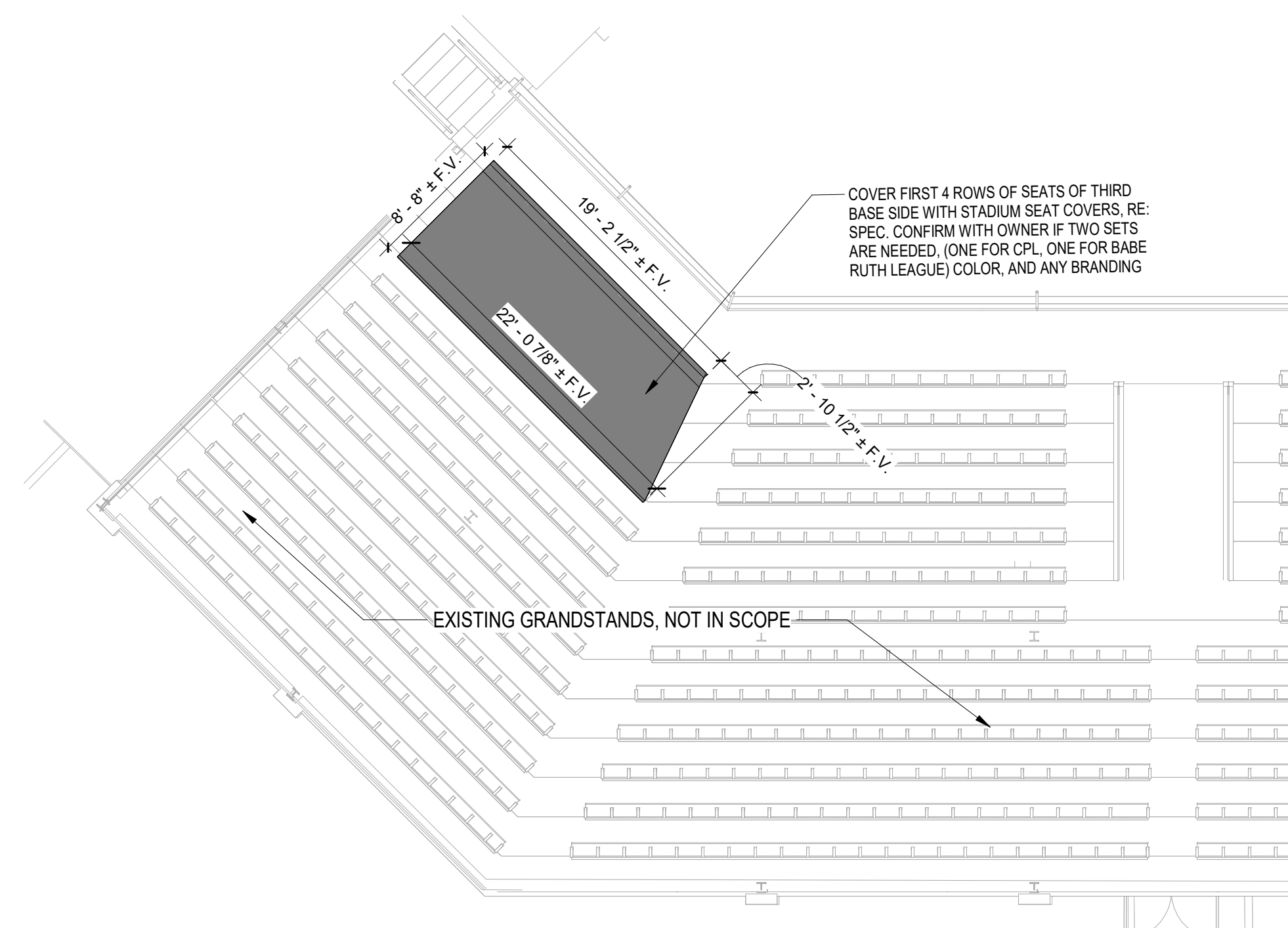






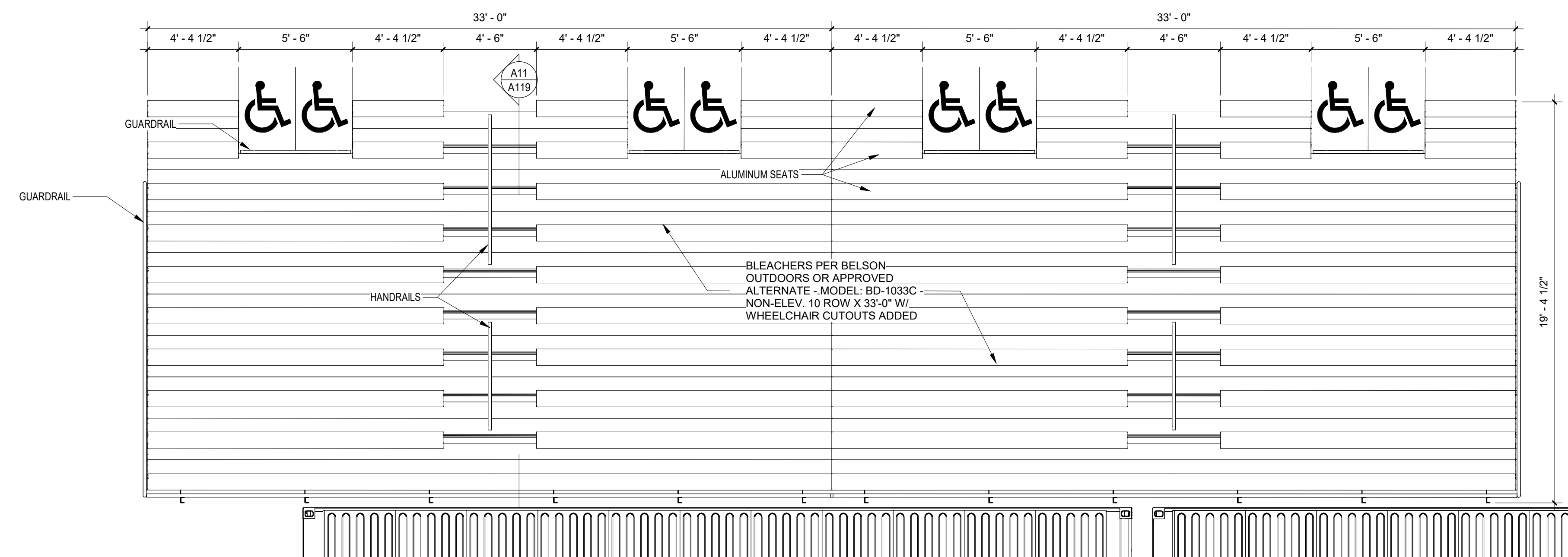


FOR BID ONLY

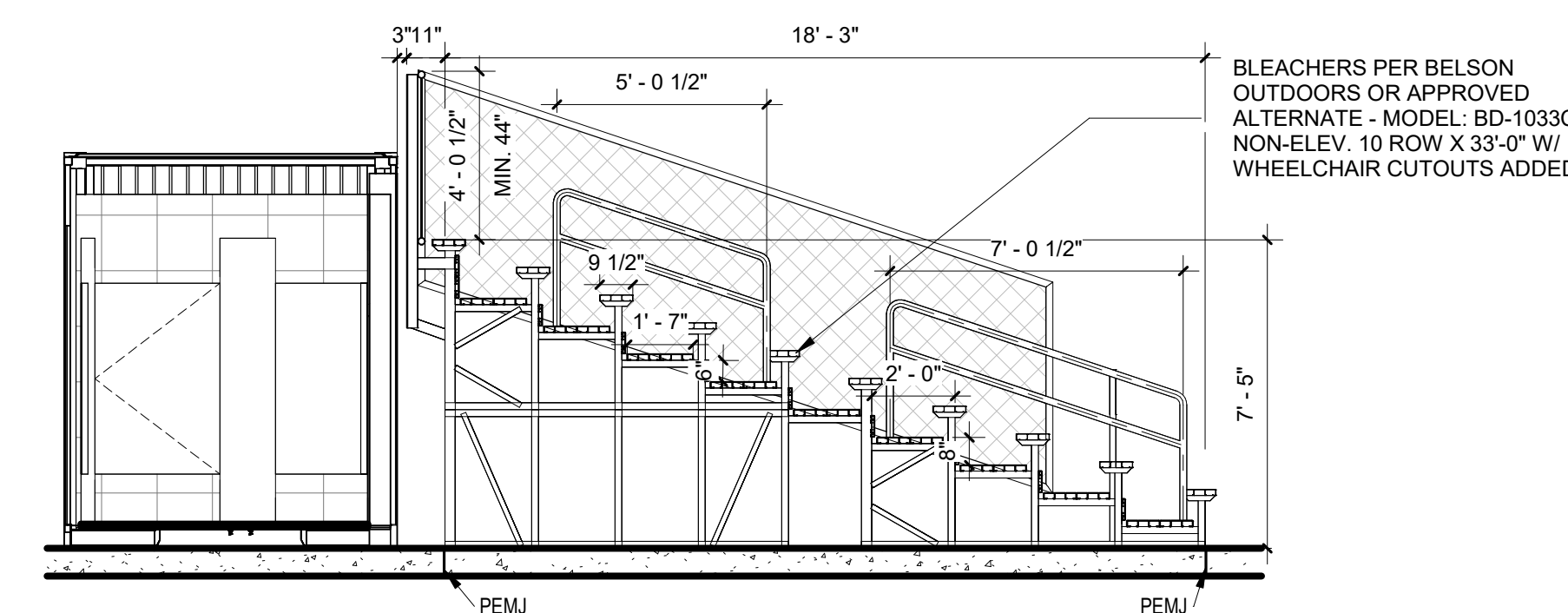


**F1** Scale 1/8" = 1'-0"  
FLOOR PLAN - EXIST. GRANDSTAND SEAT COVERS

**F7** Scale 1/8" = 1'-0"  
FLOOR PLAN - EXIST. GRANDSTAND SEAT COVERS EAST



**A1** Scale 1/4" = 1'-0"  
BLEACHER PLAN



**A11** Scale 1/4" = 1'-0"  
BLEACHER SECTION

Revision Key

No.	Date	Description

Project Manager: BH

Project Architect: DF

Checked By: DD

Project Number: 23-0176

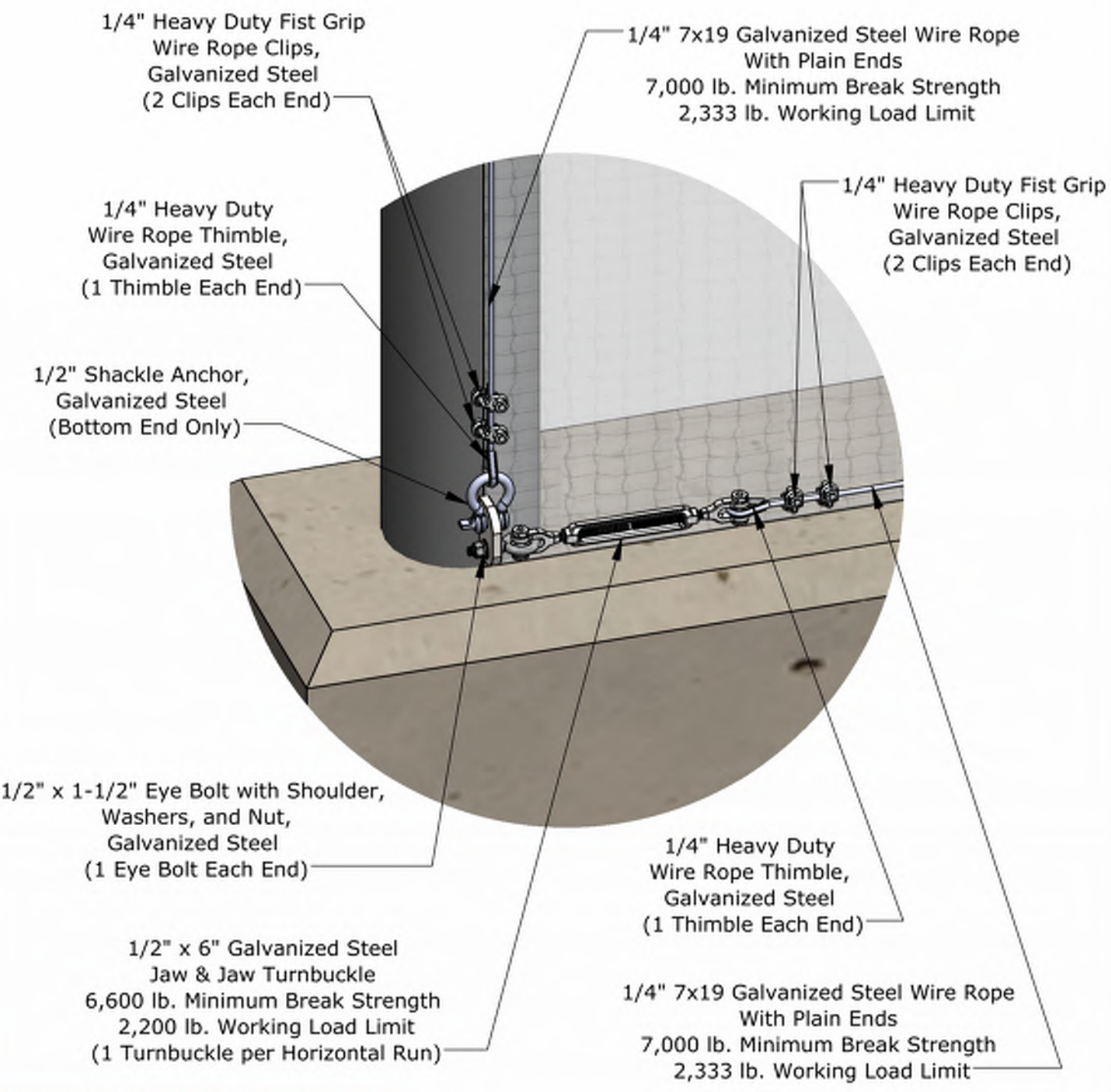
Date of Issue: Issue Date: 9/20/2023

Sheet Number:

**A119**  
BLEACHER PLAN AND SECTION

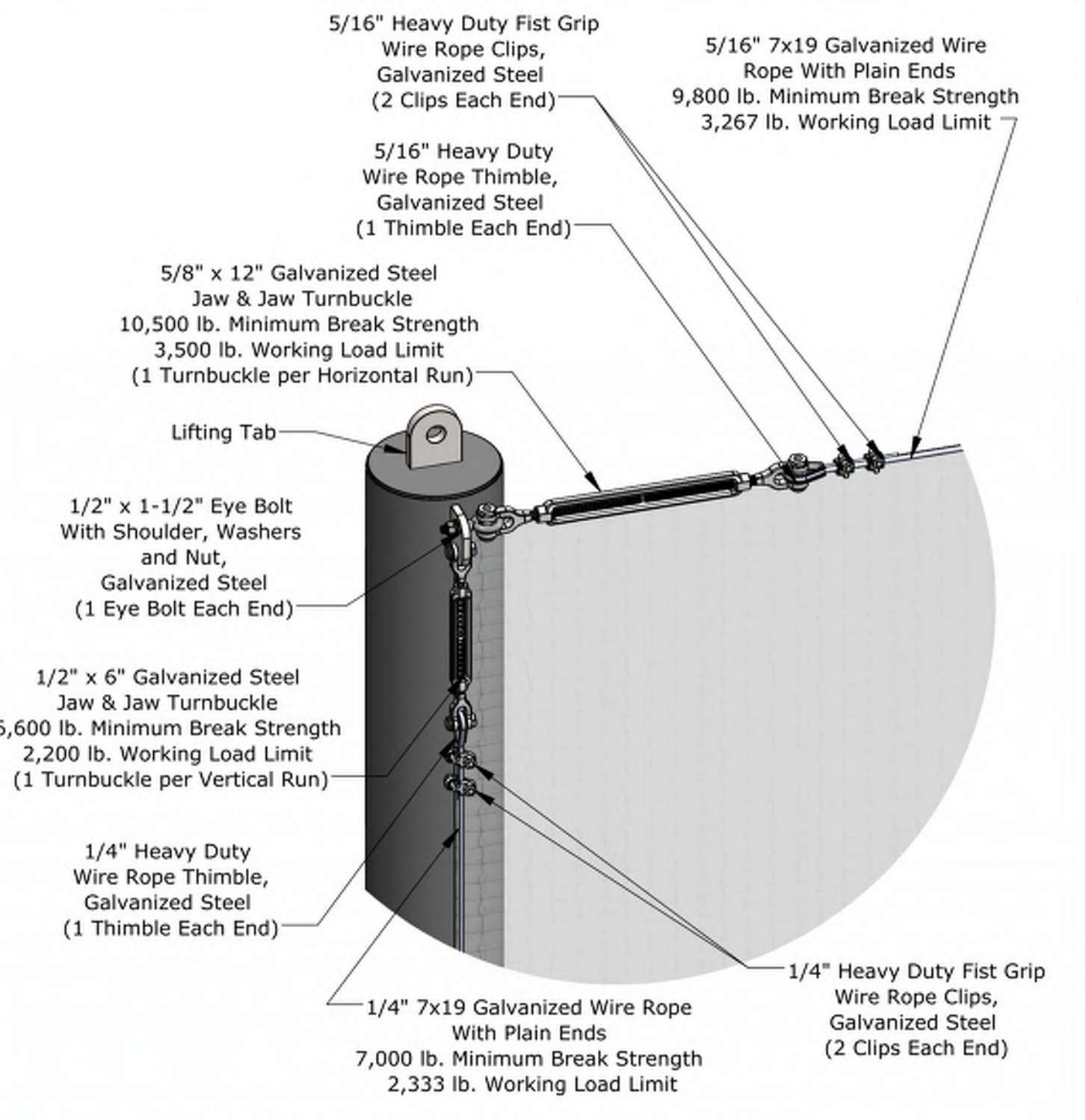


Excellence from Design to Installation



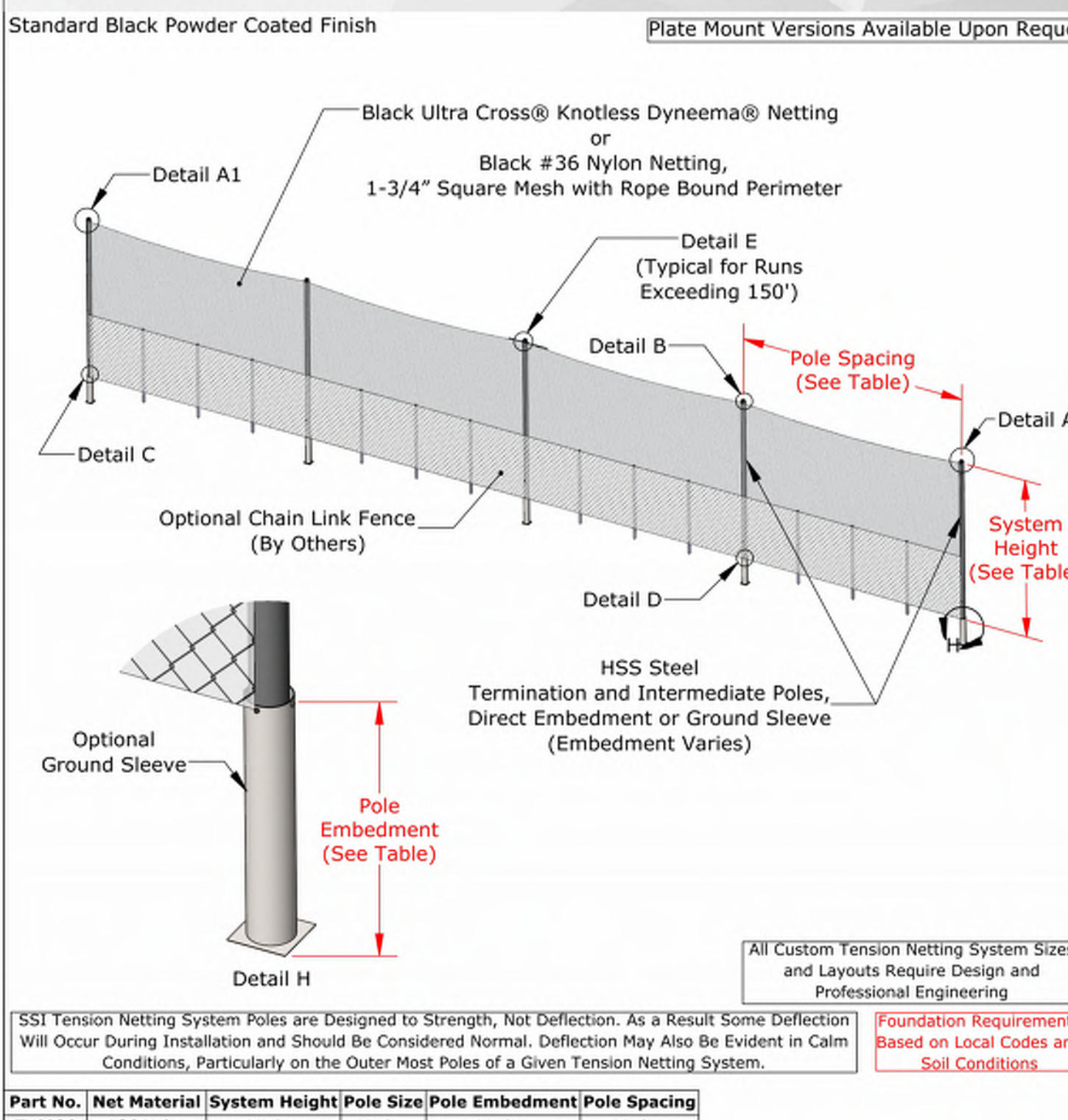
**Pole to Pole Tension Netting System**  
**Detail C: Bottom Termination Pole Connections**  
 Not To Scale Sportsfield Specialties Inc 07072022

Excellence from Design to Installation

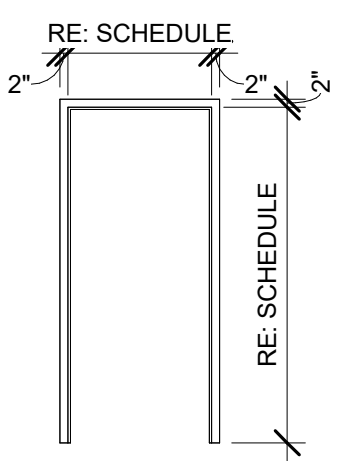


**Pole to Pole Tension Netting System**  
**Detail A1: Top Termination Pole Connections**  
 Not To Scale Sportsfield Specialties Inc 07072022

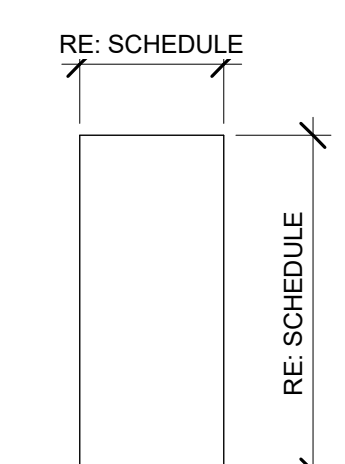
Excellence from Design to Installation



**Pole to Pole Tension Netting System, Straight Line**  
 Not To Scale Sportsfield Specialties Inc 07072022



**TYPE 1**  
 Scale 1/4" = 1'-0"  
**TYPES - FRAMES**

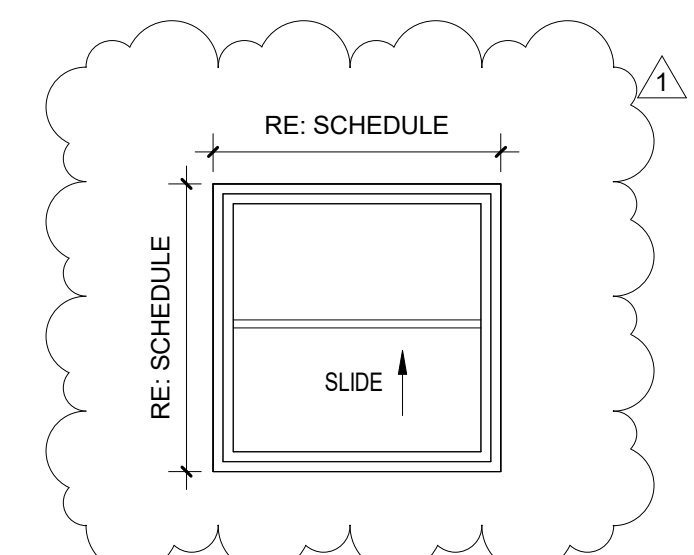


**TYPE A**  
 Scale 1/4" = 1'-0"  
**TYPES - DOORS**

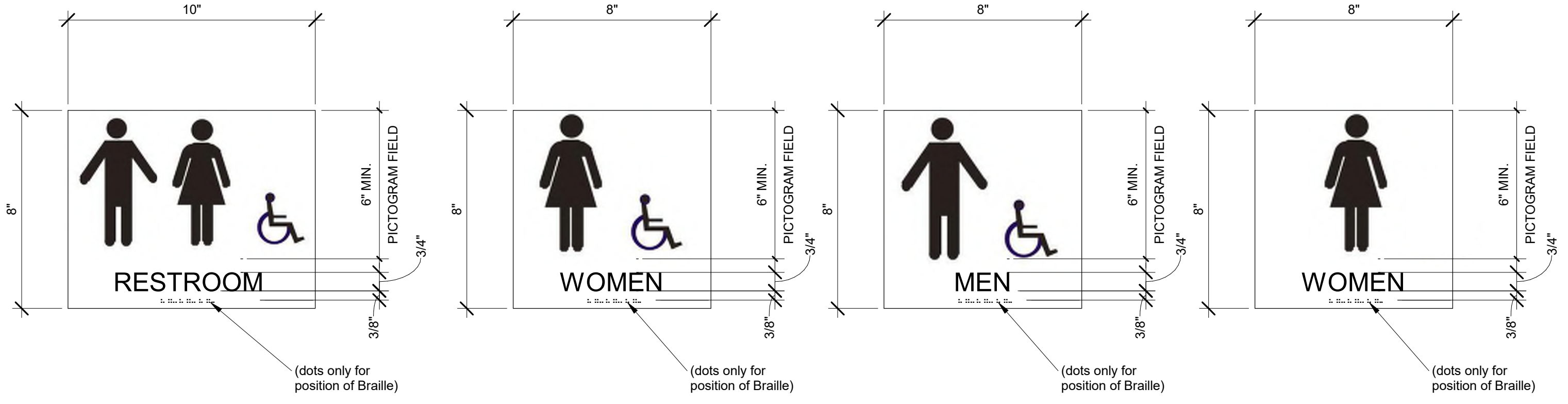
DOOR & FRAME SCHEDULE											
DOOR NUMBER	DOOR TYPE	DOOR				FRAME			GLASS TYPE	HARDWARE	REFERENCED GENERAL NOTES
		MATERIAL	WIDTH	HEIGHT	THICKNESS	GLASS TYPE	MATERIAL	TYPE			
2-1	A	H.M.	3'-0"	7'-0"	1 3/4"	N/A	METAL	1	N/A	3	
2-2	A	H.M.	3'-0"	7'-0"	1 3/4"	N/A	METAL	1	N/A	3	
3-1	A	H.M.	3'-0"	7'-0"	1 3/4"	N/A	METAL	1	N/A	3	
3-2	A	H.M.	3'-0"	7'-0"	1 3/4"	N/A	METAL	1	N/A	3	
4-1	A	H.M.	3'-0"	7'-0"	1 3/4"	N/A	METAL	1	N/A	10	
4-2	A	H.M.	3'-0"	7'-0"	1 3/4"	N/A	METAL	1	N/A	3	
4-3	A	H.M.	3'-0"	7'-0"	1 3/4"	N/A	METAL	1	N/A	3	
4-4	A	H.M.	3'-0"	7'-0"	1 3/4"	N/A	METAL	1	N/A	3	
5-1A	A	H.M.	3'-0"	7'-0"	1 3/4"	N/A	METAL	1	N/A	10	
5-1B	A	H.M.	3'-0"	7'-0"	1 3/4"	N/A	METAL	1	N/A	10	

HARDWARE SET #3		
OPENING DESCRIPTION: (3'-0" x 7'-0" x 1-3/4")	DOOR NO.	
3 EA. HINGE	ECBB1100 4-1/2" x 4-1/2"	US26D
1 EA. PUSH PLATE	30S 4x16	US32D
1 EA. DOOR PULL	33G 4x16	US32D
1 EA. PROTECTION PLATE	190S 10x34	US32D
1 EA. SIGN (ADA MEN/WOMEN)	368M-W3 / 368W-W3	
1 EA. CLOSER	SC81 RW/PA	689
1 EA. WALL STOP	236W	US32D
1 EA. LOCKSET	W581BD D	US26D
1 EA. CONSTRUCTION CORE	80-035	GRN
1 EA. BEST PERMANENT CORE BY OTHERS		
3 EA. SILENCERS	307D	GRAY
1 EA. THRESHOLD	412S 36	MIL
1 EA. DOOR SWEEP	754S N 36	CLR
1 EA. WEATHERSTRIPPING	891S V 1x36", 2x84"	MIL

HARDWARE SET #10		
OPENING DESCRIPTION: (4'-0" x 7'-0" x 1-3/4")	DOOR NO.	
3 EA. HINGE	ECBB1100 4-1/2" x 4-1/2" NRP	US26D
1 EA. LOCKSET (STOREROOM)	W581BD D	US26D
1 EA. CONSTRUCTION CORE	80-035	GRN
1 EA. BEST PERMANENT CORE BY OTHERS		
1 EA. PROTECTION PLATE	194S 10x34	US32D
1 EA. DRIP CAP	810S x 40	MIL
1 EA. THRESHOLD	412S 36	MIL
1 EA. DOOR SWEEP	754S N 36	CLR
1 SET WEATHERSTRIPPING	891S V 1x36", 2x84"	MIL

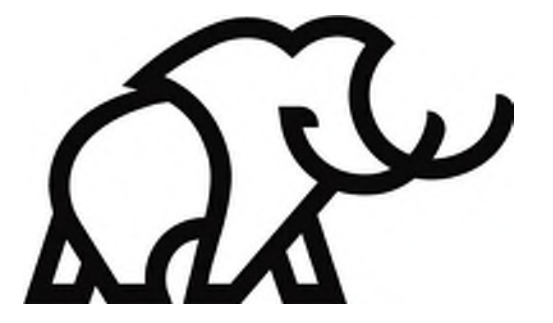


WINDOW SCHEDULE					
Type Mark	Width	Height	Manufacturer	Description	
4-1	3'-0"	3'-0"	JELD-WEN	35.5" X 35.5" V-2500 SERIES WHITE VINYL SINGLE HUNG WINDOW WITH FIBERGLASS MESH SCREEN	
4-1	3'-0"	3'-0"	JELD-WEN	35.5" X 35.5" V-2500 SERIES WHITE VINYL SINGLE HUNG WINDOW WITH FIBERGLASS MESH SCREEN	
4-1	3'-0"	3'-0"	JELD-WEN	35.5" X 35.5" V-2500 SERIES WHITE VINYL SINGLE HUNG WINDOW WITH FIBERGLASS MESH SCREEN	
4-1	3'-0"	3'-0"	JELD-WEN	35.5" X 35.5" V-2500 SERIES WHITE VINYL SINGLE HUNG WINDOW WITH FIBERGLASS MESH SCREEN	



**SIGN TYPE 1**  
**SIGN TYPE 2**  
**SIGN TYPE 3**  
**SIGN TYPE 4**  
**1** Scale 3" = 1'-0"  
**SIGNAGE GRAPHICS**

WORKSHEET - ROOM OCCUPANCY						
Number	Name	Function of Space	Area	Occupant Load Factor	(Round Up to whole # for Calculated Load. Add 1 Occupants may be added per Building Official's Approval)	Occupants
1-1	TEAM STORE	Business Areas	149 SF	100 SF	2	
2-1	WOMEN'S ADA	N/A	129 SF	0 SF		
2-2	MEN'S ADA	N/A	129 SF	0 SF		
3-1	WOMEN'S RR 1	N/A	127 SF	0 SF		
3-2	WOMEN'S RR 2	N/A	127 SF	0 SF		
4-1	CONTAINER 2 CONCESSION	Kitchens, Commercial	111 SF	200 SF	1	
4-2	FAMILY RR 1	N/A	49 SF	0 SF		
4-3	FAMILY RR 2	N/A	49 SF	0 SF		
4-4	FAMILY RR 3	N/A	49 SF	0 SF		
5-1	KITCHEN	Kitchens, Commercial	267 SF	200 SF	2	



Project Status: CONSTRUCTION DOCUMENTS

Owner  
**GUY SMITH STADIUM IMPROVEMENTS**  
 2113 Myrtle Ave, Greenville, NC 27834

FOR BID ONLY

Revision Key		
No.	Date	Description
1	9/29/23	REV #1

Project Manager: BH  
 Project Architect: DF  
 Checked By: Checker  
 Project Number: 23-0176  
 Date of Issue: Issue Date: 9/22/2023  
 Sheet Number:

**A120**  
 SCHEDULES, SIGNAGE, NETTING DETAILS



